

PROPERTY DETAILS:

LOT: Lot
SP/RP: SP/RP
PARISH:
COUNTY:
LOCAL AUTHORITY: Local Authority
BRISWAY REF: Brisbane Ref:

SITE DETAILS

SOIL REPORT BY: Soil Report
REPORT NUMBER: Reports No.
SITE SOIL CLASSIFICATION: 'X' Class
WIND CLASSIFICATION: N'X'

SLAB DETAILS

DWELLING & GARAGE: Waffle Pod
SLAB SITE CUT & FILL TO: PAD RL. X.XXX (AHD)
HOUSE FFL RL. (AHD) FFL RL. X.XXX (AHD)
FALL OVER BUILDING PLATFORM: XXXX mm
CUT (Max 1:2 Batter): XXX mm
FILL (Max 1:3 Batter): XXX mm
SLAB FREEBOARD: 310mm (M) / 385mm (H)
REBATE TO HOUSE: 135mm (M) / 220mm (H) Rebate
STEPDOWN TO ALFRESCO: 135mm
STEPDOWN TO PORCH: 135mm / 220mm
STEPDOWN TO GARAGE: NIL / 135mm
SPARE 1: -

BUILDING PLATFORM HEIGHT SHOWN IS APPROX. ONLY & MAY VARY ON SITE DUE TO SITE CONDITIONS.

 DENOTES AREA OF ADDITIONAL SITE SCRAPE DUE TO WAFFLE POD STEP DOWN

LEGEND

SEWER PIPE 
STORMWATER 

(TOTAL AREA - incl. EXT AREAS)		
BUILDING AREA:	297.66	sq.m
SITE AREA:	540.00	sq.m
SITE COVERAGE:	55.12	%

CLIENT SIGN OFF DRAWINGS	CLIENT 1	DATE	CLIENT 2	DATE
	<i>S. Ferrando</i>		<i>W. Dickson</i>	

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THE GREAT AUSTRALIAN BUILDER **SIMONDS**

Spec: **NEW LIVING RANGE (QLD)**
(STANDARD)
- DEVELOPMENT DIVISION PURPOSE ONLY -
CONTRACT PLANS
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View: **SITE PLAN**
Customer: **Z. DICKESON & S. FERRANDO**
Address: **LOT 155 NEW ROAD, WALLOON**

- A.G. DRAINS & SILT PITS TO BASE OF CUT BACKFILL TO ALL EXPOSED EDGE BEAMS
- DRAINER MUST REFER TO START WORK NOTICE FOR SEWER POINT LOCATION
- STORMWATER DRAIN NOTES:
- PROVIDE 100mm DIAMETER HEAVY DUTY PVC STORMWATER PIPE WITH MINIMUM FALL OF 1:100
- PROVIDE 100mm DIAMETER PVC STORMWATER PIPE UNDER GARAGE AND FUTURE DRIVEWAYS
- STORMWATER DRAIN LAYOUT IS INDICATIVE ONLY & WILL BE LAID AT THE DRAINER'S DISCRETION
- TERMITE TREATMENT TO COMPLY WITH A.S. 3660.1 2000 SPECIFICATIONS

STORMWATER LINES TO STREET
(WITH A MINIMUM 2x100mm OUTLETS)

NOTE: NATURAL GAS SUPPLIED ON SITE.
LOCATION TO BE DETERMINED ON SITE

NBN PROVISION TO DWELLING
REFER TO NOTES (SHEET 3.2)

PRELIMINARY SITE PLAN ONLY:

SITE PLAN BASED ON PRELIMINARY DISCLOSURE INFORMATION. PLAN PENDING ON SOIL TEST, SURVEY AND AS-CONSTRUCTED INFORMATION TO FINALISE LOCATIONS/ EARTHWORKS.

A RELAXATION WILL BE REQUIRED FOR THE FRONT BOUNDARY

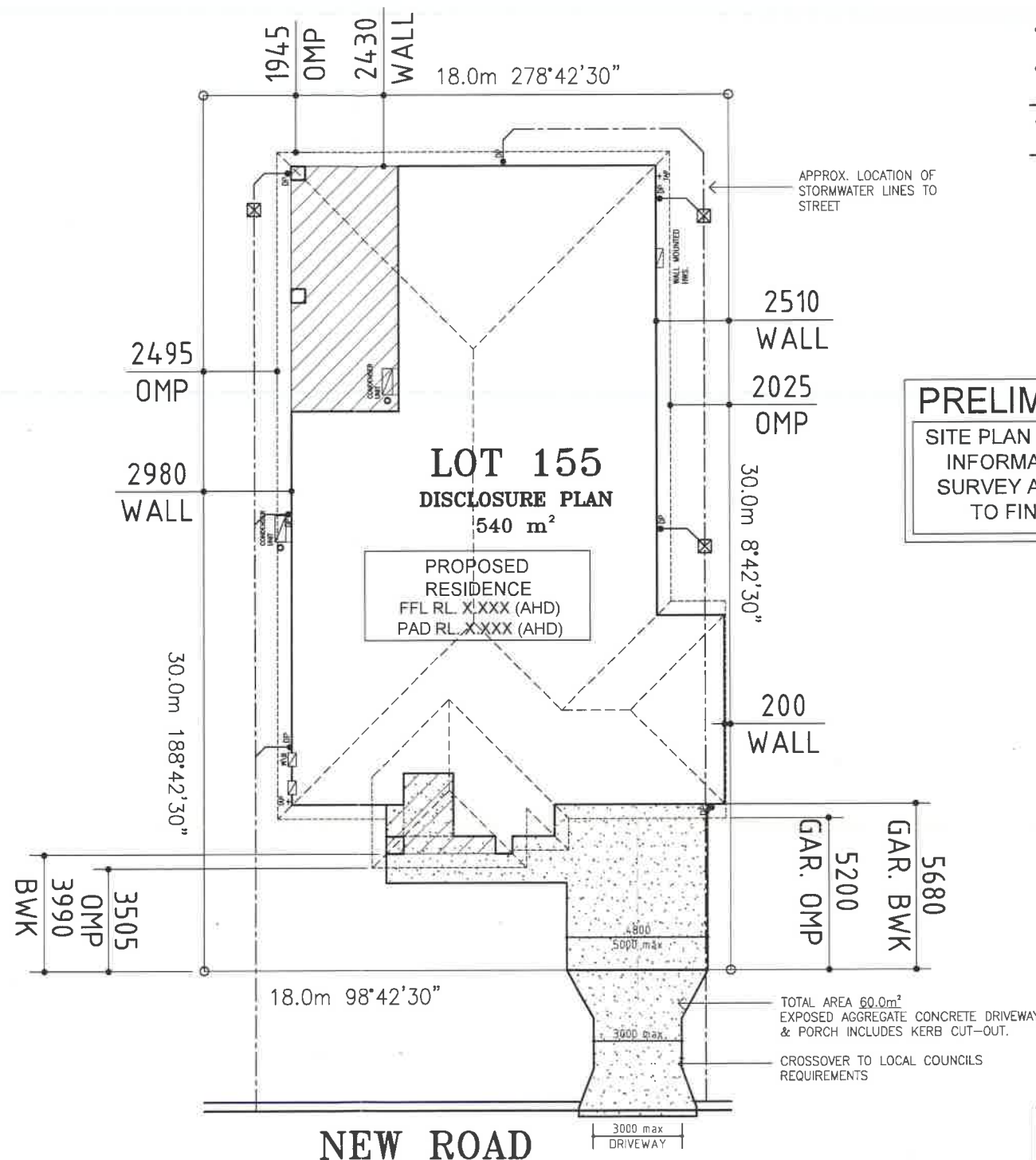
 - DENOTES GULLY PIT
APPROXIMATE POSITION OF GULLY PITS (3 IN TOTAL). THE NUMBER & POSITION OF SITE DRAINAGE GULLY PITS ARE INDICATIVE ONLY & MAY VARY DUE TO SITE CONDITIONS.

AS CONSTRUCTED DRAWINGS REQUIRED TO DETERMINE FINAL LOCATIONS OF SERVICES

BEST PRACTICE PROCEDURES FOR EROSION & SEDIMENT CONTROL AS OUTLINED BY I.C.C. REGULATIONS TO BE ADHERED TO

REV	DATE	AMENDMENTS	BY
C	16.11.17	CONTRACT PLANS	EC
B	13.11.17	NAME CORRECTION	DH
A	12.10.17	GALLERY PLANS	DH

Scale: 1:200@A3	Date: 12.10.17	House: MARRIOTT 3117
		Facade: DORSET
		Drawn: Job No: Q3572
		Checked: GS 16.10
		Sheet No: 1.1



SELECTED CERAMIC FLOOR TILING

NETT FLOOR COVERING AREA:
 TILED AREA.....17 m²
 (NOT INCLUDING SKIRTING TILES)
 MAIN FLOOR TIMBER.....90 m²
 CARPET COVERING.....90 m²

PROVIDE GAINSBOROUGH OMNIS PRIVACY SET TO BED 1, BATH & WC

ELEVATION A

14820 OVERALL

5800

5710 GARAGE

MANHOLE

ALL NEW AREAS TO COMPLY WITH A.S. 3740
 NOTE: ALL SANITARY COMPARTMENTS TO COMPLY WITH CURRENT B.C.A. PART 3.8.3.3.
 NOTE: REF. FRE. WM. CO. DW INDICATE POSITION ONLY.

ELEVATION D

23570 OVERALL

ALL GLASS TO CONFORM WITH AS1288-2006 : GLASS IN BUILDINGS

— DENOTES 300mm DEEP BULKHEAD TO PLASTER FACE — UNLESS NOTED OTHERWISE, REFER ALSO INTERNAL ELEVATIONS.
 NOTE: DIMENSIONS LOCATING WINDOWS ARE NOMINAL.
 NOTE: ALL INTERNAL DOOR HEIGHTS TO BE 2040mm. HIGH UNLESS OTHERWISE NOTED.
 NOTE: DIMENSIONS FOR WALL SETOUT ARE NOMINAL & TO FACE OF STUDWORK.
 NOTE: BULKHEADS & NIBS ARE NOMINAL SIZES ONLY.

470x470 BRICK PIER WITH INTERNAL 50x50 GALV. STEEL POST ON GALV. BRACKETS

ELEVATION C

7900 FAMILY/MEALS

4210 BED 1

900 WC

1680 ENSUITE

2670 ENSUITE

900 WC

1450 W.I.R.

510 ROBE

3440 BED 4

4040 BED 3

1500 WC

3000 BED 2

1960 LAUNDRY

ELEVATION B

23570 OVERALL

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View:

GROUND FLOOR PLAN

Customer:

Z. DICKESON & S. FERRANDO

Address:

LOT 155 NEW ROAD, WALLOON

C

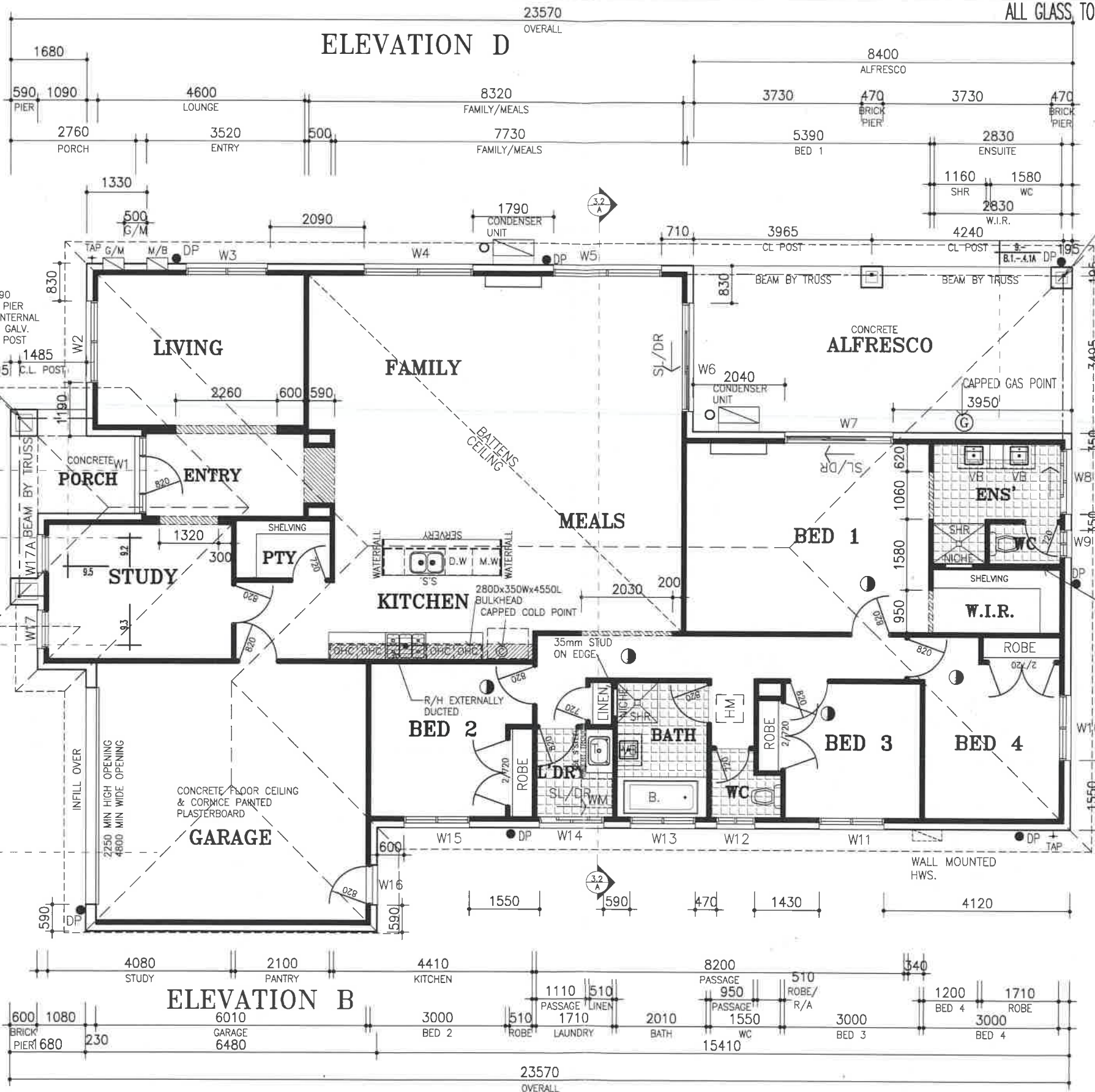
Scale: 1:100@A3

Date: 12.10.17

AREAS

Ground Floor:	222.38 sq.m	23.94 sqrs
Subtotal:	222.38 sq.m	23.94 sqrs
Porch:	6.60 sq.m	0.71 sqrs
Garage:	37.68 sq.m	4.06 sqrs
Alfresco:	31.00 sq.m	3.34 sqrs
Total Area:	297.66 sq.m	32.04 sqrs

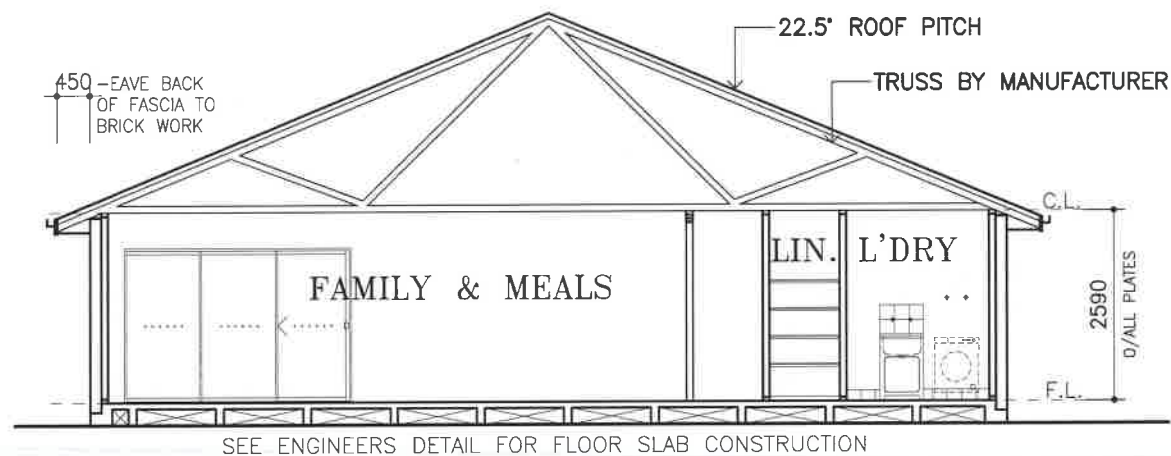
House:	MARRIOTT 3117
Facade:	DORSET
Drawn:	Job No: Q3572
Checked:	Sheet No: 2.1
GS 16.10	



— ROOF VENTILATOR NOT TO EXCEED TOP OF RIDGE.
TO BE INSTALLED AS PER MANUFACTURERS
REQUIREMENTS IN ACCORDANCE WITH 'AS
3959-2009' - COLOUR TO MATCH ROOF.

S. Ferraz Rodney Black Katherine Bowden

ALL GLASS TO CONFORM WITH AS1288-2006 : GLASS IN BUILDINGS



SECTION A-A

NBN PROVISION TO DWELLING

Provide NBN Co Fibre Optic PROVISION ONLY to comply with NBN Co minimum requirement including:

- 1 No. 25mm continuous flex conduit with drawstring from nominated garage return location to meterbox lead in location at side of home
- 3 No. Cat 6 data point (plated)
- 1 No. Cat 6 Telephone point (plated)
- 3 No. Cat 6 data return (plated) located in garage
- 1 No. Cat 6 Telephone return (plated) located in garage
- 2 No. Patch leads to be left plugged into each of the return points in garage

NOTE: Does not include Hills Network Hub Box
NOTE: Delete standard Telephone point
NOTE: All standard TV points are to remain
NOTE: Includes power point as required
NOTE: Antenna to home not included
NOTE: Includes drawstring conduit from Telstra/service pit to side of home

STANDARD INCLUSIONS FOR ENERGY EFFICIENCY REQUIREMENTS :

- SWEEP FANS TO ALL BEDROOMS
- ALUMINIUM IMPROVED WINDOWS THROUGHOUT
- STANDARD SISALATION WRAP TO EXT. WALLS OF DWELLING
- R 2.5 GLASSWOOL BATTS TO CEILINGS

FURTHER INCLUSIONS REQUIRED TO ACHIEVE 6 STAR ENERGY RATING TO BE CONFIRMED UPON RECEIPT OF APPROVED REPORT FROM ACCREDITED ENERGY RATER

NOTE:
PROVIDE SISALATION WRAP TO: EXTERNAL DWELLING WALLS ONLY. PROVIDE INSULATION TO CEILING DIRECTLY UNDER ROOF SPACE. EXCLUDES INSULATION TO GARAGE CEILING SPACE, GARAGE EXTERNAL WALLS AND GROUND FLOOR CEILING UNDER 1ST FLOOR OF DOUBLE STOREY HOMES.

HEATING AND COOLING DUCTWORK

DUCTWORK FOR HEATING & COOLING SYSTEMS SHALL COMPLY WITH A.S. 4254 & A.S./N.Z.S. 4859.1- IN ACCORDANCE WITH BCA TABLE FOR CLIMATE ZONE REQUIREMENTS

NOTE:

- QUAD 150 WIDE HI FRONT GUTTER WITH NOVALINE FACIA TO MANUFACTURERS SPECIFICATIONS.
- PROVIDE GUTTER SPACER CLIPS AS PER OVERFLOW ALTERNATE SOLUTION.
- ROOF CATCHMENT AREA PER DOWNPIPE 50m2.

NOTE: ALL STRUCTURAL TIMBER SIZES TO BE IN ACCORDANCE WITH AS1684 NATIONAL TIMBER FRAMING CODE.

NOTE: ROOF TRUSSES TO MANUFACTURERS DESIGN & SPECIFICATION.

NOTE: REFER TO ALL ENGINEERS DETAILS FOR STRUCTURAL MEMBERS.

NOTE: ALL WINDOWS TO BE SET AT 2100mm O/A HEAD UNLESS NOMINATED OTHERWISE/IF BRICKWORK OVER, ADJUST HEAD HEIGHT TO WITHIN 5-10mm OF LINTEL

NOTE: DIMENSIONS TO STRUCTURAL TIMBERS AND FACE OF BRICKS EXCLUDING BATTENS, PLASTERBOARD, ETC.

NOTE: WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE - UNLESS OTHERWISE INDICATED ALL WALL DIMENSIONS, EXTERNAL 240mm B/VENEER -INTERNAL 90mm TIMBER STUD.

NOTE: STEPS/STAIRS TREADS MIN 240mm RISERS MAX 190mm HANDRAILS & BALUSTRADE 1000mm MIN HIGH BALUSTERS MAX 125mm SPACING.

NOTE: NOMINATED THICKNESS AND SIZE OF MATERIALS IS INDICATIVE ONLY AND MAY BE VARIED - BUT NOT REDUCED - AT THE DISCRETION OF SIMONDS HOMES.

NOTE: FINISHED CEILING HEIGHT IS SUBJECT TO CEILING BATTENS (WHERE APPLICABLE), CEILING LINING AND FLOOR FINISH.

NOTE: PROVIDE BACKFILL TO ALL EXTERNAL OPENINGS TO PROVIDE A 190mm MAX. STEP UP INTO HOUSE AS PER BCA REQUIREMENTS.

NOTE: INSTANTANEOUS HWS LOCATION SHOWN ON PLAN IS INDICATIVE ONLY AND IS SUBJECT TO SITE CONDITIONS.

NOTE: CONTROL JOINTS TO ENGINEERS RECOMMENDATIONS.

NOTE: DOOR PULL HANDLES TO BE SET AT 55mm FROM THE EDGE OF DOOR.

NOTE: LIFT-OFF HINGES TO W.C. DOOR UNLESS DISTANCE TO PAN 1.2m OR GREATER.

NOTE: MANHOLE (MH) POSITION SHOWN ON PLAN IS INDICATIVE ONLY & IS SUBJECT TO LOCATION OF STRUCTURAL FRAMING.

NOTE: PROVIDE DAMPCOURSE, CAVITY FLASHING & WEEPHOLES EVERY 4th PERPEND ABOVE WINDOWS AND DOORS, AT BRICK SILLS GREATER THAN 400mm ABOVE F.L. & TO BASE OF WALL AT SLAB REBATE.

NOTE: IN ACCORDANCE WITH AS 3700-2011 & AS 4773.2-2010 PROVIDE -

- DAMPCOURSE WITH WEEPHOLES EVERY 4th PERPEND AROUND THE BUILDING.
- PROVIDE CAVITY FLASHING AT ALL POINTS WHERE THE CAVITY IS INTERRUPTED BY A STRUCTURAL ELEMENT OR OPENING.

☐ DENOTES LOW-E GLAZING

☐ DENOTES DOUBLE GLAZING

☐ DENOTES DECOR SATIN GLAZING

☐ DENOTES TRANSLUCENT GLAZING

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View: **ELEVATIONS 2**

Customer: **Z. DICKESON & S. FERRANDO**

Address: **LOT 155 NEW ROAD, WALLOON**

C

Scale: **1:100@A3**
Date: **12.10.17**

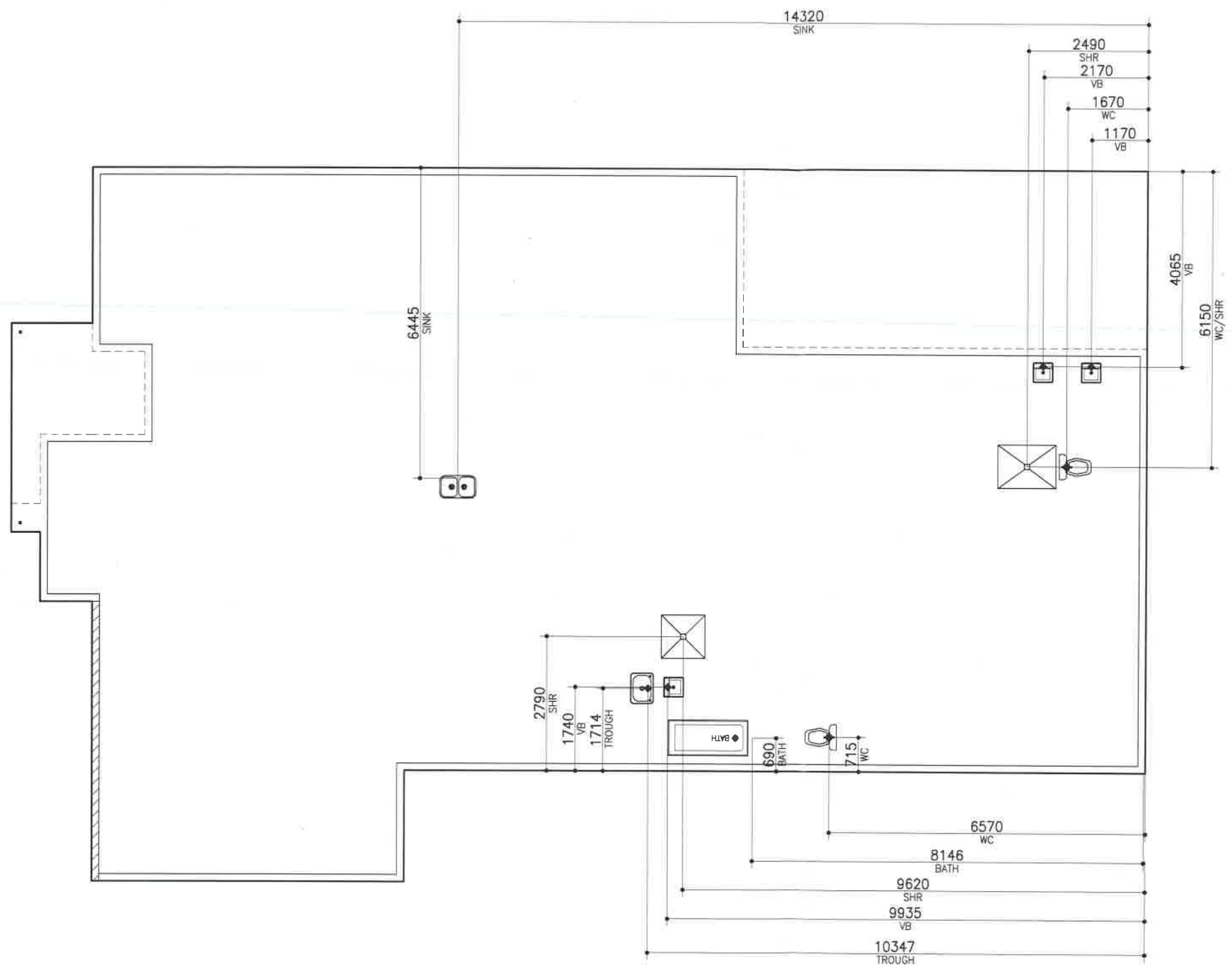
House: **MARRIOTT 3117**

Facade: **DORSET**

Drawn: **Job No: Q3572**
DH

Checked: **Sheet No: 3.2**
GS 16.10

S. Ferrando
Robert Dickson
Rathene Bowden



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View: **PLUMBING PLAN**
 Customer: **Z. DICKESON & S. FERRANDO**
 Address: **LOT 155 NEW ROAD, WALLOON**

C

Scale: **1:100@A3**

Date: **12.10.17**

House: **MARRIOTT 3117**
 Facade: **DORSET**
 Drawn: **DH** Job No: **Q3572**
 Checked: **GS 16.10** Sheet No: **5.2**

S. Ferrando *Z. Dickeson* *Ruthie Bowden*

8.1-8.2	INTERNAL ELEVATIONS 1:50
7.1	FLOOR COVERING PLANS
6.1	WINDOW SCHEDULES
3.1/3.2	ELEVATIONS & SECTION
2.1	GROUND FLOOR PLAN
1.2	LANDSCAPE PLAN
1.1	SITE PLAN
1.0	COVER SHEET
No.	SHEET TITLE

CLIENT SIGN OFF DRAWINGS	CLIENT 1 DATE	CLIENT 2 DATE
	<i>S. Ferrando</i>	<i>Ruthie Bowden</i>

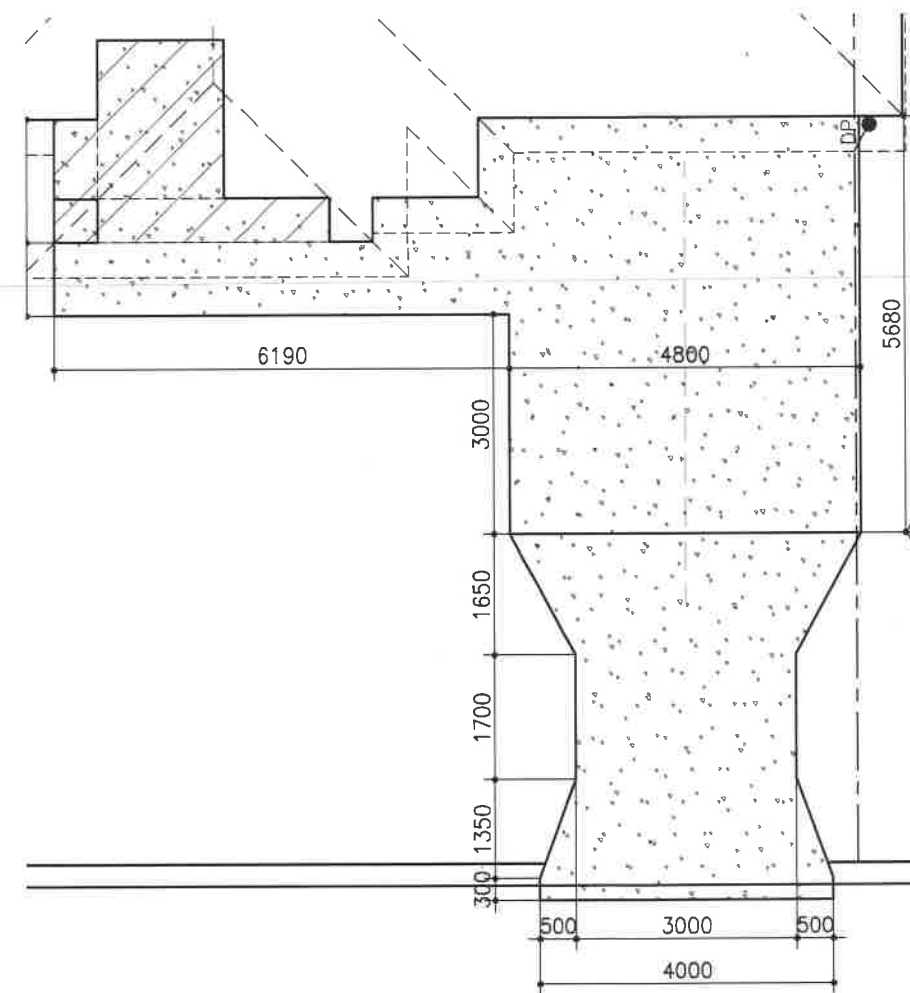
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View: **COVER SHEET**
Customer: **Z. DICKESON & S. FERRANDO**
Address: **LOT 155 NEW ROAD, WALLOON**

House: **MARRIOTT 3117**
Facade: **DORSET**
Drawn: **Q3572**
Checked: **GS 16.10**
Job No: **Q3572**
Sheet No: **1.0**



DRIVEWAY LAYOUT

SP 2D KB

- SELECTED OVERLAY TIMBER FLOORING
- SELECTED CARPET
- SELECTED CERAMIC FLOOR TILING

NETT FLOOR COVERING AREA:
 TILED AREA.....17 m2
 (NOT INCLUDING SKIRTING TILES)
 MAIN FLOOR TIMBER.....90 m2
 CARPET COVERING.....90 m2



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View: **GROUND FLOOR COVERINGS**
 Customer: **Z. DICKESON & S. FERRANDO**
 Address: **LOT 155 NEW ROAD, WALLOON**

C

Scale: 1:100@A3
 Date: 12.10.17

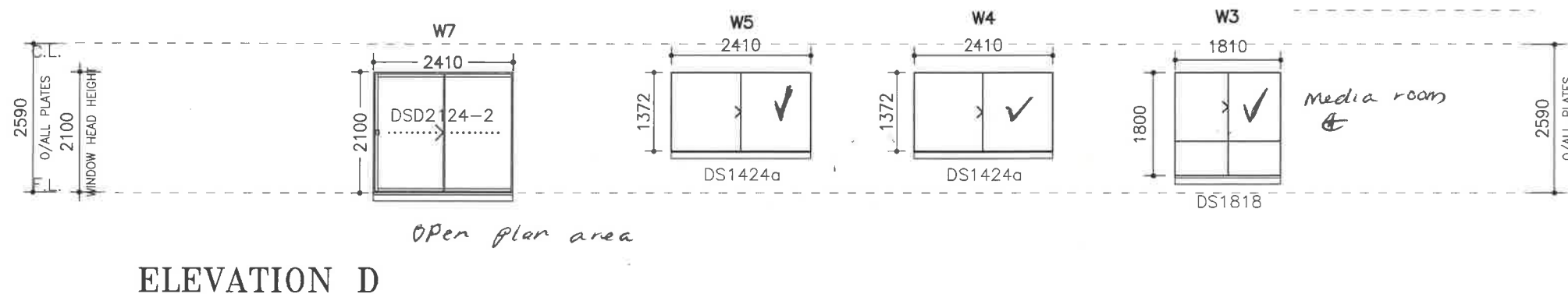
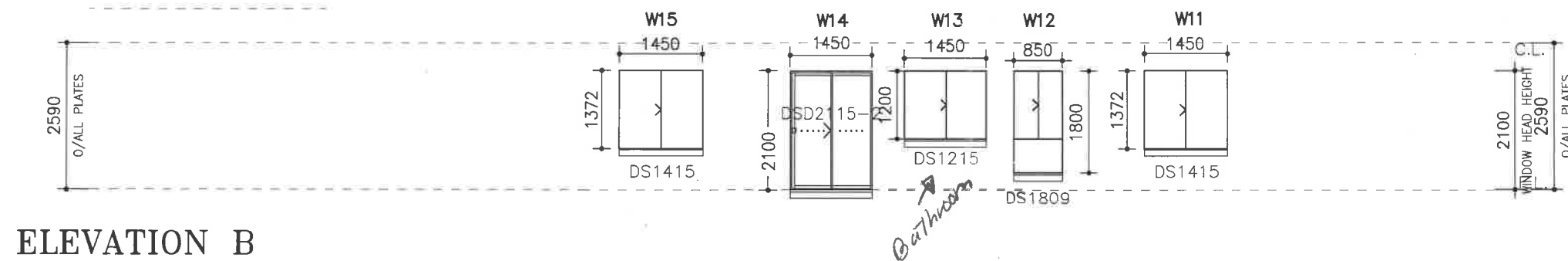
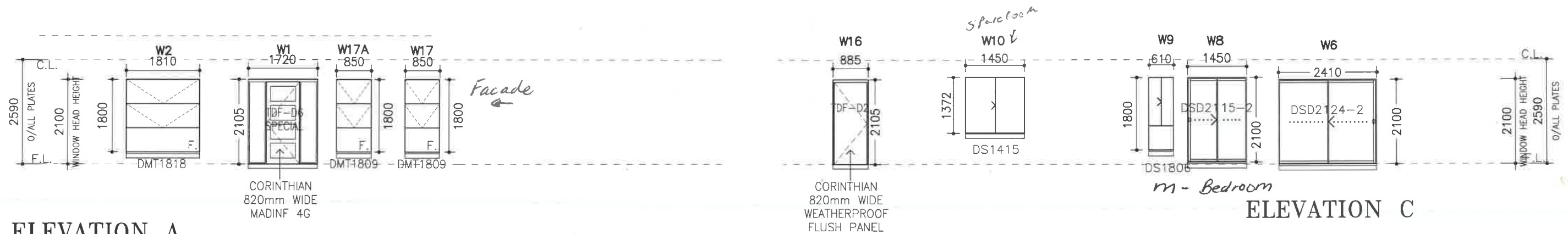
House: **MARRIOTT 3117**
 Facade: **DORSET**
 Drawn: **DH** Job No: **Q3572**
 Checked: **GS 16.10** Sheet No: **7.1**

