



# BUILDING INSPECTION

Complies with Australian Standard AS 4349.1-2007  
Inspection of Buildings Part 1: Pre-Purchase  
Inspections of Residential Buildings - Appendix C

Aug 20, 2025

## PROPERTY ADDRESS

9 Bland Court  
Rokeby, TAS  
, Australia

Inspection Date: 20 Aug 2025  
T: 0418 125 624

Inspected by: Paul Reece  
E: tpreece247@gmail.com

# Contents

---

**03**

Description  
of Building

**04**

General  
Details

**05**

Summary of  
Inspection

**06**

Areas  
Inspected

**07**

Areas Not  
Inspected

**08**

Inspection

**09**

General  
Photographs

**10**

Defects &  
Safety  
Issues

**11**

Other  
Inspections  
& Reports  
Required

**12**

Conclusion &  
Summary

**13**

Contact

**14**

Terms &  
Conditions

**15**

Definitions

# 03 Description of Building

---

## Type of Building:

✓ Residential House

## Style of Building:

✓ Conventional two storey

## Number of Stories:

✓ Two Storey

## Age of Building:

✓ 30-50 years old

## Roof Covering:

✓ Decromastic pressed tin roofing

## Roof Frame:

✓ Hardwood Pitched Roof

## External Walls:

✓ Double Brick Walls, Brick Veneer Walls

## Floor Construction:

✓ Concrete Slab on Ground, Suspended Concrete Slab

## Internal Walls:

✓ Timber Framed Walls, Block Walls

## Building Tenancy:

✓ Vacant

## Building Furnished:

✓ Yes

## Building Frontage Faces:

✓ North

## Hot Water Unit:

✓ Electric external HWU

## Solar:

✓ No Solar

## Airconditioning:

✓ Room A/C's

## Mains (Submains) Power Board:

✓ No RCD's

## Smoke Alarms:

✓ Smoke alarm installed not checked.  
Recommend inspection by suitably qualified smoke alarm inspector



# 04 General

---

Weather Conditions at the time of the inspection:

✓ Dry

Recent weather conditions:

✓ Frosty

Date and time of inspection:

✓ 20 Aug 2025



# 05 Summary of Inspection

---

## Results of Building Inspection - Summary

	Found	Not Found
Safety Hazard		✓
Major Defect		✓
Minor Defect	✓	

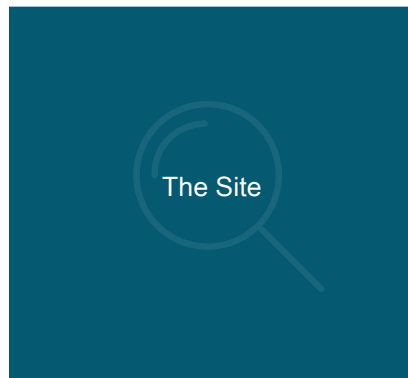
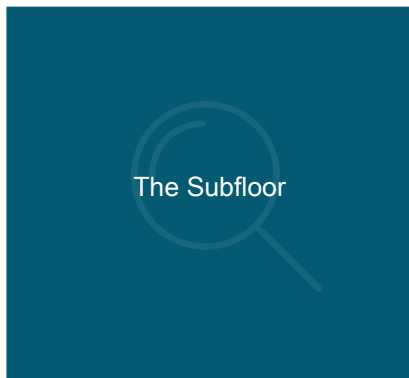
Please refer to the report for explanations.

The overall condition of this residential Dwelling in the context of its age, type and general expectations of similar properties is Average.

# 06 Areas Inspected

---

The areas inspected were



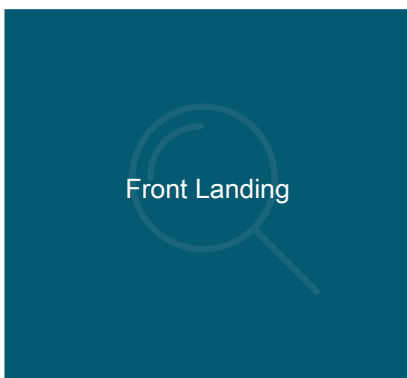
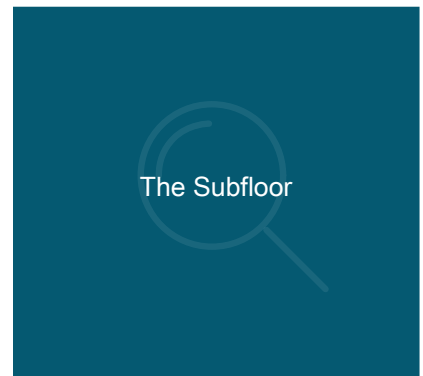
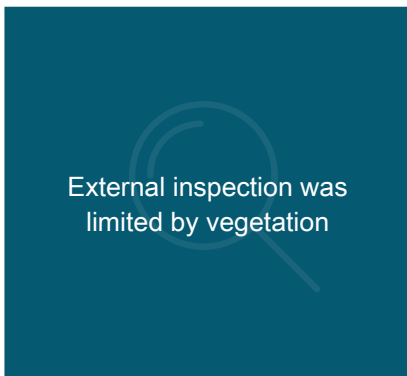
# 07 Areas Not Inspected

---

The areas NOT accessible for any inspection were



The areas in which visual inspection was obstructed



# 08 Inspection

---

## Kitchen

### Access Limitations

✗ Furniture, Clutter

### Ceiling

✓ No defects evident

### Cornice

✓ No defects evident

### Walls

✓ No defects evident

### Floor

✓ No defects evident

### Sink

✓ No defects evident

### Taps

✓ No defects evident

### Splashback

✓ No defects evident

### Bench top

✓ No defects evident

### Top Cupboards

✓ No defects evident

### Bottom Cupboards

✗ Other

### EXPLANATIONS

Comments : Good condition with minor wear  
Defect Significance: Minor  
Defect Type: A (Damage)



IMAGES



Photo Ref #1

Food Cupboards

✓ No defects evident

Window/s

✓ No defects evident

Skirting

✓ No defects evident

Meals Area

Access Limitations

✗ Furniture, Clutter, Curtains and blinds

Ceiling

✓ No defects evident

Cornice

✓ No defects evident

Walls

✓ No defects evident

Floor

✗ Other

EXPLANATIONS

Comments : Good condition and sound throughout. Minor deflection evident.

