

CITY OF GLENORCHY SUBURB OF CLAREMONT FOLIO REFERENCE 158746/2 SITE COMPRISES THE WHOLE OF LOT 2 ON SEALED PLAN No. 158746	STRATA PLAN SHEET 1 OF 5 SHEETS		Registered Number 185548
	NAME OF STRATA SCHEME 34A CARNEGIE STREET, CLAREMONT		STRATA TITLES ACT 1998 REGISTERED 17 JUL 2023
	SCALE 1:500	LENGTHS IN METRES	SURVEYORS REF 48774CT-3 Recorder of Titles

SITE PLAN

NOTES: (i) ALL BUILDINGS ON THE SITE TO BE SHOWN ON SHEET 1. (ii) BUILDING TO SITE BOUNDARY OFFSETS OF LESS THAN 2.00 METRES TO BE SHOWN ON SHEET 1.	 Council Delegate	3/7/2023 Date	 Registered Land Surveyor	2/5/2023 Date
	STAGED/COMMUNITY DEVELOPMENT. SCHEME No. (IF APPLICABLE)			

LODGED BY **DOBSON MITCHELL ALLPORT**

<p style="font-size: 1.2em; font-weight: bold;">STRATA PLAN</p> <p>SHEET 2 OF 5 SHEETS</p>	<p style="font-size: 0.8em;">STRATA TITLES ACT 1998</p>	<p style="font-size: 0.8em;">Registered Number</p> <p style="font-size: 1.5em; font-weight: bold;">185548</p>
<p style="font-size: 0.8em;">Surveyors Ref: 4877CT-3</p>	<p style="font-size: 0.8em;">Council Delegate</p> <p style="font-size: 0.8em;">Date</p>	<p style="font-size: 0.8em;">3/7/2023</p>

SCALE 1:200

THE HORIZONTAL LOT BOUNDARIES ARE SHOWN BY HEAVY UNBROKEN LINES DEFINED BY—

- SITE BOUNDARIES
- CENTRE OF FENCE LABELLED AC.
- FACE OF RETAINING WALL LABELLED BC, ~~CE~~ & PROLONGATION THEREOF LABELLED CD.
- EXTERNAL EDGE OF EAVES & GUTTERING LABELLED BE & EE.
- EDGE OF CONCRETE LABELLED CE.
- MEASUREMENT WHERE OPEN BOUNDARY OR FEATURE EXTENSION.

THE VERTICAL LOT BOUNDARIES EXTEND FROM 2.00 METRES BELOW GROUND LEVEL TO 10.00 METRES ABOVE GROUND LEVEL EXCEPT FOR:—

THE HATCHED PORTIONS OF LOT 1 WHICH EXTEND FROM THE UNDERSIDE OF THE ROOF STRUCTURE TO 10.00 METRE ABOVE GROUND LEVEL.

(NO PART OF THE BUILDINGS ARE COMMON PROPERTY.)

(AREAS ARE APPROXIMATE ONLY)

Registered Land Surveyor

Date

<p style="font-size: 1.2em; font-weight: bold;">STRATA PLAN</p> <p>SHEET 3 OF 5 SHEETS</p>	<p style="font-size: 0.8em;">STRATA TITLES ACT 1998</p>	<p style="font-size: 0.8em;">Registered Number</p> <p style="font-size: 1.5em; font-weight: bold;">185548</p>
<p style="font-size: 0.8em;">Surveyors Ref: 4877CT-3</p>	<p style="font-size: 0.8em;">Council Delegate</p>	<p style="font-size: 0.8em;">Date</p>

A
SITE
C
BOUNDARY

THE HORIZONTAL LOT BOUNDARIES ARE SHOWN BY HEAVY UNBROKEN LINES DEFINED BY-

- SITE BOUNDARIES
- CENTRE OF FENCE LABELLED AC & AF.
- OUTER EDGE OF DECK ABOVE GROUND LABELLED BD & EXTENSION THEREOF LABELLED DA.
- EXTERNAL EDGE OF EAVES & GUTTERING LABELLED BE, EC, EE & EXTENSION THEREOF LABELLED EF.
- FACE OF RETAINING WALL LABELLED FG & PROLONGATION THEREOF LABELLED GH.
- MEASUREMENT WHERE OPEN BOUNDARY OR FEATURE EXTENSION.

THE VERTICAL LOT BOUNDARIES EXTEND FROM 2.00 METRES BELOW GROUND LEVEL TO 10.00 METRES ABOVE GROUND LEVEL EXCEPT FOR:-

(NO PART OF THE BUILDINGS ARE COMMON PROPERTY.)