S. Ferrando
CF

Z. Dickeson

Ruthie Barden

ALL GLASS TO CONFORM WITH AS1288-2006 : GLASS IN BUILDINGS
 WINDOW SCHEDULE (Nominal Sizes) DOWELL WINDOW SCHEDULE
 FOR STUD (FRAMED) OPENINGS: Window WIDTH PLUS 50mm, Window HEIGHT PLUS 60mm MIN.



- DENOTES SLIDING WINDOW
- DENOTES AWNING WINDOW
- DENOTES LOW-E GLAZING
- DENOTES DOUBLE GLAZING
- DENOTES DECOR SATIN GLAZING
- DENOTES TRANSLUCENT GLAZING

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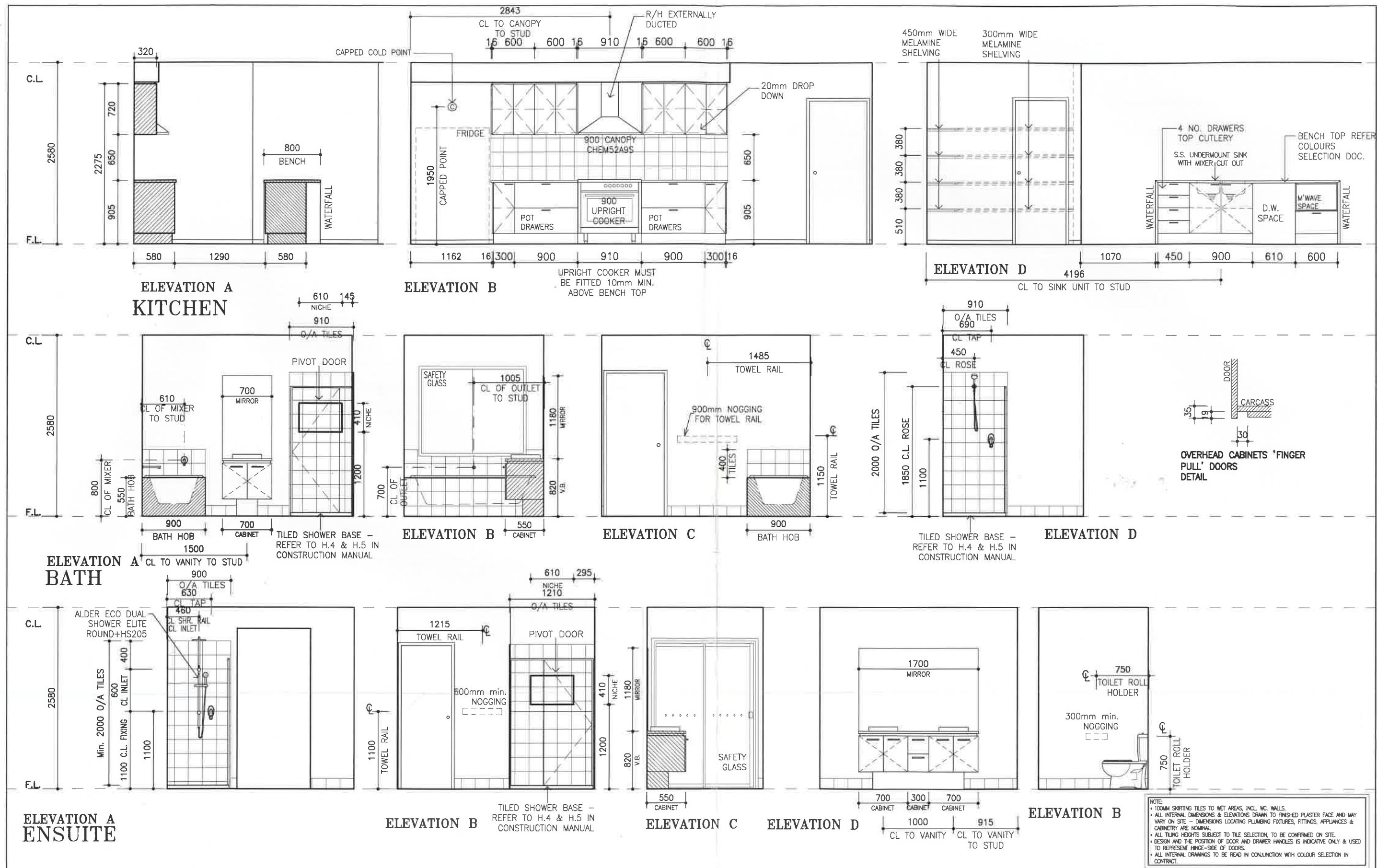
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View: **WINDOW SCHEDULE 1**
 Customer: **Z. DICKESON & S. FERRANDO**
 Address: **LOT 155 NEW ROAD, WALLOON**

House: **MARRIOTT 3117**
 Facade: **DORSET**
 Drawn: **Job No: Q3572**
 Checked: **GS 16.10** Sheet No: **6.1**

S. Ferrando
 Z. Dickeson
 Katherine Bowden



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View:

INTERNAL ELEVATIONS 1

Customer:

Z. DICKESON & S. FERRANDO

Address:

LOT 155 NEW ROAD, WALLOON

C

Scale: 1:50@A3

Date: 12.10.17

House:

MARRIOTT 3117

Facade:

DORSET

Drawn:

Job No:

Checked:

Sheet No:

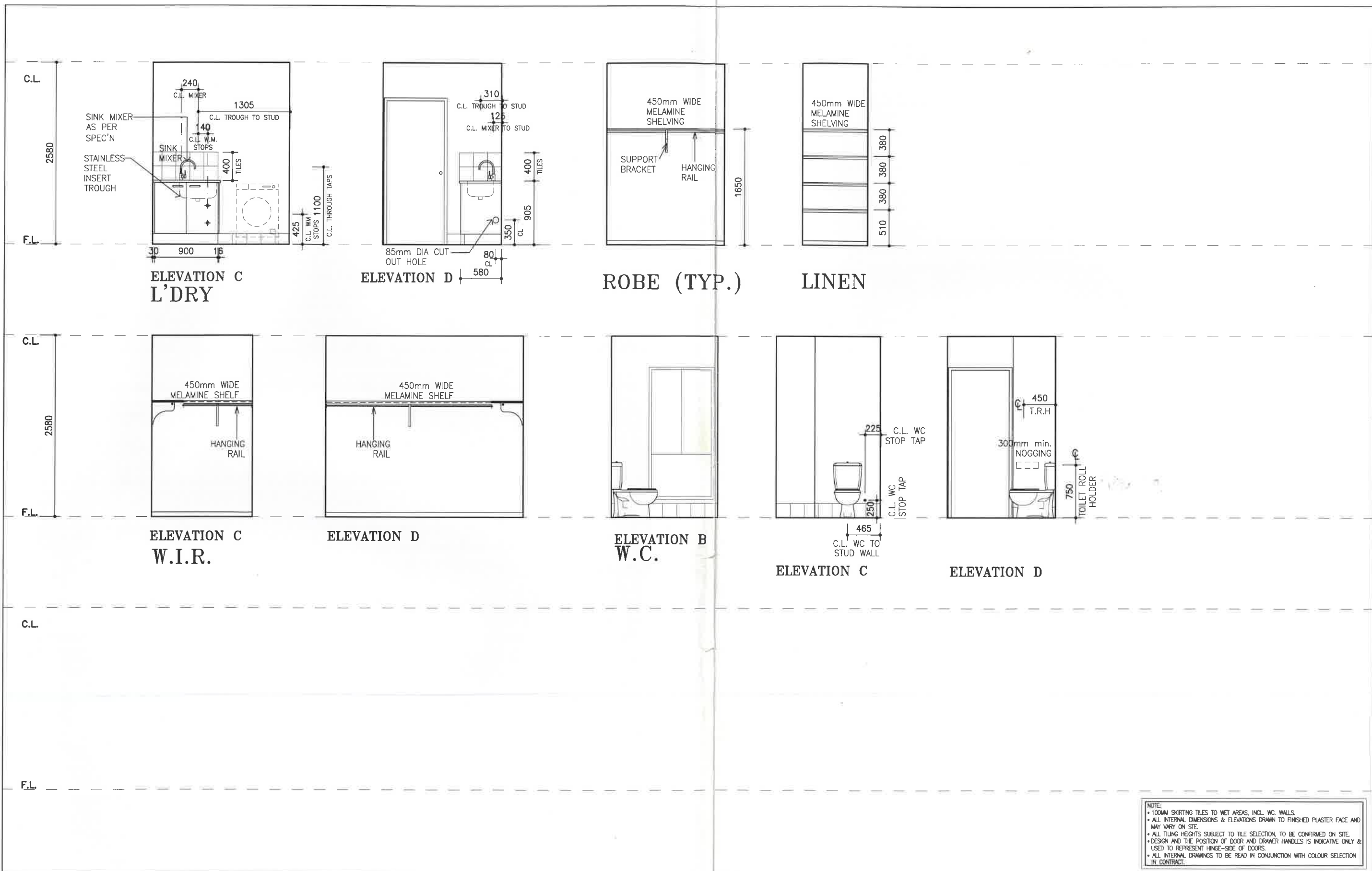
GS 16.10

8.1

THE GREAT AUSTRALIAN BUILDER **SIMONDS**

S. Ferrando
SF 2D Graham Pickle

Ruthie Bowden



NOTE:
 • 100MM SKirting tiles to wet areas, incl. WC walls.
 • ALL INTERNAL DIMENSIONS & ELEVATIONS DRAWN TO FINISHED PLASTER FACE AND MAY VARY ON SITE.
 • ALL TILING HEIGHTS SUBJECT TO TILE SELECTION, TO BE CONFIRMED ON SITE.
 • DESIGN AND THE POSITION OF DOOR AND DRAWER HANDLES IS INDICATIVE ONLY & USED TO REPRESENT HINGE-SIDE OF DOORS.
 • ALL INTERNAL DRAWINGS TO BE READ IN CONJUNCTION WITH COLOUR SELECTION IN CONTRACT.

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View: **INTERNAL ELEVATIONS 2**
 Customer: **Z. DICKESON & S. FERRANDO**
 Address: **LOT 155 NEW ROAD, WALLOON**

C
 Scale: 1:50@A3
 Date: 12.10.17
 House: **MARRIOTT 3117**
 Facade: **DORSET**
 Drawn: **DH** Job No: **Q3572**
 Checked: **GS 16.10** Sheet No: **8.2**

S. Ferrando
Z. Dickeson
Ruthie Bowden