Defect Significance: Minor

Defect Type: B (Distortion, Warping, Twisting)

## IMAGES

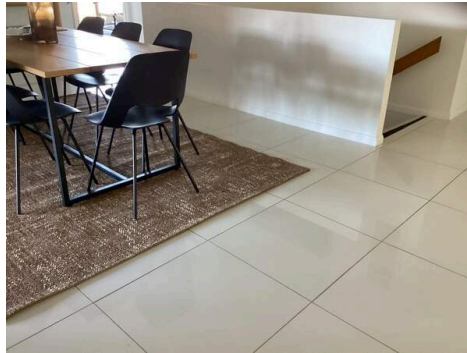


Photo Ref #2

### Window/s

✓ No defects evident

### Rear Exit Door

✓ No defects evident

### Skirting

✓ No defects evident

### Architraves

✓ No defects evident

## Lounge Room

### Access Limitations

✗ Furniture, Clutter, Curtains and blinds

### Ceiling

✓ No defects evident

### Cornice

✓ No defects evident

### Walls

✓ No defects evident

### Floor

✓ No defects evident

### Front Door and door furniture

✓ No defects evident

### Window/s

✓ No defects evident

### Skirting

✓ No defects evident

### Architraves

✓ No defects evident

## Front Entrance Area

### Access Limitations

✗ Furniture, Clutter

### Ceiling

✓ No defects evident

### Cornice

✓ No defects evident

### Walls

✓ No defects evident

### Floor

✓ No defects evident

### Front Door and door furniture

✓ No defects evident

### Skirting

✓ No defects evident

### Architraves

✓ No defects evident

## Stairs

### Access Limitations

✗ Clutter

### Walls

✓ No defects evident

### Treads & Risers

✓ No defects evident

Hand Rail

✓ No defects evident

Bedroom 1

Access Limitations

✗ Clutter, Furniture, Curtains and blinds

Ceiling

✓ No defects evident

Cornice

✓ No defects evident

Walls

✓ No defects evident

Floor

✓ No defects evident

Window/s

✓ No defects evident

Door/s and door furniture

✓ No defects evident

Skirting

✗ Other

EXPLANATIONS

Comments : Some areas of skirting installation are not trades like standard

Defect Significance: Minor

Defect Type: F (Installation, including omissions)

## IMAGES



Photo Ref #3

### Architraves

✓ No defects evident

### Robe

✓ No defects evident

## Ensuite

### Access Limitations

✗ Clutter

### Ceiling

✓ No defects evident

### Cornice

✓ No defects evident

### Walls

✓ No defects evident

### Shower Wall Tiles

✓ No defects evident

### Ensuite floor

✓ No defects evident

### Basins

✓ No defects evident



Splashback Tiles

✓ No defects evident

Taps

✓ No defects evident

Mirror

✓ No defects evident

Vanity Cupboard

✗ Other

EXPLANATIONS

Comments : Generally good condition with minor wear and tear  
Defect Significance: Minor  
Defect Type: A (Damage)

IMAGES



Photo Ref #4

Bath

✓ No defects evident

Bath Splashback

✓ No defects evident

Bath Side Tiles

✓ No defects evident

Pan and cistern

✓ No defects evident

Door and door furniture

✓ No defects evident

Window/s

✓ No defects evident

### Architraves

✓ No defects evident

### Skirting tiles

✓ No defects evident

## Bedroom 2

### Access Limitations

✗ Curtains and blinds

### Ceiling

✓ No defects evident

### Cornice

✓ No defects evident

### Walls

✓ No defects evident

### Floor

✓ No defects evident

### Window/s

✓ No defects evident

### Door/s and door furniture

✓ No defects evident

### Skirting

✓ No defects evident

### Architraves

✓ No defects evident

### Robe

✓ No defects evident

## Bedroom 3

### Access Limitations

✗ Curtains and blinds

Ceiling

✓ No defects evident

Cornice

✓ No defects evident

Walls

✓ No defects evident

Floor

✓ No defects evident

Window/s

✓ No defects evident

Door/s and door furniture

✗ Other

EXPLANATIONS

Comments : Doors to bathroom do not appear to be operating well and minor adjustment is required to improve function

Defect Significance: Minor

Defect Type: E (Operational)

IMAGES

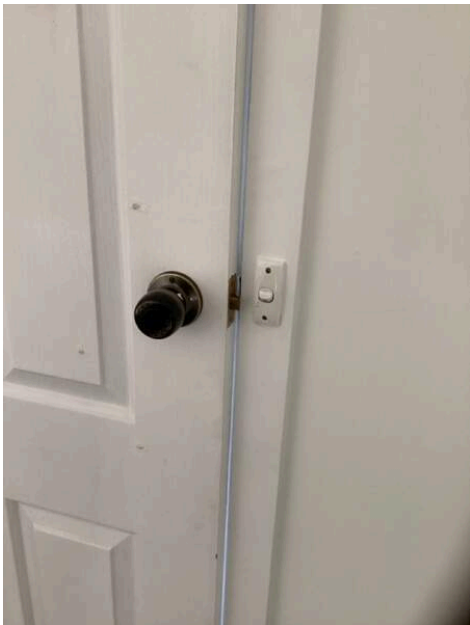


Photo Ref #5

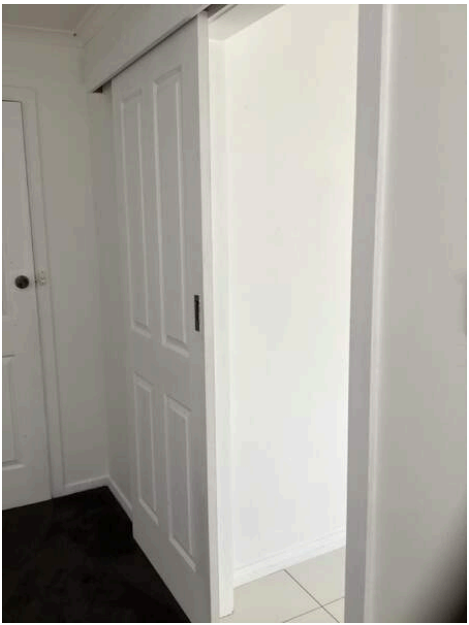


Photo Ref #6

Skirting

✓ No defects evident

Architraves

✓ No defects evident

Robe

✗ Good condition

Bedroom 4

Access Limitations

✗ Furniture, Clutter, Curtains and blinds

Ceiling

✗ Other

EXPLANATIONS

Comments : Minor cosmetic defects to ceiling lining evident  
Defect Significance: Minor  
Defect Type: F (Installation, including omissions)

IMAGES



Photo Ref #7

Walls

✓ No defects evident

Floor

✓ No defects evident

Window/s

✓ No defects evident

Door/s and door furniture

✓ No defects evident

Skirting

✓ No defects evident


# Bedroom 5

## Access Limitations

✗ Furniture, Clutter, Curtains and blinds

## Ceiling

✗ Other

EXPLANATIONS	<div>Comments : Ceiling lining has minor cosmetic defects evident</div> <div>Defect Significance: Minor</div> <div>Defect Type: F (Installation, including omissions)</div>
IMAGES	<div></div> <div>Photo Ref #8</div>

## Walls

✓ No defects evident

## Floor

✓ No defects evident

## Window/s

✓ No defects evident

## Door/s and door furniture

✓ No defects evident



# Bedroom 6

## Access Limitations

✗ Furniture, Clutter

## Ceiling

✓ No defects evident

## Walls

✗ Other

### EXPLANATIONS

Comments : Generally good condition with minor cosmetic paint defects

Defect Significance: Minor

Defect Type: F (Installation, including omissions)

### IMAGES



Photo Ref #9

## Floor

✓ No defects evident

## Window/s

✓ No defects evident

Door/s and door furniture

✗ Other

EXPLANATIONS

Comments : Door not closing correctly, rubbing on frame and floor. Minor adjustment required to improve operation.

Defect Significance: Minor

Defect Type: E (Operational)

IMAGES



Photo Ref #10

Skirting

✓ No defects evident

Main Bathroom

Access Limitations

✗ Clutter

Ceiling

✓ No defects evident

Cornice

✓ No defects evident

Walls

✓ No defects evident

### Wall Tiles

✓ No defects evident

### Shower Wall Tiles

✓ No defects evident

### Shower floor

✓ No defects evident

### Shower Screen

✓ No defects evident

### Bathroom floor

✗ Other

#### EXPLANATIONS

**Comments :** Floor is sound underfoot. Generally good condition with mild deflection and floor is not level throughout.

**Defect Significance:** Minor

**Defect Type:** F (Installation, including omissions)

#### IMAGES

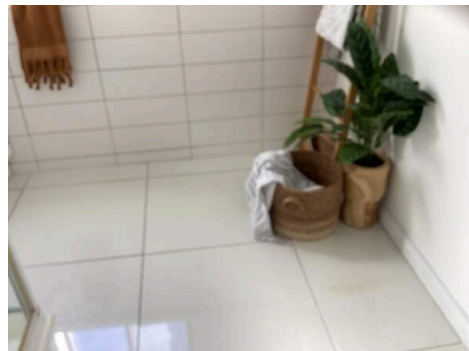


Photo Ref #11

### Basins

✓ No defects evident

### Splashback Tiles

✓ No defects evident

### Taps

✓ No defects evident

### Mirror

✓ No defects evident

Vanity Cupboard

✗ Other

EXPLANATIONS

Comments : Reasonable condition with minor wear and tear  
Defect Significance: Minor  
Defect Type: A (Damage)

IMAGES



Photo Ref #12



Photo Ref #13

Pan and cistern

✓ No defects evident

Door and door furniture

✗ Other

EXPLANATIONS

Comments : Doors require minor adjustment to improve function  
Defect Significance: Minor  
Defect Type: E (Operational)

IMAGES

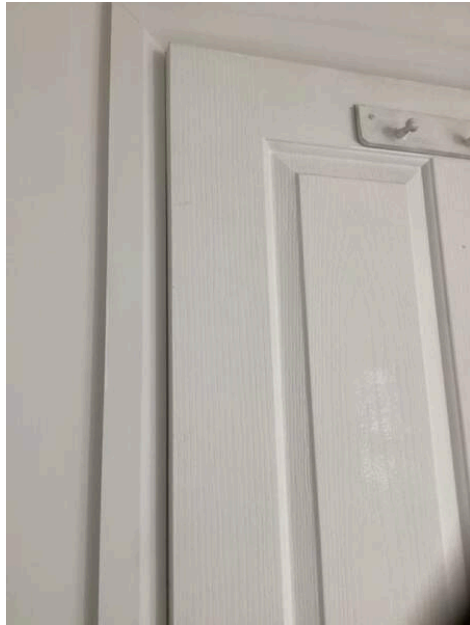


Photo Ref #14



Photo Ref #15

IMAGES



Photo Ref #16

#### Window/s

✓ No defects evident

#### Architraves

✓ No defects evident



## Skirting tiles

✗ Other

### EXPLANATIONS

Comments : Skirting boards installation not trades like quality  
Defect Significance: Minor  
Defect Type: F (Installation, including omissions)

### IMAGES



Photo Ref #17

## Bathroom

### Access Limitations

✗ Clutter

### Ceiling

✓ No defects evident

### Walls

✗ Other

### EXPLANATIONS

Comments : Reasonable condition for the age with minor cosmetic paint defects  
Defect Significance: Minor  
Defect Type: F (Installation, including omissions)

IMAGES



Photo Ref #18

Shower Wall Tiles

✓ No defects evident

Shower floor

✗ Other

EXPLANATIONS

Comments :	Recently painted. Minor wear and tear
Defect Significance:	Minor
Defect Type:	F (Installation, including omissions)

IMAGES



Photo Ref #19

Bathroom floor

✓ No defects evident

Basins

✓ No defects evident

Splashback Tiles

✗ Other

EXPLANATIONS

Comments : No splashback tiles installed.  
Defect Significance: Minor  
Defect Type: F (Installation, including omissions)

IMAGES



Photo Ref #20

Taps

✓ No defects evident

Mirror

✗ Other

EXPLANATIONS

Comments : Minor defects evident  
Defect Significance: Minor  
Defect Type: A (Damage)

IMAGES



Photo Ref #21

Pan and cistern

✓ No defects evident

Door and door furniture

✓ No defects evident

Window/s

✓ No defects evident

Laundry

Access Limitations

✗ Clutter

Ceiling

✗ Other

EXPLANATIONS

Comments : No ceiling lining installed  
Defect Significance: Minor  
Defect Type: F (Installation, including omissions)

IMAGES



Photo Ref #22

Walls

✗ Other

EXPLANATIONS

**Comments :** Small area of salt and mineral growth. Generally indicative of minor moisture levels. Moisture readings did not indicate moisture ingress or damp at the time of inspection.

**Defect Significance:** Minor

**Defect Type:** A (Damage)

IMAGES



Photo Ref #23



Floor

✓ No defects evident

Taps

✓ No defects evident

Splashback

✗ Other

EXPLANATIONS

Comments : No splashback installed  
Defect Significance: Minor  
Defect Type: F (Installation, including omissions)

IMAGES



Photo Ref #24

Tub

✗ Other

EXPLANATIONS

Comments : Reasonable condition for the age with typical wear and tear evident.  
Defect Significance: Minor  
Defect Type: A (Damage)

IMAGES



Photo Ref #25

Window/s


✓ No defects evident

Door/s and door furniture

✓ No defects evident

Laundry Cupboard

✗ Other

EXPLANATIONS	<div>Comments : Minor wear and tear evident</div> <div>Defect Significance: Minor</div> <div>Defect Type: A (Damage)</div>
IMAGES	<div></div> <div>Photo Ref #26</div>

Services

Access Limitations

✗ Clutter

Electrical

✗ Other

EXPLANATIONS	<div>Comments : Cable in laundry exposed. Does not appear alive. Not correctly terminated. Some switches maybe incorrectly located and or not operable.</div> <div>Defect Significance: Further Investigation</div> <div>Defect Type: F (Installation, including omissions)</div>
--------------	---

IMAGES



Photo Ref #27

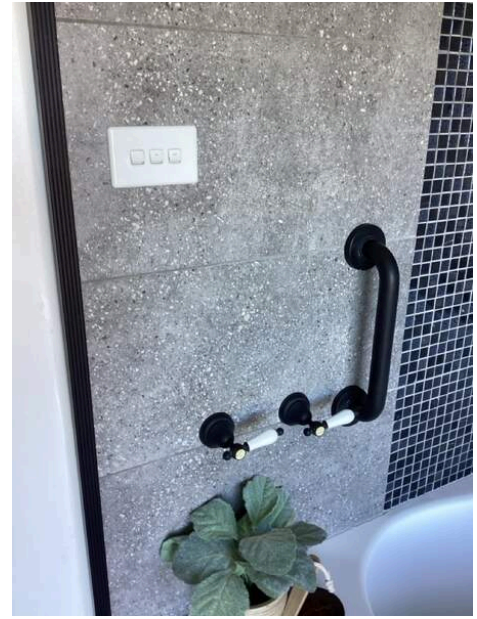


Photo Ref #28

IMAGES



Photo Ref #29

## Deck &/or Pergola

### Access Limitations




✗ Clutter

### Batons

✓ No defects evident

Rafters/Beams

✗ Other

EXPLANATIONS	<div>Comments : Reasonable condition for the age with typical element weathering.</div> <div>Defect Significance: Minor</div> <div>Defect Type: D (Material Deterioration: rusting, rotting, corrosion, decay)</div>	
IMAGES		
	Photo Ref #30	Photo Ref #31
IMAGES		
	Photo Ref #32	

Columns

✗ Other

EXPLANATIONS	<div>Comments : Reasonable condition for the age with typical element weathering</div> <div>Defect Significance: Minor</div> <div>Defect Type: D (Material Deterioration: rusting, rotting, corrosion, decay)</div>	
--------------	---	--



IMAGES



Photo Ref #33

Balustrade

✗ Other

EXPLANATIONS

**Comments :** Reasonable condition.  
Element weathering evident

**Defect Significance:** Minor

**Defect Type:** D (Material Deterioration: rusting, rotting, corrosion, decay)

IMAGES



Photo Ref #34

Flooring

✗ Other

EXPLANATIONS

**Comments :** Areas of typical weathering, wear and tear evident

**Defect Significance:** Minor

**Defect Type:** A (Damage)

IMAGES

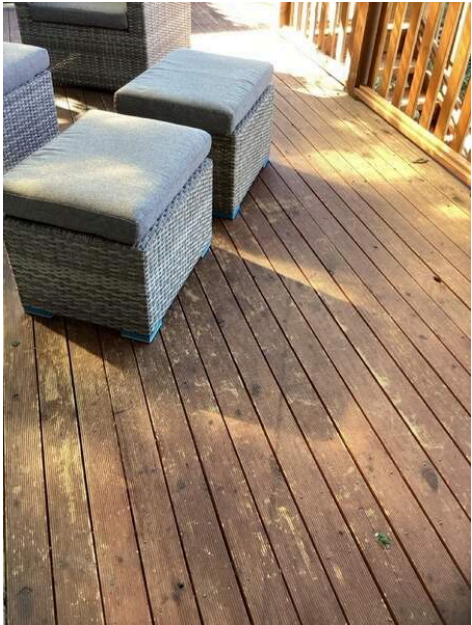


Photo Ref #35

Exterior

Access Limitations

✗ Vegetation, Clutter

Exterior cladding/finish

✗ Other

EXPLANATIONS

**Comments :** External brickwork appears to be in reasonable condition for the age with one or more areas of fine mortar cracking evident. Cracking appears consistent with typical lateral/thermal movement

**Defect Significance:** Minor

**Defect Type:** B (Distortion, Warping, Twisting)

IMAGES



Photo Ref #36



Photo Ref #37

IMAGES

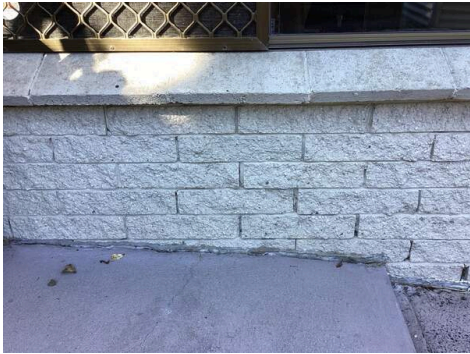


Photo Ref #38

Windows

✓ No defects evident

Window sills

✓ No defects evident

Doors

✗ Other

EXPLANATIONS

**Comments :** Reasonable condition for the age with typical element weathering, minor track and roller wear evident

**Defect Significance:** Minor

**Defect Type:** D (Material Deterioration: rusting, rotting, corrosion, decay)



IMAGES



Photo Ref #39



Photo Ref #40

IMAGES



Photo Ref #41

Doors

✗ Other

EXPLANATIONS

Comments :	Generally good condition for the age with minor weathering evident
Defect Significance:	Minor
Defect Type:	D (Material Deterioration: rusting, rotting, corrosion, decay)



## IMAGES



Photo Ref #42

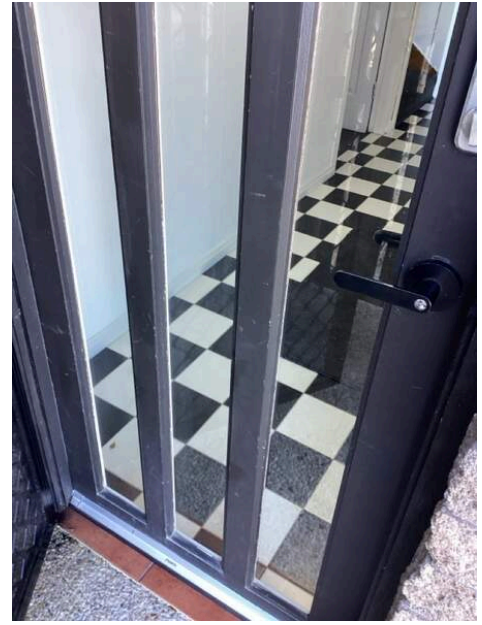


Photo Ref #43

### Door sills

✓ No defects evident

### Chimney/Flue

✓ No defects evident

## Site

### Access Limitations

✗ Vegetation, Clutter

### Foundation

✓ No defects evident

Drainage

✗ Other

EXPLANATIONS

**Comments :** At the time of inspection, the site was dry and no drainage defects were evident.  
The rear slope of the property falls toward the dwelling. Rear footpath does not appear to fall away from the dwelling providing natural run-off for stormwater.  
Monitoring of drainage conditions is always recommended as a matter of course as drainage conditions have potential to change, particularly overtime and during prolonged or heavy rain events. If moisture or drainage conditions become problematic, remedial measures may be required?