(AREAS ARE APPROXIMATE ONLY)

Registered Land Surveyor

Date

2/5/2023

<p style="text-align: center; font-weight: bold; font-size: 1.2em;">STRATA PLAN</p> <p style="text-align: center;">SHEET 4 OF 5 SHEETS</p>	<p style="text-align: center; font-size: 0.8em;">STRATA TITLES ACT 1998</p> <div style="border: 1px solid black; padding: 2px; margin-top: 5px;"> <p style="font-size: 0.7em;">Council Delegate</p> <p style="font-size: 0.7em;">Date</p> </div>	<p style="text-align: center; font-size: 0.8em;">Registered Number</p> <p style="text-align: center; font-size: 1.5em; font-weight: bold;">185548</p>
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Surveyors Ref: 4877CT-3

SCALE 1: 250

THE HORIZONTAL LOT BOUNDARIES ARE SHOWN BY HEAVY UNBROKEN LINES DEFINED BY-

- SITE BOUNDARIES
- CENTRE OF FENCE LABELLED CF, AF & EXTENSION THEREOF LABELLED FF.
- OUTER EDGE OF DECK ABOVE GROUND LABELLED BD & EXTENSION THEREOF LABELLED DF.
- EXTERNAL EDGE OF EAVES & GUTTERING LABELLED BE, EC, EE & EXTENSION THEREOF LABELLED EF.
- FACE OF RETAINING WALL LABELLED FG.
- GA IS PERPENDICULAR TO RETAINING WALL FG.
- MEASUREMENT WHERE OPEN BOUNDARY OR FEATURE EXTENSION.

THE VERTICAL LOT BOUNDARIES EXTEND FROM 2.00 METRES BELOW GROUND LEVEL TO 10.00 METRES ABOVE GROUND LEVEL EXCEPT FOR:-

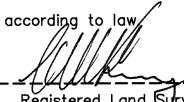
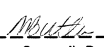
(NO PART OF THE BUILDINGS ARE COMMON PROPERTY.)

(MEASUREMENTS IN BRACKETS FOR BOUNDARY FIXATION ONLY.)

(AREAS ARE APPROXIMATE ONLY)

Registered Land Surveyor

Date

STRATA PLAN SHEET 5 OF 5 SHEETS		STRATA TITLES ACT 1998	Registered Number 185548
NAME OF BODY CORPORATE: STRATA CORPORATION No.185548 - 34A CARNEGIE STREET, CLAREMONT ADDRESS FOR THE SERVICE OF NOTICES: 34A CARNEGIE STREET, CLAREMONT TAS 7011			
SURVEYORS CERTIFICATE I, <u>CRAIG McDOWALL TERRY</u> of <u>HOBART</u> a surveyor registered under the Surveyors Act 2002 certify that the building or buildings erected on the site and drawn on sheet 1 of this plan are within the site boundaries of the folio stated on sheet 1 and any encroachment beyond those boundaries is properly authorised according to law <div style="display: flex; justify-content: space-between; margin-top: 20px;"> <div style="text-align: center;">  <u>Registered Land Surveyor</u> </div> <div style="text-align: center;"> <u>2/5/2023</u> <u>Date</u> </div> <div style="text-align: center;"> <u>4877CT-3</u> <u>Ref No.</u> </div> </div>		COUNCIL CERTIFICATE I certify that the <u>GLENORCHY CITY</u> Council has: (a) approved the lots shown in this plan and (b) issued this certificate of approval in accordance with section 31 of the Strata Titles Act 1998 <div style="display: flex; justify-content: space-between; margin-top: 20px;"> <div style="text-align: center;">  <u>Council Delegate</u> </div> <div style="text-align: center;"> <u>3/7/2023</u> <u>Date</u> </div> <div style="text-align: center;"> <u>8PST23/0007</u> <u>Ref No.</u> </div> </div>	
GENERAL UNIT ENTITLEMENTS			
LOT	UNIT ENTITLEMENT		
1	10		
2	10		
3	10		
4	10		
5	10		
6	10		
7	10		
8	10		
TOTAL	80		

SEARCH OF TORRENS TITLE

VOLUME 185548	FOLIO 1
EDITION 1	DATE OF ISSUE 17-Jul-2023

SEARCH DATE : 14-Jul-2025

SEARCH TIME : 07.00 PM

DESCRIPTION OF LAND

City of GLENORCHY

Lot 1 on Strata Plan 185548 and a general unit entitlement operating for all purposes of the Strata Scheme being a 10 undivided 1/80 interest

Derived from Strata Plan 185548

Derivation : Part of 74.5 Acres Gtd. to T. Branscombe

SCHEDULE 1

M928487 TRANSFER to GILL & BARRATT DEVELOPMENTS PTY LTD
Registered 23-Nov-2021 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
The registered proprietor holds the lot and unit entitlement
subject to any interest noted on common property

Folio of the Register volume 185548 folio 0

SP158746 EASEMENTS in Schedule of Easements

SP140064 & SP158746 COVENANTS in Schedule of Easements

SP140064 & SP158746 FENCING COVENANT in Schedule of Easements

E221331 AGREEMENT pursuant to Section 78 of the Land Use

Planning and Approvals Act 1993 Registered

23-Sep-2021 at noon

E208754 MORTGAGE to Amal Trustees Pty Limited Registered

15-Dec-2021 at noon

N190941 CAVEAT by KC Tasmanian Development Pty Ltd

Registered 25-Mar-2024 at noon

N240949 CAVEAT by Jonathon Charles Root, Commissioner of

State Revenue (including Power of Sale) Registered

07-Jan-2025 at noon

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations