

CITY OF GLENORCHY SUBURB OF CLAREMONT FOLIO REFERENCE 158746/2 SITE COMPRISES THE WHOLE OF LOT 2 ON SEALED PLAN No. 158746	STRATA PLAN SHEET 1 OF 5 SHEETS		Registered Number 185548
	NAME OF STRATA SCHEME 34A CARNEGIE STREET, CLAREMONT		STRATA TITLES ACT 1998 REGISTERED 17 JUL 2023
	SCALE 1:500	LENGTHS IN METRES	SURVEYORS REF 48774CT-3



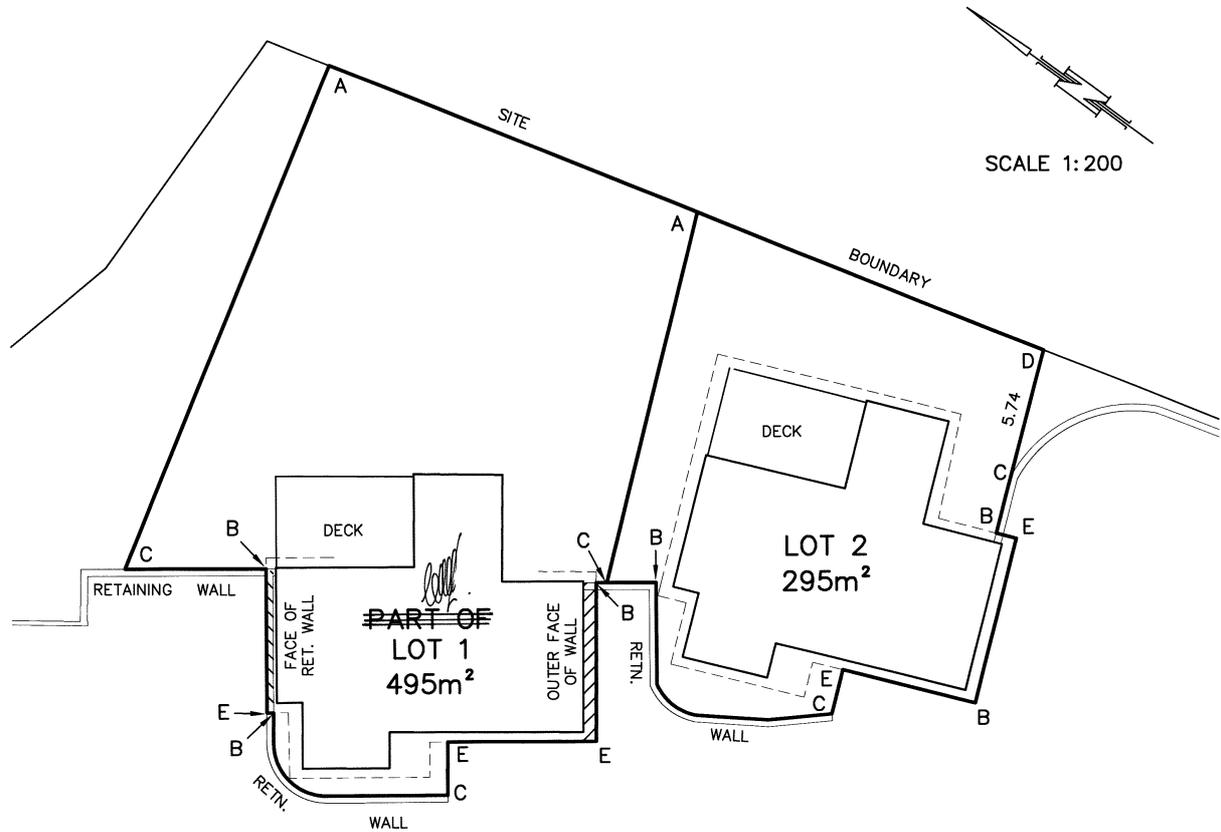
NOTES: (i) ALL BUILDINGS ON THE SITE TO BE SHOWN ON SHEET 1.
 (ii) BUILDING TO SITE BOUNDARY OFFSETS OF LESS THAN 2.00 METRES TO BE SHOWN ON SHEET 1.

STAGED/COMMUNITY DEVELOPMENT.
 SCHEME No. (IF APPLICABLE)

 Council Delegate	3/7/2023 Date	 Registered Land Surveyor	2/5/2023 Date
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LODGED BY DOBSON MITCHELL ALLPORT

STRATA PLAN SHEET 2 OF 5 SHEETS Surveyors Ref: 4877CT-3	STRATA TITLES ACT 1998	Registered Number 185548
	Council Delegate <i>M. Butler</i>	Date 31/7/2023



THE HORIZONTAL LOT BOUNDARIES ARE SHOWN BY HEAVY UNBROKEN LINES DEFINED BY-

- SITE BOUNDARIES
- CENTRE OF FENCE LABELLED AC.
- FACE OF RETAINING WALL LABELLED BC, ~~CE~~ & PROLONGATION THEREOF LABELLED CD.
- EXTERNAL EDGE OF EAVES & GUTTERING LABELLED BE & EE.
- EDGE OF CONCRETE LABELLED CE.
- MEASUREMENT WHERE OPEN BOUNDARY OR FEATURE EXTENSION.

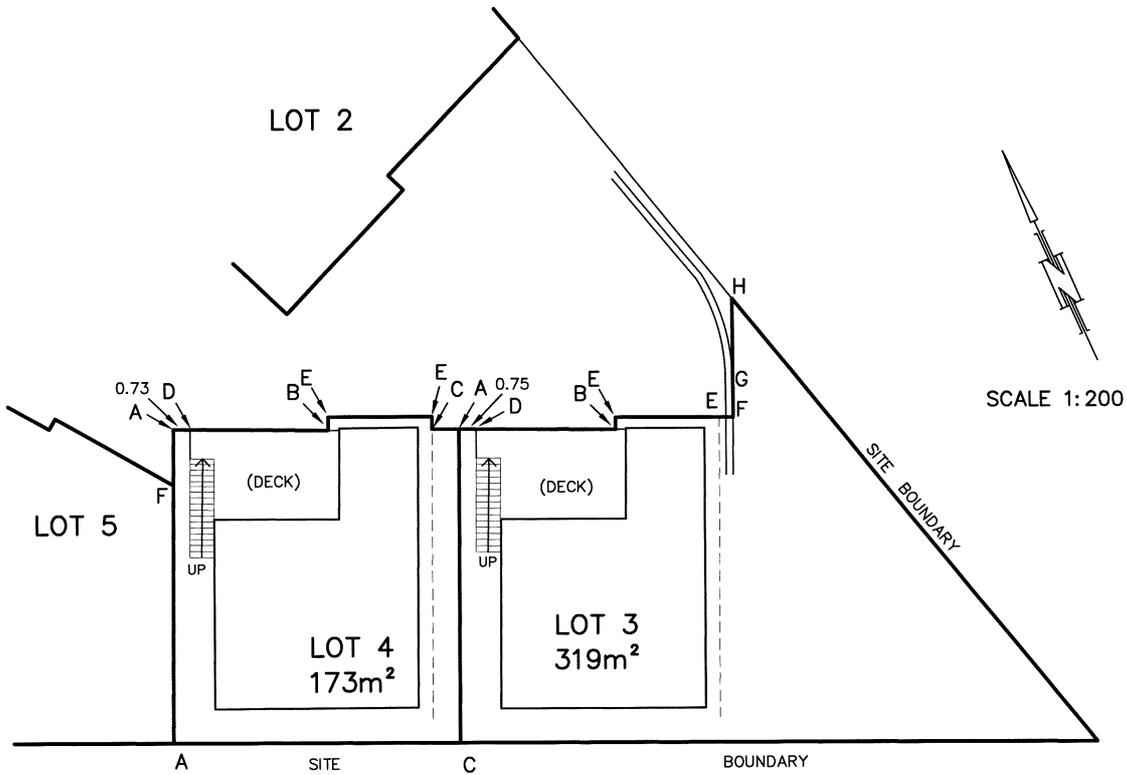
THE VERTICAL LOT BOUNDARIES EXTEND FROM 2.00 METRES BELOW GROUND LEVEL TO 10.00 METRES ABOVE GROUND LEVEL EXCEPT FOR:-

THE HATCHED PORTIONS OF LOT 1 WHICH EXTEND FROM THE UNDERSIDE OF THE ROOF STRUCTURE TO 10.00 METRE ABOVE GROUND LEVEL.

(NO PART OF THE BUILDINGS ARE COMMON PROPERTY.)
 (AREAS ARE APPROXIMATE ONLY)

Registered Land Surveyor
 Date
 2/5/2023

STRATA PLAN SHEET 3 OF 5 SHEETS	STRATA TITLES ACT 1998	Registered Number 185548
	Surveyors Ref: 4877CT-3	Council Delegate <i>M. Miller</i>



THE HORIZONTAL LOT BOUNDARIES ARE SHOWN BY HEAVY UNBROKEN LINES DEFINED BY-

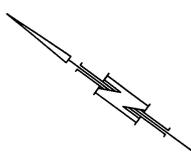
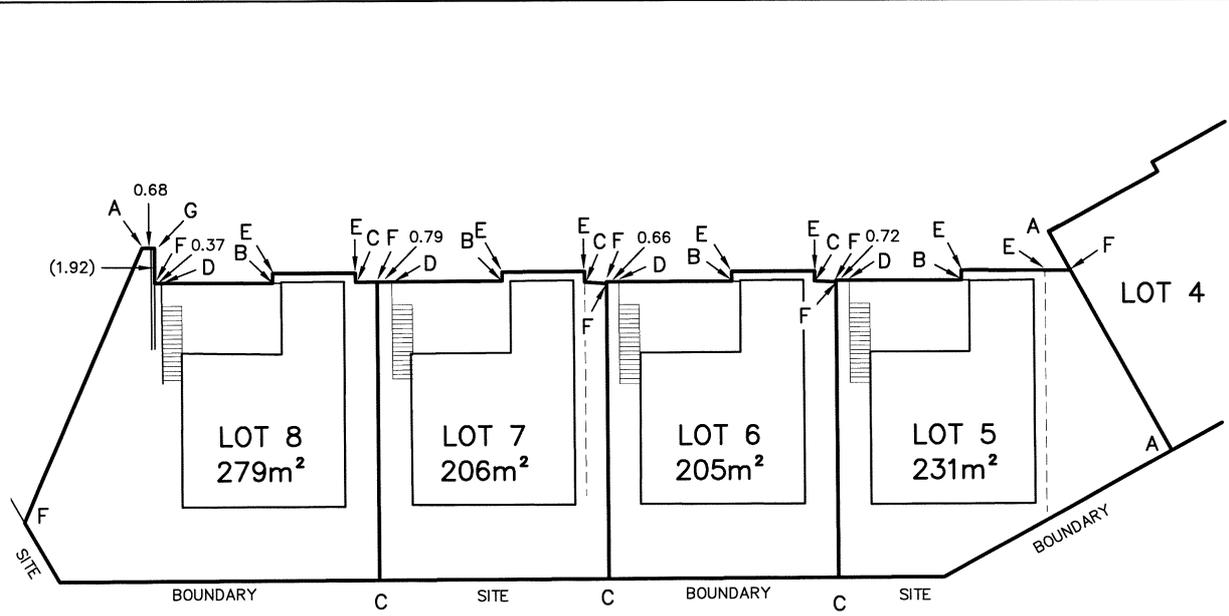
- SITE BOUNDARIES
- CENTRE OF FENCE LABELLED AC & AF.
- OUTER EDGE OF DECK ABOVE GROUND LABELLED BD & EXTENSION THEREOF LABELLED DA.
- EXTERNAL EDGE OF EAVES & GUTTERING LABELLED BE, EC, EE & EXTENSION THEREOF LABELLED EF.
- FACE OF RETAINING WALL LABELLED FG & PROLONGATION THEREOF LABELLED GH.
- MEASUREMENT WHERE OPEN BOUNDARY OR FEATURE EXTENSION.