**Defect Significance:** Further Investigation  
**Defect Type:** E (Operational)

IMAGES



Photo Ref #44

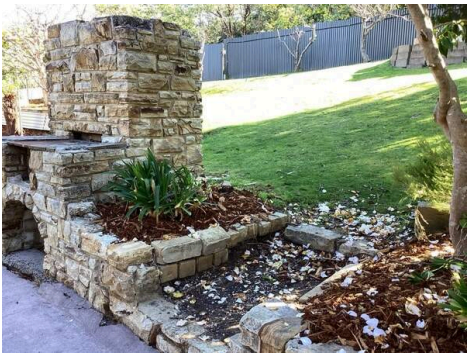


Photo Ref #45

Fences

✗ Other

EXPLANATIONS

**Comments :** Typical element weathering with areas of minor defect evident

**Defect Significance:** Minor  
**Defect Type:** D (Material Deterioration: rusting, rotting, corrosion, decay)

IMAGES



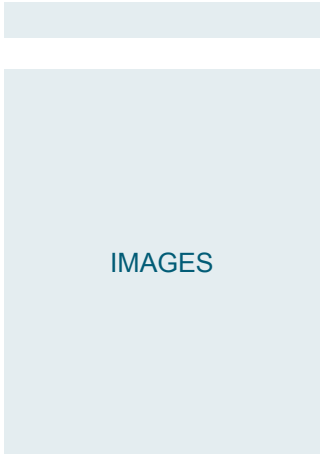


Photo Ref #46

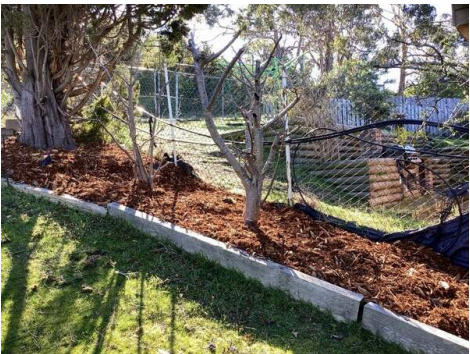


Photo Ref #48

Photo Ref #47

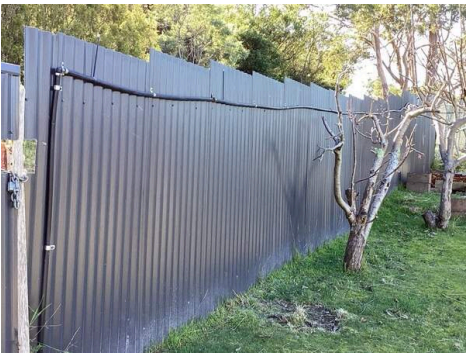


Photo Ref #49

Driveway

✗ Other



**Comments :** Generally good condition with minor surface wear and fine crack evident

**Defect Significance:** Minor

**Defect Type:** B (Distortion, Warping, Twisting)

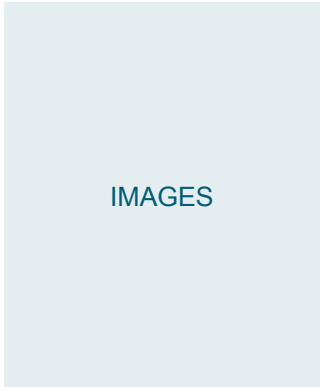


Photo Ref #50

Paths

✗ Other



**Comments :** Some areas of cracking and deflection evident. Rear pathway movement is evident and pathway does not appear to provide run-off for stormwater away from the building. Timber steps have typical element weathering and may be slippery when wet. Some areas of uneven surfaces exist

**Defect Significance:** Minor

**Defect Type:** B (Distortion, Warping, Twisting)



IMAGES



Photo Ref #51

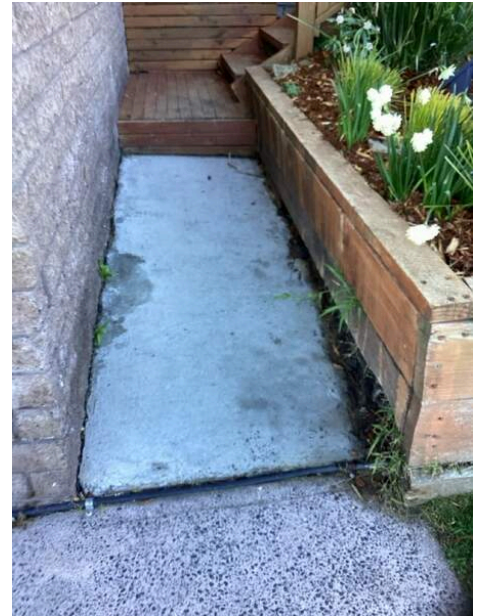


Photo Ref #52

IMAGES



Photo Ref #53

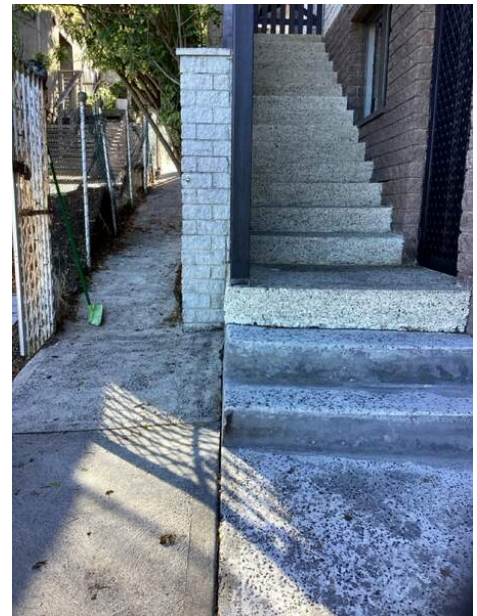


Photo Ref #54



IMAGES



Photo Ref #55

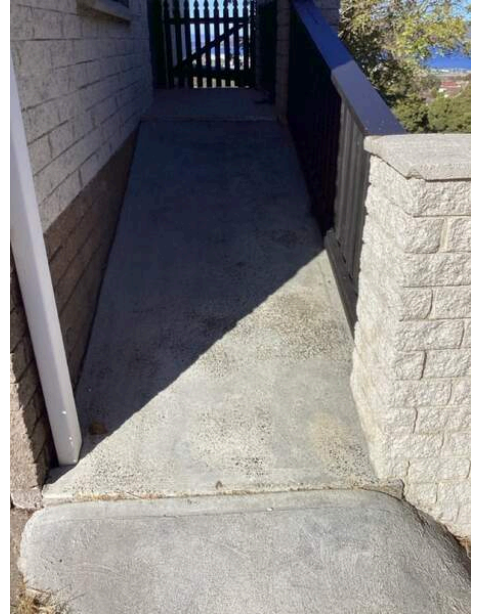


Photo Ref #56

IMAGES



Photo Ref #57

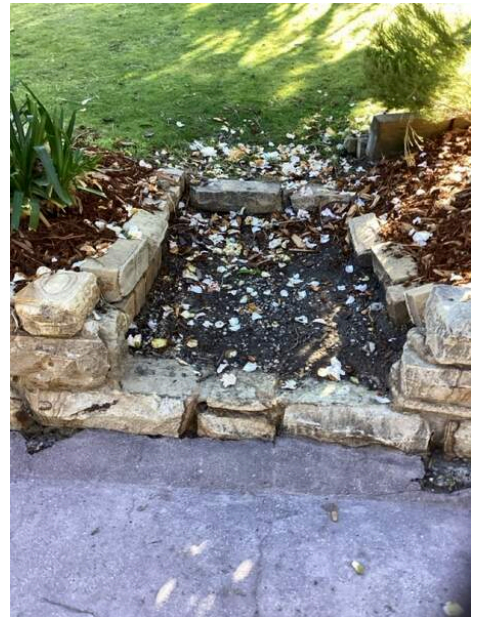


Photo Ref #58

IMAGES



Photo Ref #59

## Sub Floor

### Access Limitations

✗ Clutter

### Flooring

✓ No defects evident

### Ventilation

✗ Other

EXPLANATIONS

Comments :

Some areas of da brickwork are evident and some small areas of natural ground dampness evident. Ventilation could be improved by adding ventilation to subfloor door and/all introduction of mechanical ventilation if required. The foundation wall is not designed as a retaining wall. Any future repairs or improvements will need to work within those restrictions

Defect Significance:

Minor

Defect Type:

C (Water Penetration Damp Related)

IMAGES



Photo Ref #60



Photo Ref #61

IMAGES



Photo Ref #62

Sub floor door

✓ No defects evident

Roof Exterior

Access Limitations

✗ Clutter, Vegetation

Roof Covering

✗ Other

EXPLANATIONS

Comments : Areas of surface weathering, minor dents evident  
Defect Significance: Minor  
Defect Type: A (Damage)



IMAGES



Photo Ref #63



Photo Ref #64

Ridges

✓ No defects evident

Gutters

✗ Other

EXPLANATIONS

**Comments :** Gutters appear to be in reasonable condition for the age.  
Typical minor weathering and cleaning of some areas may improve function

**Defect Significance:** Minor

**Defect Type:** D (Material Deterioration: rusting, rotting, corrosion, decay)

IMAGES



Photo Ref #65

Downpipes

✓ No defects evident



Valleys

✗ Other

EXPLANATIONS

Comments : Reasonable condition for the age.  
Surface rust evident

Defect Significance: Minor

Defect Type: D (Material Deterioration: rusting, rotting, corrosion, decay)

IMAGES



Photo Ref #66



Photo Ref #67

Eaves

✓ No defects evident

Fascia

✓ No defects evident

Bargeboard

✗ Other

EXPLANATIONS

Comments : Typical paint and element weathering evident

Defect Significance: Minor

Defect Type: D (Material Deterioration: rusting, rotting, corrosion, decay)

IMAGES



Photo Ref #68



Photo Ref #69

# 09 General Photographs

---



Photograph 1



Photograph 2



Photograph 3



Photograph 4





Photograph 5



Photograph 6



Photograph 7



Photograph 8



Photograph 9





Photograph 10



Photograph 11



Photograph 12



Photograph 13





Photograph 14



Photograph 15



Photograph 16



Photograph 17



Photograph 18



Photograph 19



Photograph 20



Photograph 21



Photograph 22





Photograph 23



Photograph 24



Photograph 25



Photograph 26



Photograph 27

# 10 Defects and Safety Issues

---

## Safety Hazards in this Building:

No Safety Hazards Identified

## Major Defects in this Building:

No Major Defects Identified

## Minor and Other Defects in this Building:

Bottom Cupboards

✗ Other

### Explanation

Comments:

Good condition with minor wear

Defect Significance:

Minor

Defect Type:

A (Damage)

Floor

✗ Other

### Explanation

Comments:

Good condition and sound throughout. Minor deflection evident.

Defect Significance:

Minor

Defect Type:

B (Distortion, Warping, Twisting)

Skirting

✗ Other

### Explanation

Comments:

Some areas of skirting installation are not trades like standard

Defect Significance:

Minor

Defect Type:

F (Installation, including omissions)



## Vanity Cupboard

✗ Other

### Explanation

Comments:

Generally good condition with minor wear and tear

Defect Significance:

Minor

Defect Type:

A (Damage)

## Door/s and door furniture

✗ Other

### Explanation

Comments:

Doors to bathroom do not appear to be operating well and minor adjustment is required to improve function

Defect Significance:

Minor

Defect Type:

E (Operational)

## Ceiling

✗ Other

### Explanation

Comments:

Minor cosmetic defects to ceiling lining evident

Defect Significance:

Minor

Defect Type:

F (Installation, including omissions)

## Ceiling

✗ Other

### Explanation

Comments:

Ceiling lining has minor cosmetic defects evident

Defect Significance:

Minor

Defect Type:

F (Installation, including omissions)

## Walls

✗ Other

### Explanation

Comments:

Generally good condition with minor cosmetic paint defects

Defect Significance:

Minor

Defect Type:

F (Installation, including omissions)

## Door/s and door furniture

✗ Other

### Explanation

Comments:

Door not closing correctly, rubbing on frame and floor. Minor adjustment required to improve operation.

Defect Significance:

Minor

Defect Type:

E (Operational)

## Bathroom floor

✗ Other

### Explanation

Comments:

Floor is sound underfoot. Generally good condition with mild deflection and floor is not level throughout.

Defect Significance:

Minor

Defect Type:

F (Installation, including omissions)

## Vanity Cupboard

✗ Other

### Explanation

Comments:

Reasonable condition with minor wear and tear

Defect Significance:

Minor

Defect Type:

A (Damage)

## Door and door furniture

✗ Other

### Explanation

Comments:

Defect Significance:

Defect Type:

Doors require minor adjustment to improve function

Minor

E (Operational)

## Skirting tiles

✗ Other

### Explanation

Comments:

Defect Significance:

Defect Type:

Skirting boards installation not trades like quality

Minor

F (Installation, including omissions)

## Walls

✗ Other

### Explanation

Comments:

Defect Significance:

Defect Type:

Reasonable condition for the age with minor cosmetic paint defects

Minor

F (Installation, including omissions)

## Shower floor

✗ Other

### Explanation

Comments:

Defect Significance:

Defect Type:

Recently painted. Minor wear and tear

Minor

F (Installation, including omissions)

## Splashback Tiles

✗ Other

### Explanation

Comments:

Defect Significance:

Defect Type:

No splashback tiles installed.

Minor

F (Installation, including omissions)

## Mirror

✗ Other

### Explanation

Comments:

Minor defects evident

Defect Significance:

Minor

Defect Type:

A (Damage)

## Ceiling

✗ Other

### Explanation

Comments:

No ceiling lining installed

Defect Significance:

Minor

Defect Type:

F (Installation, including omissions)

## Walls

✗ Other

### Explanation

Comments:

Small area of salt and mineral growth. Generally indicative of minor moisture levels. Moisture readings did not indicate moisture ingress or damp at the time of inspection.

Defect Significance:

Minor

Defect Type:

A (Damage)

## Splashback

✗ Other

### Explanation

Comments:

No splashback installed

Defect Significance:

Minor

Defect Type:

F (Installation, including omissions)

## Tub

✗ Other

### Explanation

Comments:

Reasonable condition for the age with typical wear and tear evident.

Defect Significance:

Minor

Defect Type:

A (Damage)

## Laundry Cupboard

✗ Other

### Explanation

Comments:

Minor wear and tear evident

Defect Significance:

Minor

Defect Type:

A (Damage)

## Rafters/Beams

✗ Other

### Explanation

Comments:

Reasonable condition for the age with typical element weathering.

Defect Significance:

Minor

Defect Type:

D (Material Deterioration: rusting, rotting, corrosion, decay)

## Columns

✗ Other

### Explanation

Comments:

Reasonable condition for the age with typical element weathering

Defect Significance:

Minor

Defect Type:

D (Material Deterioration: rusting, rotting, corrosion, decay)

## Balustrade

✗ Other

### Explanation

Comments:

Defect Significance:

Defect Type:

Reasonable condition. Element weathering evident

Minor

D (Material Deterioration: rusting, rotting, corrosion, decay)

## Flooring

✗ Other

### Explanation

Comments:

Defect Significance:

Defect Type:

Areas of typical weathering, wear and tear evident

Minor

A (Damage)

## Exterior cladding/finish

✗ Other

### Explanation

Comments:

Defect Significance:

Defect Type:

External brickwork appears to be in reasonable condition for the age with one or more areas of fine mortar cracking evident. Cracking appears consistent with typical lateral/thermal movement

Minor

B (Distortion, Warping, Twisting)

## Doors

✗ Other

### Explanation

Comments:

Defect Significance:

Defect Type:

Reasonable condition for the age with typical element weathering, minor track and roller wear evident

Minor

D (Material Deterioration: rusting, rotting, corrosion, decay)

## Doors

✗ Other

### Explanation

Comments:

Generally good condition for the age with minor weathering evident

Defect Significance:

Minor

Defect Type:

D (Material Deterioration: rusting, rotting, corrosion, decay)

## Fences

✗ Other

### Explanation

Comments:

Typical element weathering with areas of minor defect evident

Defect Significance:

Minor

Defect Type:

D (Material Deterioration: rusting, rotting, corrosion, decay)

## Driveway

✗ Other

### Explanation

Comments:

Generally good condition with minor surface wear and fine crack evident

Defect Significance:

Minor

Defect Type:

B (Distortion, Warping, Twisting)

## Paths

✗ Other

### Explanation

Comments:

Some areas of cracking and deflection evident. Rear pathway movement is evident and pathway does not appear to provide run-off for stormwater away from the building. Timber steps have typical element weathering and may be slippery when wet. Some areas of uneven surfaces exist

Defect Significance:

Minor

Defect Type:

B (Distortion, Warping, Twisting)

## Ventilation

✗ Other

### Explanation

Comments:

Some areas of da brickwork are evident and some small areas of natural ground dampness evident. Ventilation could be improved by adding ventilation to subfloor door and/all introduction of mechanical ventilation if required. The foundation wall is not designed as a retaining wall. Any future repairs or improvements will need to work within those restrictions

Defect Significance:

Minor

Defect Type:

C (Water Penetration Damp Related)

## Roof Covering

✗ Other

### Explanation

Comments:

Areas of surface weathering, minor dents evident

Defect Significance:

Minor

Defect Type:

A (Damage)

## Gutters

✗ Other

### Explanation

Comments:

Gutters appear to be in reasonable condition for the age. Typical minor weathering and cleaning of some areas may improve function

Defect Significance:

Minor

Defect Type:

D (Material Deterioration: rusting, rotting, corrosion, decay)



## Valleys

✗ Other

### Explanation

Comments:

Reasonable condition for the age. Surface rust evident

Defect Significance:

Minor

Defect Type:

D (Material Deterioration: rusting, rotting, corrosion, decay)

## Bargeboard

✗ Other

### Explanation

Comments:

Typical paint and element weathering evident

Defect Significance:

Minor

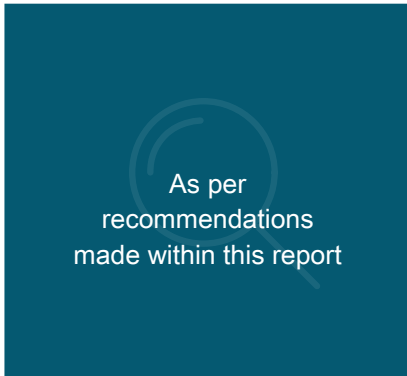
Defect Type:

D (Material Deterioration: rusting, rotting, corrosion, decay)

# 11 Other Inspections and Reports Required

---

Further Inspections Recommended



# 12 Conclusion & Summary

---

The purpose of the inspection is to identify the major defects and safety hazards associated with the property at the time of the inspection. The inspection and reporting is limited to a visual assessment of the Building Members in accord with Appendix C AS4349.1-2007.

The overall condition of this building has been compared to similar constructed buildings of approximately the same age where those buildings have had a maintenance program implemented to ensure that the building members are still fit for purpose.

**The incidence of Major Defects** in this Residential Building as compared with similar Buildings is considered:

None

**The incidence of Minor Defects** in this Residential Building as compared with similar Buildings is considered:

Typical

**The overall condition** of this residential Dwelling in the context of its age, type and general expectations of similar properties is:

Average

## Overall Condition Comments:

At the time of inspection the;

Site was dry and no drainage defects were evident.

Subfloor area elements were in reasonable condition, with some areas of slight dampness evident.

Rear area footpath has had movement evident and does not provide fall away from the building for stormwater.

Concrete slabs appear sound throughout.

Internal and external walls appear relatively plum and sound.

Roof frame appeared sound underfoot

External brickwork was in reasonable condition for the age with one or more areas of fine mortar joint cracks evident

Moisture readings did not reveal any areas of rising damp, moisture ingress or leaking pipework

The dwelling appears to be in functional condition.

Some areas of works are not trades like standard.

Weathering, cosmetic defects, typical wear and tear evident and consistent with the age of the dwelling.

Maintenance and repairs, typical for dwelling of this age, construction type and current condition will be required to maintain aesthetic appearance and building function.

Some areas of this report and some pictures in the general photo section may require discussion

**Please Note:** This is a general appraisal only and cannot be relied on its own - read the report in its entirety.

**This Summary is supplied to allow a quick and superficial overview of the inspection results. This Summary is NOT the Report and cannot be relied upon on its own. This Summary must be read in conjunction with the full report and not in isolation from the report. If there should happen to be any discrepancy between anything in this Report and anything in this summary, the information in the report shall override that in this summary.**

# 13 Contact

---

We take this opportunity to thank you for your instructions.

If you have any queries, please do not hesitate to contact our inspector.

Yours faithfully,



Paul Reece

HICAM

E: [tpreece247@gmail.com](mailto:tpreece247@gmail.com)

T: 0418 125 624

# 14 Terms & Conditions

---

## Part 1: Purpose and Scope of Inspection

This report complies with Australian Standard AS4349.1 - 2007 Inspection of Buildings, Part 1: Pre Purchase Inspections - Residential Buildings.

### Inspection Agreement - Individual title property

Requirement for Inspection agreement AS 4349.1 - 2007 requires that an inspection agreement be entered into between the inspector & the client prior to the conduct of the inspection. This agreement sets out specific limitations on the scope of the inspection and on limits that apply in carrying it out. Where specific State or Territory requirements apply in addition to the scope of work in this agreement, or where the inspector and client agree to additional matters being covered, that additional scope is listed at the end of this agreement. It is assumed that the existing use of the building will continue.

### Purpose of Inspection

The purpose of the inspection is to provide advice to a prospective purchaser or other interested party regarding the condition of the property on the date and at the time of the inspection. The advice is limited to the reporting of the condition of the Building Elements in accord with Appendix B or C AS4349.1-2007 (Appendix B for Strata or Company Title and Appendix C for other residential buildings).

### Important Information and Disclaimer

Any person who relies upon the contents of this report does so acknowledging that the following clauses both below **and** at the end of this report. These define the Scope and Limitations of the inspection and form an integral part of the report. Before you decide to purchase this property you should read and understand all of the information contained herein. It will help explain what is involved in a Residential Pre-Purchase Building Inspection Report, the difficulties faced by an inspector and why it is not possible to guarantee that a property is free of defects, latent or otherwise. This information forms an integral part of the report. If there is anything contained within this report that is not clear or you have difficulty understanding, please contact the inspector prior to acting on this report.

The extent and thoroughness of this inspection has been limited by our reading of what was reasonable by way of time, intrusion and risk of doing physical damage to the property being inspected. We have not inspected woodwork or other parts of the structure which are covered, unexposed or inaccessible and we are therefore unable to report that any such part of the structure is free from defect. Identification of hazardous materials or situations that may be in the building or on or near the property is outside the scope of this inspection. This report is not a certificate of compliance of the property within the requirements of any Act, regulation, ordinance, local law or by-law, and is not a warranty against problems developing with the building in the future. This report does not include the identification of unauthorised building work or of work not compliant with building regulations. With respect to minor defects, the inspection is limited to reporting on their overall extent. It is not intended to detail each and every individual minor defect or imperfection. This service is provided on an independent professional basis. It seeks to present a factual, unbiased and balanced assessment. We have no financial interest in any work that may be recommended or in any share of commission if the property is sold.

### Scope of Inspection

The inspection comprised a visual assessment of the property to identify major defects and safety hazards, and

to form an opinion regarding the general condition of the property at the time of inspection. An estimate of the cost of rectification of defects is outside the scope of the Standard and therefore does not form part of this report.

AS 4349.1 - 2007 requires that the basis for comparison is a building of similar age and similar type to the subject building and which is in reasonable condition, having been adequately maintained over the life of the building. This means that building being inspected may not comply with Australian Standards, building regulations or specific state or territory requirements applicable at the time of the inspection.

What is reported on:

- The inspection includes subjective appraisal by an inspector competent to assess the condition of residential buildings. It involves a subjective assessment so different inspectors or even the same inspector on a different occasion may reach different conclusions
- The inspection comprises a visual assessment of the property to identify major defects and to form an opinion regarding the general condition of the property at the time of inspection.
- The following areas shall be inspected where applicable:
  - The interior of the building: ceilings; walls; floors; windows; doors & frames; kitchen; bathroom; WC; ensuite; laundry; stairs & damp problems
  - The exterior of the building: walls (including lintels, claddings, doors & windows); timber or steel frames & structures; chimneys; stairs; balconies, verandas, patios, decks, suspended concrete floors, balustrades
  - The roof exterior: roof (including tiles, shingles & slates, roof sheeting, gables, flashings); skylights, vents, flues; valleys; guttering; downpipes; eaves, fascias and barges
  - The roof space: roof covering; roof framing; sarking; party walls; insulation
  - The sub-floor space: timber floor (including supports, floor, ventilation, drainage, damp); suspended concrete floors
  - The property within 30m of the house and within the boundaries of the site: car accommodation, detached laundry, ablution facilities and garden sheds; retaining walls (where supporting other structures and landscaping retaining walls > 700mm high); paths & driveways; steps ; fencing (excluding swimming pool fences) ; surface water (drainage effectiveness)

What is not reported on:

- general exclusions detailed in the standard AS 4349.1 - 2007
- Parts of a building that are under construction
- The inspection is not intended to include rigorous assessment of all building elements in a property
- Defects that would only be apparent under particular weather conditions or when using particular fittings & fixtures
- Defects not apparent due to occupancy or occupancy behavior eg non use of a leaking shower
- The inspection report is not a certificate of compliance of the property within the requirements of any Act, regulation, ordinance, local law or by-law and is not a warranty against problems developing with the building in the future
- Unauthorized building work or of work not compliant with building regulations
- Title and ownership matters, matters concerning easements, covenants, restrictions, zoning certificates and all other law-related matters
- Estimation of the cost of rectification of specific defects.
- Specifics excluded by the standard AS 4349.1 - 2007 Footings below ground, concealed damp-proof course, electrical installations, operation of smoke detectors, light switches and fittings, TV, sound and communication and security systems, concealed plumbing, adequacy of roof drainage as installed, gas fittings and fixtures, air conditioning, automatic garage door mechanisms, swimming pools and associated filtration and similar equipment, the operation of fireplaces and solid fuel heaters, including chimneys and flues, alarm systems, intercom systems, soft floor coverings, electrical appliances

including dishwashers, incinerators, ovens, ducted vacuum systems, paint coatings except external protective coatings, health hazards e.g., allergies, soil toxicity, lead content, radon, presence of asbestos or urea formaldehyde), timber and metal framing sizes and adequacy, concealed tie downs and bracing, timber pest activity, other mechanical or electrical equipment (such as gates, inclinators), soil conditions, control joints, sustainable development provisions, concealed framing-timbers or any areas concealed by wall linings or sidings, landscaping, rubbish, floor cover, furniture and accessories, stored items, insulation, environmental matters e.g. BASIX, water tanks, BCA environmental provisions, energy efficiency, lighting efficiency.

## Special Requirements

It is acknowledged that there are no special requirements placed on this inspection that are outside the scope of the abovementioned Australian Standard.

## Limitations

This report is limited to a visual inspection of areas where safe and reasonable access is available and access permitted on the date and at the time of inspection. The Inspection will be carried out in accordance with AS4349.1-2007. The purpose of the inspection is to provide advice to a prospective purchaser regarding the condition of the property at the date and time of inspection. Areas for Inspection shall cover all safe and accessible areas. It does not purport to be geological as to foundation integrity or soil conditions, engineering as to structural, nor does it cover the condition of electrical, plumbing, gas or motorised appliances. It is strongly recommended that an appropriately qualified contractor check these services prior to purchase.

As a matter of course, and in the interests of safety, all prospective purchasers should have an electrical report carried out by a suitably qualified contractor.

This report is limited to (unless otherwise noted) the main structure on the site and any other building, structure or outbuilding within 30m of the main structure and within the site boundaries including fences.

## Safe and Reasonable Access

Only areas to which safe and reasonable access is available were inspected. The Australian Standard 4349.1 defines reasonable access as "areas where safe, unobstructed access is provided and the minimum clearances specified below are available, or where these clearances are not available, areas within the inspector's unobstructed line of sight and within arm's length. Reasonable access does not include removing screws and bolts to access covers." Reasonable access does not include the use of destructive or invasive inspection methods nor does it include cutting or making access traps or moving heavy furniture, floor coverings or stored goods.

## Dimensions for Reasonable Access

**Roof Interior** - Access opening = 400 x 500 mm - Crawl Space = 600 x 600mm - Height accessible from a 3.6m ladder.

**Roof Exterior** - Must be accessible from a 3.6m ladder placed on the ground.



# 15 Definitions

---

**High:** The frequency and/or magnitude of defects are beyond the inspector's expectations when compared to similar buildings of approximately the same age that have been reasonably well maintained.

**Typical:** The frequency and/or magnitude of defects are consistent with the inspector's expectations when compared to similar buildings of approximately the same age that have been reasonably well maintained.

**Low:** The frequency and/or magnitude of defects are lower than the inspector's expectations when compared to similar buildings of approximately the same age that have been reasonably well maintained.

**Above Average:** The overall condition is above that consistent with dwellings of approximately the same age and construction. Most items and areas are well maintained and show a reasonable standard of workmanship when compared with buildings of similar age and construction.

**Average:** The overall condition is consistent with dwellings of approximately the same age and construction. There will be areas or items requiring some repair or maintenance.

**Below Average:** The Building and its parts show some significant defects and/or poor non-tradesman like workmanship and/or long term neglect and/or defects requiring major repairs or reconstruction of major building elements.

**Major Defect:** Is a Defect requiring building works to avoid unsafe conditions, loss of function or further worsening of the defective item.

**Minor Defect:** Any Defect other than what is described as a major defect.

**Structural Element:** Physically distinguishable part of a structure. Note: for example, wall columns, beam, connection.

**Accessible area:** is any area of the property and structures allowing the inspector safe and reasonable access within the scope of the inspection.

The Definitions below apply to the TYPES OF DEFECTS associated with individual items/parts or inspection areas.

**Damage:** The building material or item has deteriorated or is not fit for its designed purpose.

**Distortion, Warping, Twisting:** The item has moved out of shape or moved from its position.

**Water Penetration, Dampness:** Moisture has gained access to unplanned and/or unacceptable areas.

**Material Deterioration:** The item is subject to one or more of the following defects, rusting, rotting, corrosion, decay.

**Operational:** The item or part does not function as expected.

**Installation:** The installation of an item is unacceptable, has failed or is absent.