THE VERTICAL LOT BOUNDARIES EXTEND FROM 2.00 METRES BELOW GROUND LEVEL TO 10.00 METRES ABOVE GROUND LEVEL EXCEPT FOR:-

(NO PART OF THE BUILDINGS ARE COMMON PROPERTY.)
 (AREAS ARE APPROXIMATE ONLY)

Registered Land Surveyor
 Date: 2/5/2023

STRATA PLAN SHEET 4 OF 5 SHEETS Surveyors Ref: 4877CT-3	STRATA TITLES ACT 1998	Registered Number 185548
	Council Delegate <i>M. White</i>	Date 3/7/2023



SCALE 1:250

THE HORIZONTAL LOT BOUNDARIES ARE SHOWN BY HEAVY UNBROKEN LINES DEFINED BY-

- SITE BOUNDARIES
- CENTRE OF FENCE LABELLED CF, AF & EXTENSION THEREOF LABELLED FF.
- OUTER EDGE OF DECK ABOVE GROUND LABELLED BD & EXTENSION THEREOF LABELLED DF.
- EXTERNAL EDGE OF EAVES & GUTTERING LABELLED BE, EC, EE & EXTENSION THEREOF LABELLED EF.
- FACE OF RETAINING WALL LABELLED FG.
- GA IS PERPENDICULAR TO RETAINING WALL FG.
- MEASUREMENT WHERE OPEN BOUNDARY OR FEATURE EXTENSION.

THE VERTICAL LOT BOUNDARIES EXTEND FROM 2.00 METRES BELOW GROUND LEVEL TO 10.00 METRES ABOVE GROUND LEVEL EXCEPT FOR:-

- (NO PART OF THE BUILDINGS ARE COMMON PROPERTY.)
- (MEASUREMENTS IN BRACKETS FOR BOUNDARY FIXATION ONLY.)
- (AREAS ARE APPROXIMATE ONLY)

Registered Land Surveyor
 Date
 4/5/2023

SEARCH OF TORRENS TITLE

VOLUME 185548	FOLIO 1
EDITION 1	DATE OF ISSUE 17-Jul-2023

SEARCH DATE : 14-Jul-2025

SEARCH TIME : 07.00 PM

DESCRIPTION OF LAND

City of GLENORCHY

Lot 1 on Strata Plan 185548 and a general unit entitlement operating for all purposes of the Strata Scheme being a 10 undivided 1/80 interest

Derived from Strata Plan 185548

Derivation : Part of 74.5 Acres Gtd. to T. Branscombe

SCHEDULE 1

M928487 TRANSFER to GILL & BARRATT DEVELOPMENTS PTY LTD
Registered 23-Nov-2021 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
The registered proprietor holds the lot and unit entitlement
subject to any interest noted on common property
Folio of the Register volume 185548 folio 0

- SP158746 EASEMENTS in Schedule of Easements
- SP140064 & SP158746 COVENANTS in Schedule of Easements
- SP140064 & SP158746 FENCING COVENANT in Schedule of Easements
- E221331 AGREEMENT pursuant to Section 78 of the Land Use Planning and Approvals Act 1993 Registered
23-Sep-2021 at noon
- E208754 MORTGAGE to Amal Trustees Pty Limited Registered
15-Dec-2021 at noon
- N190941 CAVEAT by KC Tasmanian Development Pty Ltd
Registered 25-Mar-2024 at noon
- N240949 CAVEAT by Jonathon Charles Root, Commissioner of State Revenue (including Power of Sale) Registered
07-Jan-2025 at noon

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations