

10 Year Strata Maintenance Plan



1 Harper terrace South Perth



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Client Name : The Owners Strata Plan 70215
Report Number : 9870
Inspection Date : Friday 28th May -18 June 2021
Weather Conditions : Fine
Inspected by : Brian Connor B.App.Sc
Registered Builder 100541
Member of Building Inspectors association of WA

This report covers the period from the date of inspection to December 31st, 2030. It is recommended that the property be reinspected in May 2026.

PREAMBLE

The Inspection

This inspection has been carried out to provide information to the Client regarding the state and condition of the property as viewed on the day, to aid in the preparation by a Strata Company of a 10-year maintenance plan.

The inspection and report are a review of the maintenance and repairs required to be carried out at the time of inspection, and over the next 10 years and those items reasonably foreseeable in the life of the Common Property and to anticipate the costs of those works.

The report is not intended to capture maintenance items of a day-to-day nature such as replacement of light globes, cleaning of graffiti etc. It is intended to review the state of the property generally and to document repair and maintenance requirements over the next 10 years.

This report has been written for the exclusive use of the Owners and the Strata Manager.

The report is intended to be read in its entirety, including this Preamble.

The inspector may not report all defects, as those considered minor or a normal occurrence in a property of this age and type of construction or the result of general wear and tear will not be detailed. The report is intended to highlight concerns of a major nature or unusual for the age of the property.

Inspection has been carried out generally in accordance with Australian Standard 4349.2-2018 Inspection of buildings – Group-titled properties. Words used in this report shall have the same meaning as definitions provided for in the Standard. Wording in this report in parentheses has been taken from this Australian Standard. 'This Standard seeks to provide an appropriate balance between reliability of outcomes, economic constraints and the flexibility required to address different types of group-titled properties.'

This report is not a 'certificate of compliance of the property within the requirements of any Act, regulation, ordinance, local law or by-law, and is not a warranty against problems developing with the property in the future'.

This inspection is 'based on the assumption that 'existing use of the building will continue' with the same materials and colours as inspected on the day.

The inspector has had no access to plans of the property, unless specifically mentioned in this report. The inspector cannot definitively identify unauthorised building work or work in contravention of Building Permits.

The inspector will not test any electrical, mechanical, gas or hydraulic devices during the inspection. Testing of such devices may be carried out by the Owners where appropriate (such as reticulation, daylight switches etc). To complete a 10-year maintenance plan specialist advice may be required to be sought by the Owners to test equipment and provide forecasts of likely maintenance or replacement expenditure.

This Report does not describe a Scope or Specification for the repair and maintenance works but describes whether work is required or not. The scale of such repairs is indicated in the companion spreadsheet document outlining an estimate of costs for these items.

This report does not obviate building owners and employers from the requirements of dealing with asbestos for each workplace in accordance with Section 5.3 of the *Occupational Health and Safety Regulations 1996*.

Expertise

The inspector is a registered builder. Any opinions given by this inspector are given with this experience and qualifications only. Advice on electrical systems and devices, plumbing, surveying, timber pests and legal matters should be sought separately by the client if appropriate.

The inspector may make common-sense decisions on maintenance to common property rather than interpreting definitions of the actual common property. This advice is given in good faith for the benefit of all Owners. It is recommended that the Owners seek legal advice from an experienced Strata lawyer if in doubt as to whether our advice is legally accurate.

Access and Visibility

The inspection is a visual inspection only. The property has been viewed from vantage points which are reasonably accessible, without moving furnishings and without dismantling parts of the building. No scraping, gouging or other invasive procedures have been undertaken to perform the inspection.

The inspector will only access areas which he considers safe and reasonable to access. The roof exterior has been inspected only with the aid of a 3.6metre ladder to allow positioning to give an unobstructed line of sight. If the roof is unsafe to walk on or access, it may not have been inspected. The roof interior has been inspected only where safe to access and where visibility is not compromised by the physical size of the roof space, air-conditioning services, party walls or insulation.

The subfloor has not been inspected.

It is the responsibility of the Client to arrange right of entry, facilitate physical entry and to provide any special instructions regarding the inspection prior to inspection if appropriate.

The inspector has inspected items from this property only. Retaining walls below the level of this property may require a separate inspection to be arranged to allow access from neighbouring properties.

The Forecast Costs

The amounts shown in this report are for budgeting purposes only.

The cost values have been determined from several sources, including inspector experience, contractors, previous similar contracts, suppliers and building cost information guides.

Whilst our inspector has used his best judgement to assemble these budgets and allow for ancillary works such as scaffolding where appropriate, no allowance has been made for increased or decreased costs due to aggregation of works and do not necessarily reflect the costs which may be determined by competitive tender. The report is not intended as a Scope of Works for tendering purposes.

The estimated lifetime of each element is based on the visual assessment of what the element overall looks like now and inspector experience as to the duration between repair or replacement.

We have made a budget forecast for the next ten years. These costs are the sum of maintenance, replacement and/or repair works required within the next 10 years (such as external painting), reasonably foreseeable maintenance, replacement and/or repair works required after this 10-year snapshot (such as roof replacement) and maintenance, replacement and/or repair works required again after completing those works during this 10-year cycle.

We have made a nominal provision for unpredictable events such as unblocking a drain – the size of the provision should be reviewed by the Council of Owners before being adopted.

We have obtained costings from service contractors where specified in the costing worksheet. This should be reviewed by the Council of Owners for gaps in information before the plan is adopted.

No allowance has been made for escalation, changes in legislation, or catastrophic events such as pandemics.

This report assumes that all plant and equipment will be maintained by your normal service contractors under separate maintenance contracts. The payment of those contracts is assumed to be from the Administrative fund of the Strata Company.

Funding of this 10-year plan is beyond the Scope of this report.

DEFINITIONS

1. 'Not Structurally Sound'

A building or adjacent structure which is declared 'not structurally sound' has a defect visible at the time of inspection in a load-bearing member (foundation, footing, wall, column, wall frame, floor frame, ceiling frame, roof frame) which will worsen over time under normal building dead loads, live loads and wind loads, even if normally maintained.

If the defect is not rectified the structural defect will lead to a failure of the structural element affected and/or other structural elements around it and or cause a safety issue to the occupant or normal user of the building.

Examples of 'not structurally sound' defects which are commonly encountered are

- Lack of tie-down to a metal-roofed building built or re-roofed after 1978 which has had roof cover changed from tiles to metal or asbestos to metal.
- Severely undersized or overloaded structural members
- Severe termite damage to a structural element
- Compromised foundation materials
- Broken rafters or struts

2. 'Major defects'

"A defect of sufficient magnitude where rectification has to be carried out in order to avoid unsafe conditions, loss of utility or further deterioration of the property."

Examples of common Major Defects are:

- Structural defects
- Balcony and stair balustrade issues
- Stair riser and going non-compliance.
- Leaking showers if the building is newer than 2004.
- Ceilings in need of re-strapping if the building is built after 1990.
- Failed retaining walls
- Missing swimming pool barriers.

3. 'Minor defects'

"Minor defects are common to most properties and may include minor blemishes, corrosion, cracking, weathering, general deterioration, unevenness, and physical damage to materials and finishes, such as de-silvering of mirrors. It is expected that defects of this type would be rectified by the Purchaser as part of normal ongoing property maintenance."

4. Material Condition

ABBC Building Inspectors uses the following standardised building inspection industry categories to describe building material condition:

New	self-explanatory
Satisfactory	generally good condition
Fair	needs normal maintenance in the next 3-5 years
Average	needs normal maintenance in the next 1-3 years
Poor	needs replacement or major refurbishment

SUMMARY

In consideration of the property being probably 3 years old, the common property did not have major defects.

The common property was generally in the condition expected in buildings of this age and type of construction. They appear to have had some maintenance.

The projected funding requirements for both actual maintenance, repair or replacement over the 10 years and provisions for foreseeable future maintenance repair or replacement for the Strata Company are:

2021	\$	326,492	2026	\$	295,687
2022	\$	326,242	2027	\$	295,687
2023	\$	297,731	2028	\$	295,511
2024	\$	295,687	2029	\$	278,336
2025	\$	295,687	2030	\$	278,336

See our worksheet for the derivation of these costings.

The above estimates make no allowance for inflation.

We recommend that the 10-year maintenance plan be reviewed and updated in 5 years, in line with Government regulation, in order to ensure that lifecycles of materials as shown in this report are accurate and to incorporate any changes required due to regulatory or usage changes, or changes in the labour market

SCOPE OF THE INSPECTION

Inspection of the Common Property of the buildings was made at the following locations only at the request of the Owners:

Roof covering

External walls and attachments

External areas, grounds (except exclusive use areas) and fences

Carpark areas including below ground car parks

Lift lobby, hallways and internal foyer areas

Inspection of the Common Property of the building was not made at the following locations:

Unit interiors - load-bearing walls, soffits, window leaks, balconies etc

GENERAL DESCRIPTION/ OVERVIEW

The property consists of 20 commercial units on the ground, first and second floors and 118 residential on level 3 to level 20.

Construction is painted precast concrete wall panels and reinforced concrete floor slabs. The street facing elevations have glass curtain wall construction to the lower levels.

Carparking and storage rooms for the commercial and residential units is on 7 levels. Basement B1-B5 are beneath the street level. Carparks on level 1 and level 2 are adjacent the commercial units.

The Common Property items are generally estimated to be all approximately 3 years old. The strata plan was approved in 2018.

The buildings did not appear to have extensions or renovations carried out since original construction of the building.

The most significant issue at the building is the water ingress into the basement carpark levels.

The builder has been carrying out remedial works in relation to this item and contractors were seen during the inspection removing wall panels so that they could carry out further remedial works believed to be increasing the size of the perimeter collection drains and outlet pipes and relocating the EPS wall panels further inwards.

It is not the focus of this report to investigate or advise on the suitability of the remedial works being undertaken by the builder or to advise on any remedial works required to the structure caused by the water ingress.

We would recommend that the strata company engage a suitably qualified hydraulics consultant and structural engineer to do this.

The consultants can assist the strata company in determining if the current levels of water ingress through the basement walls is causing any short term, long term damage to the structure, if the current builders remedial programme

is adequate, and what remedial measures are required 10,20 50 years into the future, and the likely cost of these measures, to maintain the building.

The nominal sum of \$50,000 has been put in the Maintenance budget for consultants spread over 2021 and 2022.

No amount has been included for any ongoing remedial works programme by the strata Company after the builder completes his remedial works programme (presumably has rectified the issue to a manageable level), although it seems likely that there will be still be an ongoing maintenance cost associated with this item.

There is also some cracking the balcony cantilevered floor slabs at construction joints to the west, south and north sides. Only the cracking to the west side balcony floor slabs is considered a builder's defect currently as the cracking and misalignment is quite noticeable and extends from level 4 to level 20.

The maintenance budget allows a nominal allowance for the balcony repairs at construction joints, that may not be considered a builder's defect under the 6-year warranty.

The balcony inspections revealed an issue of red rusting in the balcony spoon drain / perimeter drain. This is almost certainly caused by the cutting of the spoon drain exposing the reinforcement steel in the balcony slab and it rusting. This is considered a builder's defect and we would recommend all balconies be checked for any rusting and the builder notified so he can carry out these repairs.

The metal fins located on the east and west sides of the building have several areas where water is entering the hollow fin and corroding the base of the metalwork. The builder should be notified so he can seal the fins to prevent water ingress and rectify the corrosion issues

	Building Element inspected as per Regulation 77 of the strata Tiltle Act	Material	Condition	Maintenan ce Required Next 10 years Yes/ No
(a)	Roofs	waterproof membrane	Good/ repairs to membrane required by builder	Yes
(a)	Gutters	roof gutters	Rust to roof drains/ repair required by builder	Yes
(b)	Walls	painted precast panel	External walls Good, repaint in 2028	Yes / Painting
(b)	Retaining Walls	Concrete	Poor/ Builder to rectify leaking to basement carpark walls	Yes
(c)	Floors	concrete	Good	No
(d)	Ceilings	plasterboard	Good	No
(e)	Windows	aluminum	Good	No
(e)	Eaves	Nil	NA	
(e)	Flashings Roof	deck tight	NA	
(e)	Soffits	painted concrete	Good/cracking balcony	Yes
(e)	Windowsills		NA	
(f)	Downpipes	concealed	Not inspected	No
(g)	Foundations	concrete below ground	Not inspected	No
(h)	Driveways and carparks	concrete	Average	Yes
(h)	Storm water sumps	concrete soak well	Good/ cleaning in 2023	Yes
(i)	Footpaths		NA	No
(j)	Steps		NA	
k)	Stairs and balustrades	Various	Good	No
(l)	Doors and door frames	timber hollow core	Good	No
(l)	Fire doors	Timber filled	Good	No
(m)	Lighting	Various	Good	No
(n)	Storage or plant rooms	Various	Good	No
(o)	Fencing and Gates	Glass level 3	Good	No
	Fencing	Plant room roof level	Average/ rusting builder to rectify	Yes
	Garage doors	Metal	Good	No
	Garage door actuators		NA	
	gates	Level 3 pool area	Good	No
(p)	Balconies		Ceramic tile	yes

(q)	Lifts	Concrete lift pit	Lift pit requires repair by builder	Yes
(r)	Ventilation			
	Carpark ventilation		Fans and ducting rusting require repair replacement by builder	Yes
(s)	Fire services	fire hose reel	report by service contractor	
(t)	Air-conditioning	Evap and refrigerated	report by service contractor	
(u)	Building and ancillary structures		NA	
	Carport	metal	NA	No
(v)	Utility conduits and structures	Not inspected/ accessible		No
(w)	Garbage disposal		report by service contractor	
(x)	Hot water systems		by unit owners	
(y)	Electrical systems	Not inspected/ accessible	report by service contractor	
(z)	Post Boxes	metal	Average	
(za)	Security	installed	report by service contractor	
(zb)	Swimming pools, spas, pumps, and filters		report by service contractor	
(zc)	Water bores and water tanks		report by service contractor	
(zd)	Backflow devices and pumping devices		report by service contractor	
(ze)	Car stackers		NA	
(zf)	Roof access safety systems		Good	No
(zg)	Solar and sustainability equipment		report by service contractor	
(zh)	Disability access facilities		Good	No

The following areas of the Common Property were inspected, in line with regulation 77 the Strata Titles (General) Regulations 2019

General notes to be read in conjunction with the table above, outlining common properties of materials

(a) Roofs

Metal roof covering generally has a service life of 50 years, where not affected by the corrosive effects of evaporative air conditioning.

Where cement roof tiles are noted in the report, the protective coating requires re-coating after 30 years, this will generally extend the service life of this roof covering for another 30 years, and prevent issues associated with absorption of water into the tiles such as damp and mould issues within the home, and algae forming on the external of the roof covering.

Clay roof covering has been fired in a kiln and some have a glaze baked into the surface. Clay roof tiles can lose their glaze and fretting of the clay tile can occur, also requiring the re-coating of the clay tile. Where this is deemed necessary by the inspector it will be included in the maintenance budget.

A nominal amount has been made in the 10-year maintenance budget for general roof repairs, re-sealing of roof flashings and service penetrations.

The 10-year maintenance budget Long-term provisions allow for the replacement of the roof covering at the end of its serviceable life and allows the strata company to commence saving for this significant capital expense. It also allows for the re-coating of the roof covering where deemed necessary by the inspector.

(a) Gutters

Metal guttering has an expected service life of 30 years.

Where it can be seen that guttering requires replacement in the next 10 years a cost for this has been allowed for in the 10-year maintenance budget. Where the replacement of guttering falls outside the next 10-year period, the replacement has been allowed for in the Long-term replacement section of the 10-year maintenance budget.

(b) External Walls

Face brickwork and blockwork does not generally require repair in the first 30 years of its life. Movement cracking of the brickwork or weathering of the brick mortar will be noted in the report where seen by the inspector.

Cement render coatings to external walls can crack and allow water to penetrate the render requiring repair. Weathering or cracking of the cement renders will be noted in the report by the inspector.

Precast concrete panels usually have minimal cracking issues but can require re-sealing of the joints between the panels.

(b) Retaining walls

Retaining walls can be constructed of precast concrete panels, limestone or concrete blocks, and concrete panels. Where retaining walls lean or are suspected to be failing or have other issues, this will be noted in the following section of this the report by the inspector.

(c) Floors

Common Property floors can be any floor in a multi -storey dwelling, including an external walkway, or balcony floor, or any floor in an outbuilding such as a Laundry or store room. Only the Common Property floors accessible to the inspector on the day have been inspected.

(d) Ceilings

Common Property ceilings can be any floor in a multi -storey dwelling, an external walkway, or balcony ceiling, or ceiling in an outbuilding such as a Laundry or store room. Only the Common Property ceilings accessible to the inspector on the day have been inspected.

(e) Windows

Windows generally have a service life of around 60 years and openable doors and windows may require maintenance in the later part of their life.

The 10-year maintenance budget Long term provisions allow for maintaining the windows in the later part of their life and also for the replacement of the windows at the end of their serviceable life. This allows the strata company to save for this significant capital expense.

(e) Eaves

Eaves are constructed of cement sheet or timber lining boards generally. Eaves are maintained by regular painting re-coating services usually at 10 years intervals.

(e) Flashings

Maintenance of roof flashings have been allowed for in Roof Coverings.

Wall flashings have been included in external Wall section of the report.

(e) Soffits

The balcony and walkway soffits of an applicable building are usually constructed of concrete. Any significant cracking of the concrete that may lead to concrete cancer is described in the report along with any servicing costs of reapplying the waterproof coating to these areas. Where balconies do not form part of the title and are within common property, the service life of ceramic tiles exposed to the weather is expected to be around 30 years before replacement of the waterproofing membrane and the ceramic tiling is required.

(e) Windowsills

No special maintenance is required.

(f) Downpipes

Downpipes can be fitted externally to the walls or internally concealed within the structure. Downpipes can be made of metal usually in the case of external downpipes, and of PVC usually where they are concealed within the structure. Metal downpipes have a service life similar to metal guttering of around 30 years.

Where it can be seen that the down pipes require replacement in the next 10 years a cost for this has been allowed for in the 10-year maintenance budget. Where the replacement of the down pipes falls outside the next 10 -year period, the replacement has been allowed for in the Long-term replacement section of the 10-year maintenance budget.

(g) Foundations

The foundations of the buildings could not be inspected but are likely constructed of concrete.

Any settlement issues requiring work to the foundations will be described in the report. A nominal amount for repairs to the building structure and foundations has been made elsewhere in this report, section (u) Building and ancillary structures

(h) Driveways and carparks

Driveways and carparks of strata developments can be constructed of concrete, asphalt, and brick paving usually.

The service life of this paving ranges from 40 -60 years.

The grade and type of sub-base material, including the level of compaction of the subgrade is an important part of any resurfacing or replacement. Falls to paving should be a minimum of 1:100 so that water cannot pool and should fall away from the buildings.

Stormwater sumps that collect rainwater runoff from the driveway or carpark should be cleaned out at least once every 10 years.

(i) Footpaths

Footpaths and other service area paving can be constructed of concrete, asphalt, and brick paving usually.

The service life of this paving ranges from 40 -60 years.

The grade and type of sub-base material, including the level of compaction of the subgrade is an important part of any resurfacing or replacement. Falls to paving should be a minimum of 1:100 so that water cannot pool and should fall away from the buildings.

(j) Steps

See footpaths.

(k) Stairs and balustrades

The inspector will generally check external stairs and stair balustrades for compliance with the building code of the era of construction. If balustrades require replacement, they will require to meet the current regulations.

(l) Doors and doorframes

The inspector will check the general condition of the entry doors and frames and any service doors and frames accessible to him in the building.

Where fire doors are present, they will be noted.

Fire door compliance is a matter for your fire service contractor.

(m) Lighting

The lighting of a property can be of various types and in various conditions, relating to the exposure and age of the fittings. The estimated service life of lighting fittings is usually 25 years before replacement of the fittings is required, dependent on exposure. The 10-year maintenance budget Long term provisions allow for an accumulation of funds over years to be able to change all lighting of a particular type at once e.g. all front door coach lights at the same time.

(n) Storage or plant rooms (if applicable)

The painting of doors, ceilings, and walls is covered elsewhere in this report.

The maintenance of plant and equipment will be covered in reports by other contractors.

The waterproofing of the plant room floors where applicable will be included in the 10-year maintenance budget.

(o) Fencing and gates

Fencing to strata properties can be constructed of a variety of materials. Repairs to cracking or damaged brick or concrete fencing would normally be made in the maintenance budget, however there is no long-term provision allowance for their replacement. The estimated service life of cement sheet or timber paling fencing and gates is 50 years before replacement. Painting of these items should be undertaken with the painting of external walls of the building every 10 years.

(p) Balconies

The balconies of a building are usually constructed of concrete. Any significant cracking of the concrete that may lead to concrete cancer is described in the report along with any servicing costs of reapplying the waterproof coating to these areas. Where balconies do not form part of the title and are within common property, the service life of ceramic tiles exposed to the weather is expected to be around 30 years before replacement of the waterproofing membrane and the ceramic tiling is required.

(q) Lifts

Lifts are not applicable to this property.

(r) Ventilation

Kitchen and bathroom exhausts are to be maintained/replaced by individual Owners as needed.

(s) Fire services, fire alarms and fire hoses

Fire services are/are not applicable to this property.

Fire service maintenance and repairs are the subject of a separate report to be provided by your normal service contractor.

(t) Air-conditioning

Individual package/split air-conditioning units are provided to apartments. Maintenance or replacement of this equipment is the responsibility of individual Owners.

(u) Building and ancillary structures

Replacement of the building structure is not contemplated by this report. Repairs to isolated areas of observed structural damage are described in the next section of this report, if applicable.

A nominal allowance is included in the 10-year maintenance budget to satisfy the requirements of the Regulations, spread across the complex.

(v) Utility conduits and structures

Analysis of the condition of conduits, wiring and pipework is beyond the scope of this inspection and report. These services are generally concealed within the building structure and not accessible.

A nominal allowance is included in the 10-year maintenance budget to satisfy the requirements of the Regulations, spread across the complex.

(w) Garbage disposal

In low rise villa and townhouse developments where bin enclosures are thought to be inadequate, the 10-year maintenance budget will allow for the upgrading of this enclosure to cater for current bin recycling requirements.

(x) Hot water systems

Individual hot water units are provided to apartments. Maintenance or replacement of this equipment is the responsibility of individual Owners.

(y) Electrical systems

Common electrical systems are the subject of a separate report to be provided by your normal electrical service contractor. A nominal allowance has previously been made in (v) Utility conduits in lieu of any other information.

(z) Post boxes

The maintenance plan allows for the replacement or refurbishment of post-boxes after 50 years.

(za) Security (if applicable)

Security systems and controls to various equipment are the subject of a separate report to be provided by your normal security service contractor or electrical contractor.

(zb) Swimming pools, spas, pumps, and filters (if applicable)

Not applicable

(zc) Water bores and water tanks

A report on pumps, sprinklers and controllers is the subject of a separate report to be sought from your normal gardening contractor.

(zd) Backflow devices and pumping devices.

A report on backflow prevention devices and pumps is the subject of a separate report to be sought from your regular plumbing contractor.

(ze) Car stackers.

Car stackers are not applicable to this property.

(zf) Roof access safety equipment

Not applicable

(zg) Solar and other sustainability equipment

Solar PV equipment or other sustainability equipment is not provided to Common Property.

(zh) Disability access facilities

No disability access facilities are provided.

Listed below are specific, unique or complex issues that require rectification:

AREAS OF THE PROPERTY INSPECTED

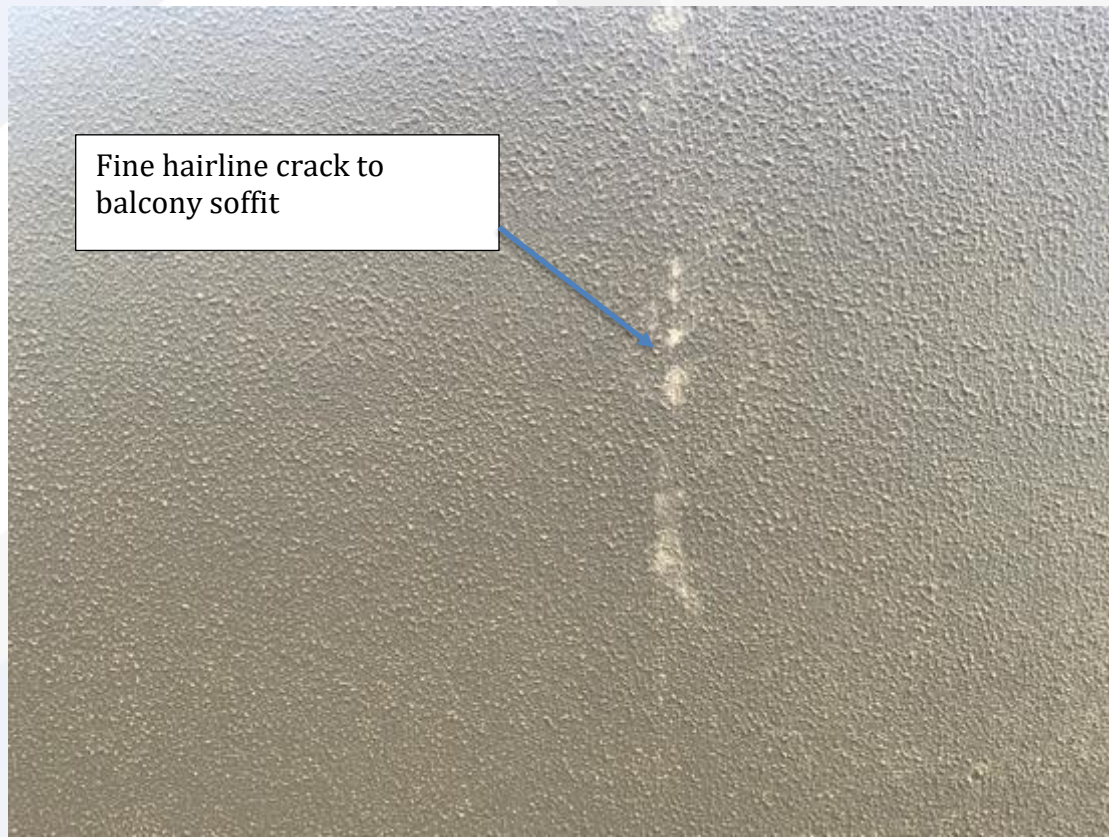
Unit 1103

1. Fine hairline crack to balcony soffit above and signs of water ingress through the balcony slab





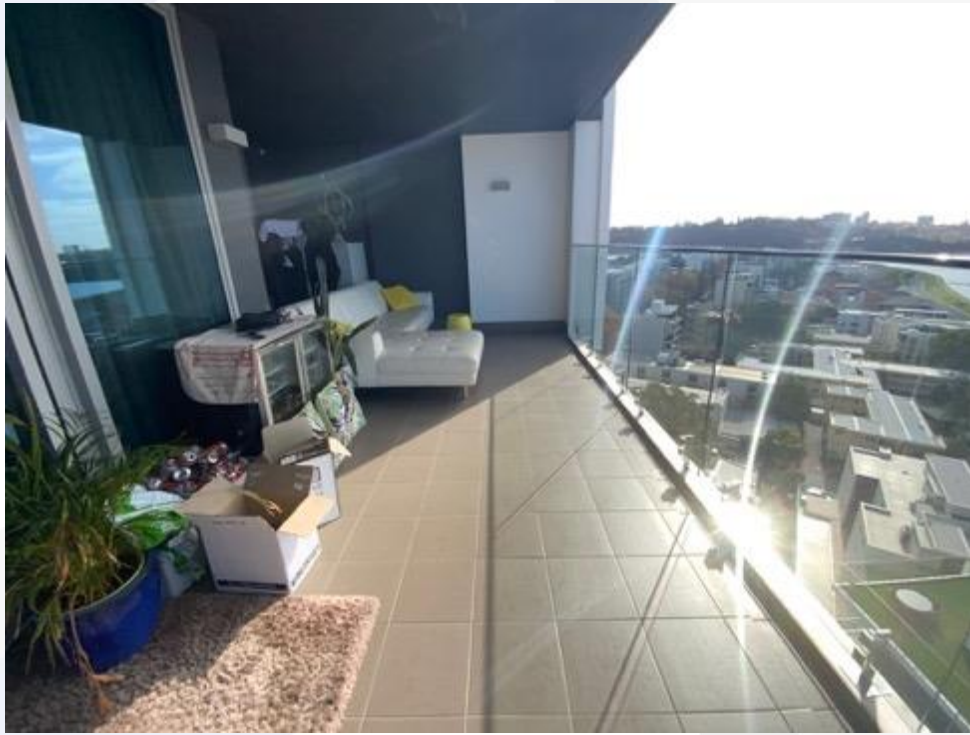




Unit 1501

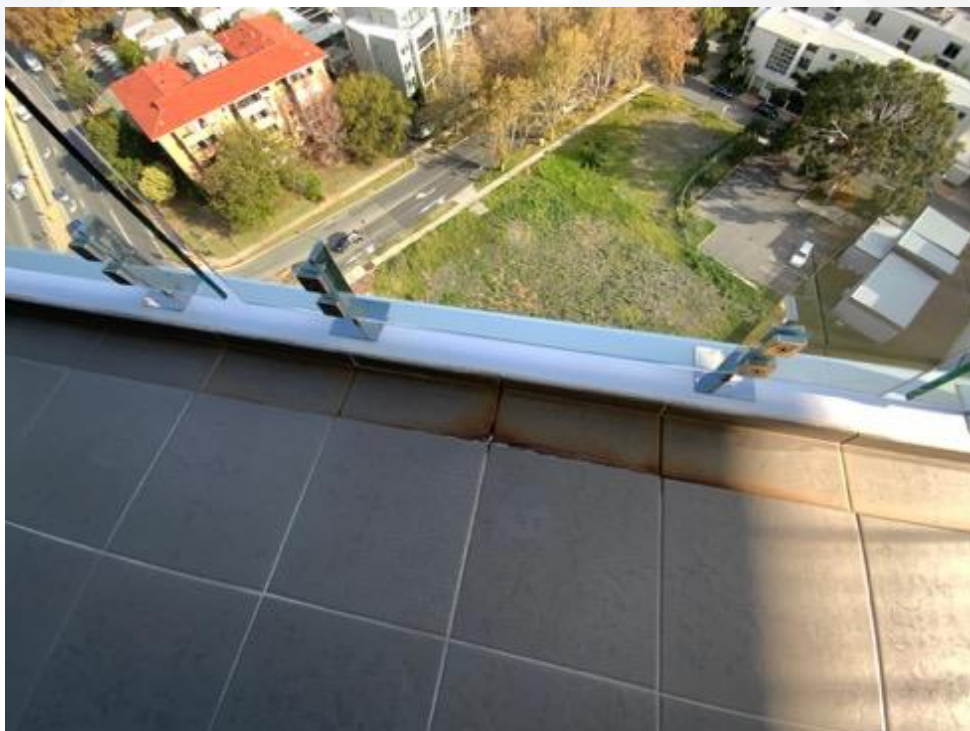
2. Rust staining to the north balcony spoon drain likely cause is rusting reinforcement steel, requires further investigation and repair by builder





Unit 1507

3. Water pooling on west side balcony spoon drain rust visible between drainage wastes, likely rusting reinforcement steel in balcony slab



4. Cracking balcony west side at construction joint through concrete noticeable all of the way up the building level 4-20
5. Sealant cracked in spoon drain and hairline crack through the balcony edge



6. White efflorescence visible through hairline crack through upper balcony soffit
7. Hairline crack through upper balcony soffit on north elevation efflorescence occurring 1 m east of corner glazing



Unit 1701

- 8. Balcony fall ok
- 9. No defects noted



Unit 1806

10. rust staining to spoon drain facing west

11. hairline cracking to building west facing wall





12. Sealant bulging at base of sliding door sill facing south

13. Balcony fall ok



Roof level

14. Rust staining in spoon drain opposite roof stair door



15. Rust marks in roof coating caused by grinding of metal in construction causing degradation of waterproofing



16. External of electrical cupboard not waterproof gaps visible around the external plaster angle can see into the wall and the door frame will rust out also requires a head flashing



17. Water domestic water tanks x 3



18. Hot water pumping plant 4 pumps and filter on separate enclosure

19. Hot water heating 6 storage units do all of the residential



- 20. Other plant on a different level does the commercial
- 21. Replace cladding enclosures 250 m2 corrugated colorbond
- 22. Repaint gal structure 10 k
- 23. Rusting of enclosure bracing builder to rectify



24. Corrosion of evaporative unit metalwork one-unit corrosion of base of steel frame above plant requires priming galvanizing



25. Lift stair roof has fall less than 1 to 100



26. Rust to fixings x2 to into roof on south side stair



27. Large rust to base of structural fence vase on east side causing waterproofing to bubble



28. Clean slurry from top landing and walls surrounding fire service top of roof stair



Internal Lobby / Corridors

Level 20

No defects noted

Level 19

29. Efflorescence visible to slab soffit pipe out of bracket west service yard

Level 18

No defects noted

Level 17

No defects noted

Level 16

No defects noted

Level 15

No defects noted

Level 14

Level 13

30. Inner service yard east door binding

Level 12

No defects noted

Level 11

No defects noted

Level 10

No defects noted

Level 9

No defects noted

Level 8

No defects noted

Level 7

No defects noted

Level 6

No defects noted

Level 5

31. Cable tray in stairwell opposite 504 not sealed between floors

32. Efflorescence runs on walls to west service yard wall

Level 4

No defects noted

Level 3 Recreation

No defects noted

Ground floor foyer

Nil defects noted

Ground Floor Commercial Foyer

No defects noted

EXTERNAL

South elevation

No defects noted

West elevation

33. Metal fins 7x17x 3 metres are leaking causing corrosion at the bases

34. Cracking visible to balcony soffits and edges all of the way up the building

North elevation

Inaccessible

East elevation

35. Leaking, corrosion visible to metal fins in places

CAR PARKING

Level 2 carpark

Nil defects noted

Level 1 Carpark

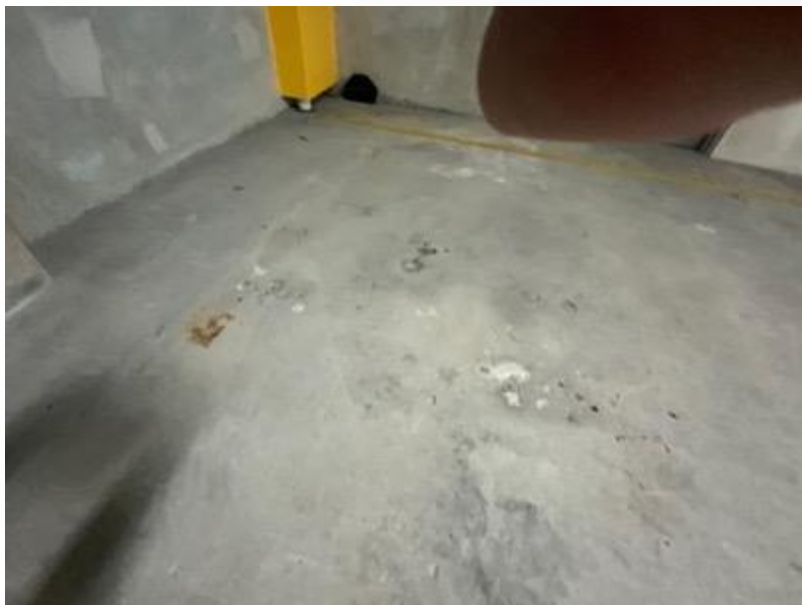
36. Clean cement splatter from zinc wall panels opposite east fire door

Ground level carpark

37. Priming to welds visible to carpark entrance roller door frame



38. Fixing holes in concrete driveway outside north east fire stair ground level



39. Hairline cracking to base of level 1 up ramp visible extending to residential visitor bays



Basement B1 carpark

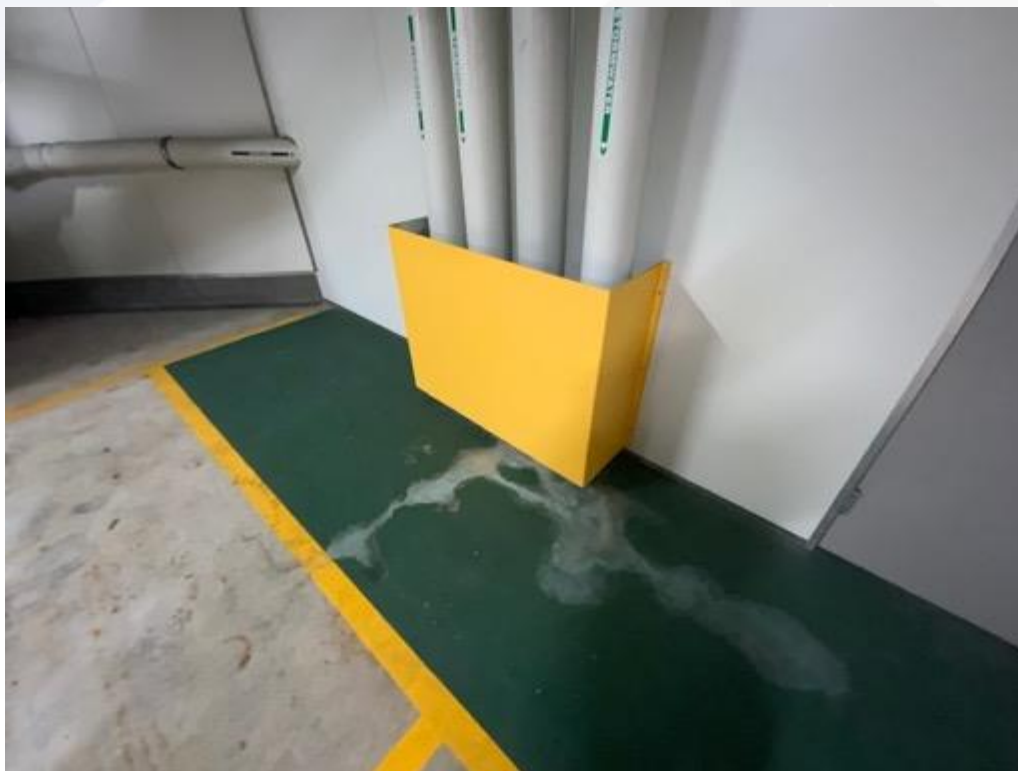
- 40. Pitted concrete surface to B1 base of ramp from ground floor carpark 30 m2 affected requires floor levelling compound by builder
- 41. Repairs have been made to north and east wall skirting by builder
- 42. Efflorescence and salt build up at base of skirting from Com 103 to substation
- 43. Floor cracking across driveway in several places between yellow columns north of substation
- 44. Concrete residue south of substation requires removal



45. Old formwork requires removal outside south east switch room



46. Repair floor where storm water leaks to south east corner



47. Efflorescence leaking from south wall com G05



48. Cracking driveway west side opposite COMM G02

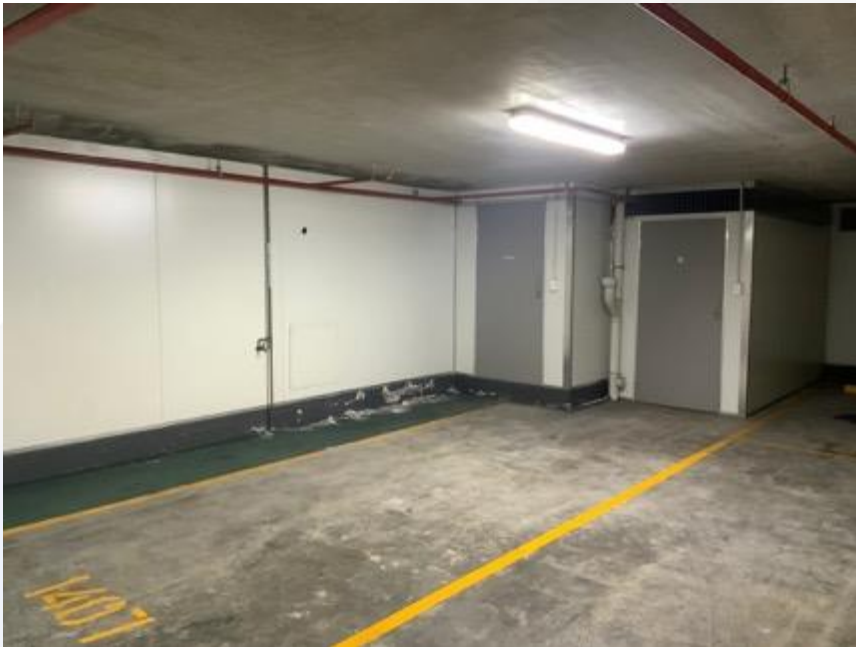


49. Efflorescence to skirting 2 metres only opposite Comm G02 west side
50. Walls wet in mechanical fan room north west corner water pooling in base of shaft



Basement B2 carpark

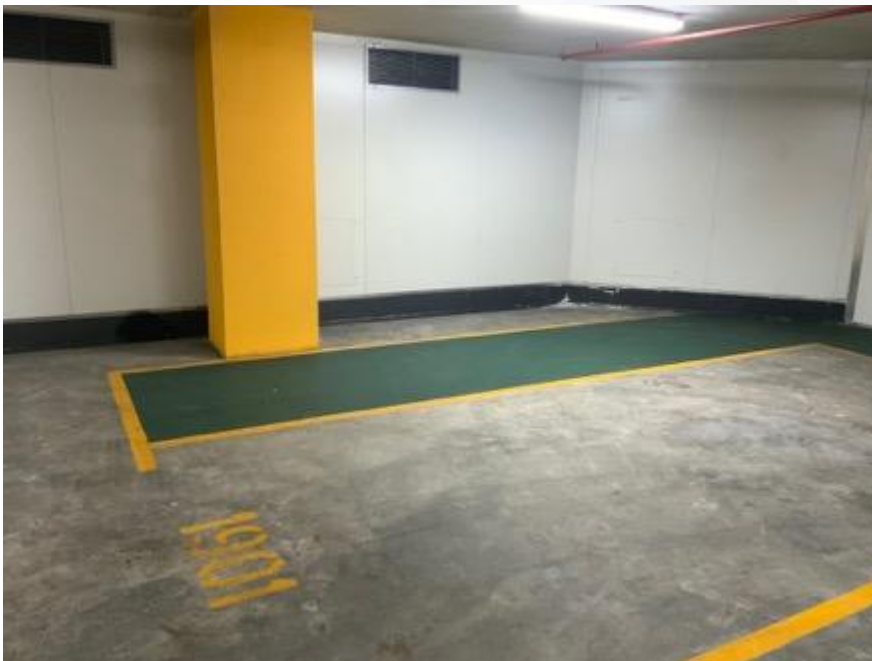
51. Leaking large salt build up to north east corner outside mechanical fan room



52. Ditto to east wall car bay 1497

53. Ditto to east wall and return dividing wall to car bays 2002

54. Ditto to east wall adjacent 1901 extending to general store



55. South wall between storage units appears good

56. Ditto to west wall 1 m long to skirting opposite scooter bay



57. Start of very bad area along north wall to down ramp to B3

58. Water visible 100mm deep sitting in structural steel framing to north west mechanical fan room



59. Photos taken 18th June 2021 workers have stripped wall and are creating a new drain and installing the new panels in front of the old 'B2 down to B3





Carpark B3 carpark

60. Extreme salt build up /wall damage to skirting level from mechanical fan room northeast corner and west including up ramp





61. Water leaking through fan room wall and wet on the floor

62. Leaking east wall car bay 1606



- 63. Ditto south wall 1307
- 64. Ditto car bay 1403 and car bay 1506 in photo
- 65. Ditto to west wall scooter bay south west corner
- 66. Ditto west wall opposite car bay 1203
- 67. Small leak outside north west fan room in corner, leaking from fan room



- 68. Inside water steaming down the west wall
- 69. Water has caused fan to rust requires replacement



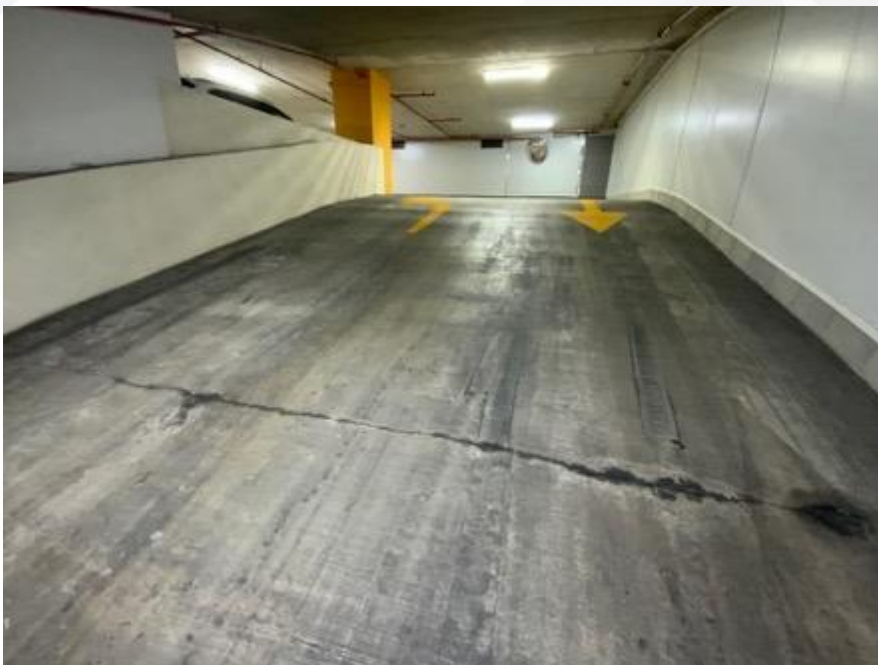


Basement B4 carpark

70. Ramp down to B4 leaking skirting has been repaired and looks good



71. Crack across down ramp to B4 has salt staining (not visible to upper level carpark ramps)



Mechanical fan room north east corner

- 72. Corroded reinforcement steel to north wall
- 73. Corroded reinforcement steel to east wall in the corner
- 74. Corrosion to fan ductwork
- 75. Corroded steelwork and reinforcement steel around duct opening concrete ceiling soffit
- 76. Walls wet and floor wet





Access panel to north wall 3 m west of fan room

- 77. Appears drain has been epoxy coated grey recently by builder
- 78. Drains from above drain to the level below
- 79. Drainage conduits 20mm hanging out of the wall these drains are too small and should be increased to 40mm minimum where possible
- 80. Wall is wet for several metres approximately 3 metres west of access hatch and immediately to the east of the access hatch for 800mm and very wet in the Mech fan room
- 81. Leaking efflorescence to skirting rear of car bays 1306 and 1103



Access panel rear of 1103

82. Leaking through wall heavy dripping water would fill a cup every few minutes directly behind the access panel. The walls either side of the access panel look reasonably dry with a few small leaks visible in both directions



83. Garage type drain 100mm deep x 100mm wide



84.2 metres of missing concrete to the wall exposing the reinforcement mesh
(Mesh appears to be 8mm bar in 100mm squares)

Concrete cover to the reinforcement steel generally appears to be 40mm



85. Flaking skim coat above carpark 1504



86. Brown staining possible water ingress to concrete ceiling soffit around yellow column same area



87. Moisture around pipe penetration ceiling north of storage unit 1504



88. Damage to east insulated wall panels adjacent car bay 702

89. Rust to panel internal fixing angle full length corroding due to water ingress.



90. Significant leak to south east corner below access panel rear of car bay

702



East wall Access panel

91. Corroded reinforcement steel

92. Walls wet 3 metre section 3 metres north of access panel

93. Corroded internal wall base angle

94. No outlet found in first 6 metres of floor drain grate?

95. Perimeter wall Drainage system should be investigated to confirm if the size of the outlets and drains are adequate to drain the walls.

96. Outlets are blocked and seem few and far between in places.

97. Craze cracking black high moisture content at cracks opposite lift core on east and south side and opposite car bay 1304 to 903

98. Leaking salt build up to skirting rear of car bay 803

99. Leaking / flaking soffit skim coat to rear of car bay 903 caused by leaking to drain
100. Leaking /minor salt build up to skirting to west wall behind scooter bay adjacent car bay 701







Access hatch west wall scooter bay

- 101. Large leak 2 m north of access hatch corroding reinforcement steel, water running from walls
- 102. Smaller leak water running to 2 metres south of hatch
- 103. Minor leak visible to skirting outside Mech fan room north west corner
- 104. Drummy render to south west corner fire stair requiring repair/patching
- 105. 500mm wide area behind the west wall
- 106. 40mm drain outlet partially blocked
- 107. Leaking /salt build up to skirting to west wall between hatches opposite car bay 906





North west Mech fan room

- 108. Rusted fan unit and rusted exhaust ducting
- 109. Rusted metal apron flashing at floor level
- 110. Water running from walls west and north, exposed rusted reinforcement steel to north wall





Access panel north wall 3 m east of Mech fan room

- 111. Large 4 m² area of corroded steel reinforcement no concrete cover immediately east of hatch
- 112. Entire wall wet running water 'drain looks good redone but only 75mm wide x 70 deep too small, outlets 40mm max and is blocked with cement residue from wall deterioration will requires cleaning almost weekly
- 113. Salt visible /black colour at top of ramp construction joint
- 114. Ramp drain and skirting redone recently







Basement B5 carpark

- 115. Concrete block on spacer system to entire B5 level
- 116. Blocks not properly supported in places x marked on blocks requiring repair by builder



- 117. Salt staining to blocks in places requiring replacement by builder
- 118. Salt visible to skirting full length of the east wall.

North East Mech fan room

- 119. The corner 'wall has had plastic 1mm sheet liner which prevents viewing the water ingress issues behind.



- 120. Water leaking through east and north walls
- 121. Rust to reinforcement steel to fan hole in roof soffit typical all levels
- 122. Rust to fan and duct replace both.



123. Leaking and salt build up to skirting rear of 601



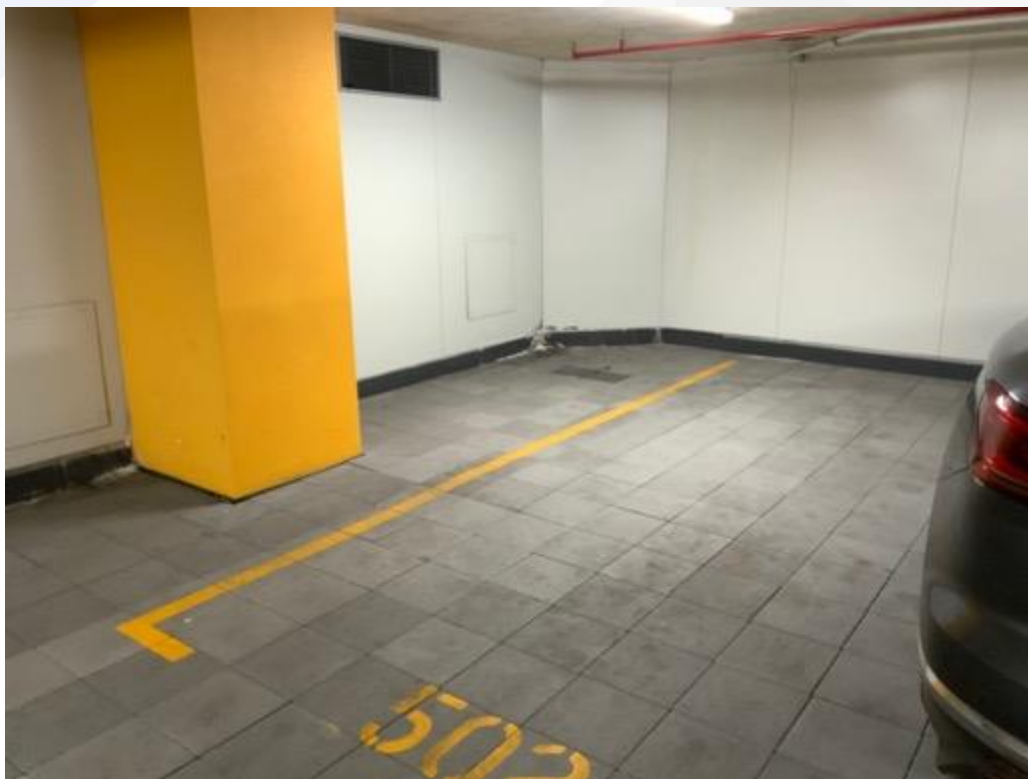
Access hatch rear of 601

124. Water leaking through walls mainly to the north of the hatch 'red sludge' to floor is blocking drains





125. Salt build up to skirting to splay corner south east rear of car bay 502



126. Render damage to south east fire stair wall facing carpark to east and south sides caused by water ingress from the floor below (previous flooding advised by building manager during construction)



127. Unfinished wall to south facing south west stair exits, should be textured to match adjacent wall.



128. Leaking large salt build up to entire west wall



129. Corrosion to base of north end wall panels

130. Leaking salt build up to car park blocks rear of car bay 1105



North west Mech fan room

- 131. Plastic sheet covers walls obscuring fan room walls
- 132. Rust to top and bottom of supporting column
- 133. Rust to fan and duct require replacement
- 134. Rust to structural steel frame to concrete soffit all levels



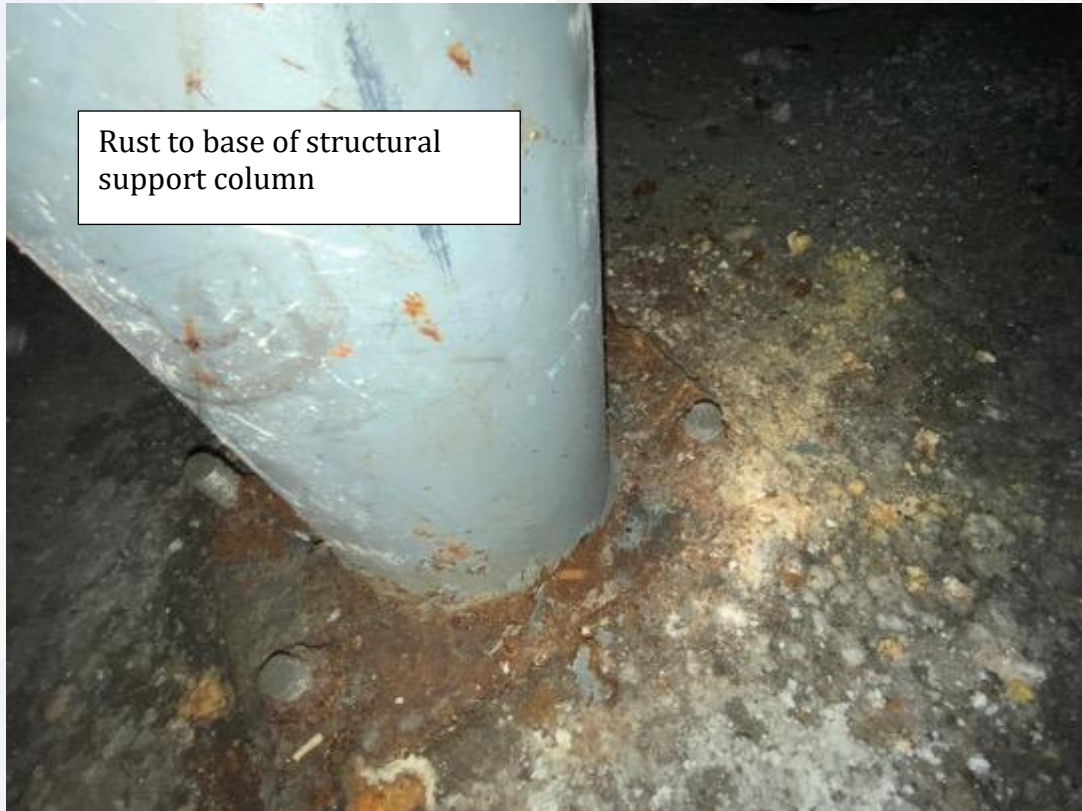
Lift Pit B5 inspection

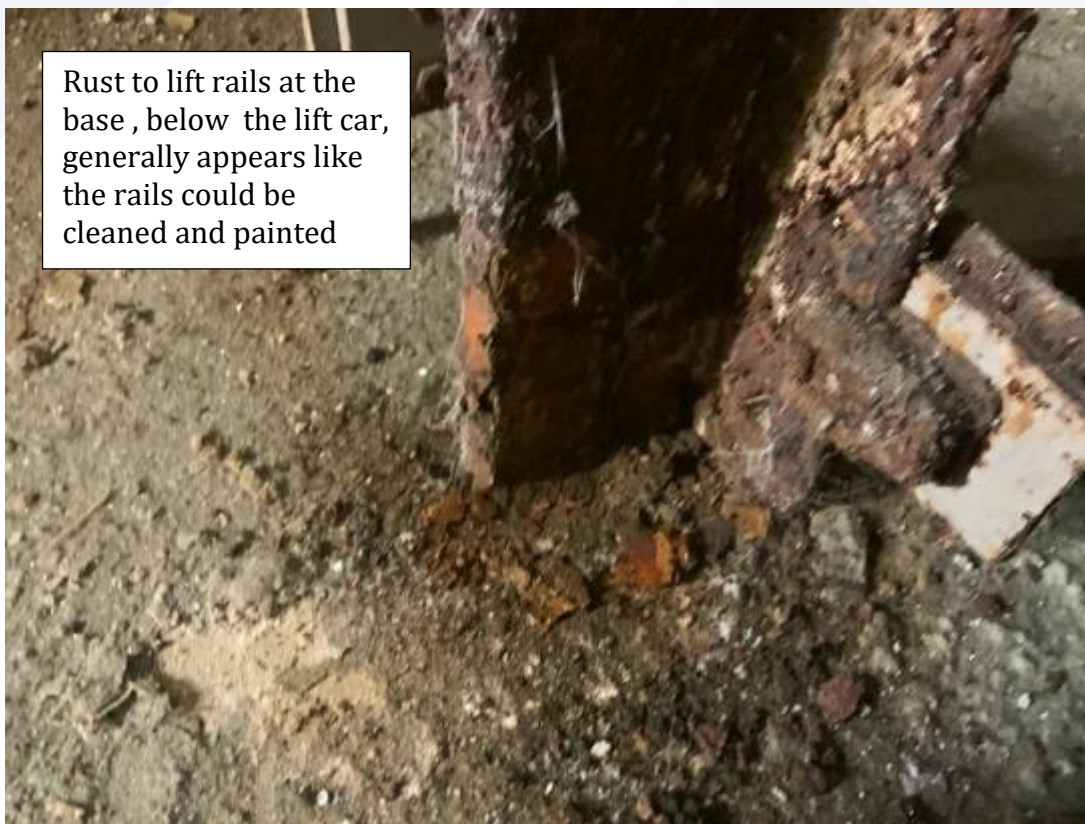
Significant corrosion of steel lift components in the base of the lift shaft visible.
3mm layer of salt build up on the floor of the lift pit, but the base of the pit is currently dry .













General photo of the lift motor



COMMERCIAL TENANCIES

Ground Floor Foyer

No defects noted

G01 door to tenancy from Foyer

Other ground tenancies doors open to the street

Note fire door though to ground floor carpark (measure in carpark totals)

Unisex, male and female toilets located in carpark Ground

Commercial Level 1(Childcare)

No Defects noted

Opens into childcare tenancy

Commercial Level 2 (Vacant)

No defects noted

10-year MAINTENANCE PLAN

Yearly maintenance

- Gutter cleaning
- Termite inspection

In 2021

- Builder to rectify flood damage to B5 lift pits / corroded steel and lift components
- Builder to rectify basement water ingress issues
- Builder to replace corroded Carpark mechanical fans and ductwork
- Builder to repair corroded Carpark Mechanical fan room structural steelwork
- Builder to rectify corrosion to external metal fins to east and west sides
- Builder to replace corroded EPS bottom rails where damaged by water ingress
- Builder to investigate and rectify balcony tiling where rusting in spoon drains noted to units 1806,1507,1501(check all balconies)
- Builder to rectify cracked balcony tiling and balcony soffits at the west and north side construction joints
- Builder to texture the unfinished south west stair exit B5
- Builder to repair B5 south east stair walls render damaged by water ingress
- Builder to repair block paver support system, blocks not properly supported and replace damaged blocks
- Builder to investigate moisture to carpark soffit to ceiling area north of unit 1504
- Builder to repair flaking cement skim coat same area
- Builder to remove small piece of timber formwork south east switch room B1 carpark
- Builder to repair pitted concrete carpark base of B1 ramp 30 m2 approximately
- Builder to repair holes in ground floor concrete carpark outside north east fire stair

- Builder to rectify Clean slurry from top landing and walls surrounding fire service top of roof stair
- Builder to rectify Large rust to base of structural fence base on east side causing waterproofing to bubble
- Builder to rectify Rust to fixings x2 to into roof on south side stair
- Builder to rectify Rusting of roof level plant enclosure bracing
- Builder to rectify incomplete electrical cupboard walling exposed metal angles, currently allowing water to enter and will rust out door frame
- Builder to repair roof waterproofing damaged by metal grinding causing rusting
- Builder to repair damaged south facing window sealant sill of unit 1806
- Level 3 east side service yard inner door is binding (building maintenance)
- Strata company to get report on corroded reinforcement steel to basement walls

In 2022

- Repair damaged EPS wall panels adjacent car bay 702 (damaged by car?), after water ingress repairs

In 2023

Normal Maintenance

In 2024

Normal Maintenance

In 2025

Normal Maintenance

In 2026

Normal Maintenance

In 2027

Normal Maintenance

In 2028

Re-Paint the external of the building including awnings and other attachments
Re-paint internal Lobby walls, ceilings, doors and frames

In 2029

Normal Maintenance

In 2030

Normal Maintenance

**EXPLANATORY PHOTOS TAKEN ON THE DAY OF
INSPECTION**
West elevation



South Elevation





North Elevation



West Elevation



EXCLUSION OF ITEMS FROM INSPECTION

As described in the Australian Standard 4349.1-2007:

“The inspector need not inspect or report on the following:

- (a) Footings below ground.
- (b) Concealed damp-proof course.
- (c) Electrical installations, operation of smoke detectors, light switches and fittings, TV, sound and communications and security systems.
- (d) Concealed plumbing.
- (e) Adequacy of roof drainage as installed.
- (f) Gas fittings and fixtures.
- (g) Air-conditioning.
- (h) Automatic garage door mechanisms.
- (i) Swimming pools and associated filtration and similar equipment.
- (j) The operation of fireplaces and solid fuel heaters, including chimneys and flues.
- (k) Alarm systems.
- (l) Intercom systems.
- (m) Soft floor coverings.
- (n) Electrical appliances including dishwashers, incinerators, ovens, ducted vacuum systems.
- (o) Paint coatings, except external protective coatings.
- (p) Health hazards (e.g., allergies, soil toxicity, lead content, radon, presence of asbestos or urea formaldehyde).
- (q) Timber and metal framing sizes and adequacy.
- (r) Concealed tie-downs and bracing.
- (s) Timber pest activity.
- (t) Other mechanical or electrical equipment (such as gates, inclinators).
- (u) Soil conditions.
- (v) Control joints.
- (w) Sustainable development provisions.
- (x) Concealed framing-timbers or any areas concealed by wall linings/sidings.
- (y) Landscaping.
- (z) Rubbish.
- (aa) Floor cover.
- (bb) Furniture and accessories.
- (cc) Stored items.
- (dd) Insulation.
- (ee) Environmental matters (e.g., BASIX, water tanks, BCA Environmental Provisions).
- (ff) Energy efficiency.
- (gg) Lighting efficiency.”

INSPECTION AGREEMENT

This agreement between the Client and ABBC Building Inspectors is to identify the purpose, scope and acceptance criteria for the report.

1. The purpose of the inspection is to provide advice to the Strata Owners regarding the condition of the property at the time of the inspection.
2. The inspection will comprise a visual assessment of the property to identify defects, maintenance and safety issues with the property. The building will be compared with buildings previously inspected by the inspector of similar type and age of construction.
3. The inspector will attempt to inspect all accessible areas relevant to the particular inspection items – it is the responsibility of the Client to arrange right of entry and to facilitate physical entry to the property. The Client specifically accepts that the inspector can only assess those parts of the building which have been made available for inspection. General overall assumptions about the state of the building may be made in order to form the basis of this report. ABBC cannot be held responsible if there are other circumstances not inspected which when considered would change the advice given in this report.
4. The Client acknowledges that there are likely be limitations to the ability of the inspector to inspect the property such as common types of restriction such as heights, narrow boundary clearances, thick vegetation, small roof or crawl space; limited access or limited vision will limit the capacity of the inspector to fully report on the condition of the property.
5. The Client acknowledges that the inspector can only inspect those areas which are reasonably visible and reasonably accessible. Building elements which are covered, shielded or otherwise inaccessible will not be inspected.
6. The inspector does not guarantee to inspect all items present on the day of inspection. If the item is not specifically described, it may not have been inspected. Our advice relates only to those areas of the building inspected.
7. Asbestos was a commonly-used building material in Australia and may be present in the property. This inspector makes no guarantee that any or all asbestos material present will or can be identified in the report, even if specifically requested to do so.
8. Expanded polystyrene may have been used in the construction of the building. This material is usually rendered or covered with other finishes. This inspector makes no guarantee that any or all expanded polystyrene material will or can be identified in the report, even if specifically requested to do so.
9. If aluminium cladding may have been used in the construction of the building, this inspector makes no positive identification of cladding, certification of cladding or warranty as to which type of cladding has been used. All cladding identified is recommended to be notified to the WA Building Commission for their assessment as to the identification of the type of cladding and advice and appropriate recommendations on the status of the cladding.
10. Magnesite was a commonly-used building material in Australia for topping of structural floors prior to coverings and may be present in the property. It is a requirement of our

insurance that we recommend that you consult the services of a structural engineer to inspect and provide appropriate advice and recommendations if we suspect the presence of magnesite. Given that the magnesite toppings are likely under floor coverings, the Client implicitly understands that ABBC Building Inspectors may not detect the presence of magnesite.

11. It is a requirement of our insurance that we recommend that you consult the services of a structural engineer to inspect and provide appropriate advice and recommendations if we observe the presence of cracks or repaired cracks to masonry construction, concrete slabs or loadbearing walls.
12. Any dimensions given are approximate only. Descriptions of materials are broad descriptions for information only. There may be several different types of material present; only the most commonly seen may be described.
13. Any cost estimates are approximate only. The Client is recommended to obtain trade quotations for any work which the Client deems necessary to be carried out.
14. Any opinions given by this inspector are given with this experience and qualifications only. Advice on electrical systems and devices, lifts, mechanical services, fire services, plumbing, swimming pools, engineering works, surveying, timber pests and legal matters etc. should be sought separately by the client if appropriate.
15. The inspection process can involve the use of various equipment, including but not limited to: ladders, flashlights or torches, tape measures or other measuring equipment and spirit levels. The Client accepts liability for any damage to property that may be sustained through the use of this equipment that is reasonably foreseeable i.e. fragile or breakable items which may be left in areas requiring the use of a ladder to access.
16. The advice given by ABBC Building Inspectors in the report is given in good faith. No responsibility is accepted for any losses, direct or consequential, resulting from this advice. Liability is limited to the cost of the report.
17. The report is not a certificate of compliance of the property within the requirements of any Act, regulation, ordinance, local law or by-law, and is not a warranty against problems developing with the building in the future.
18. If the report is proven not conform to the term and conditions described above to any substantial respect, ABBC Building Inspectors will not accept liability unless the Client notifies the Inspector within 60 days of the delivery of the report and the liability is limited to the cost of providing the inspection.
19. Payment for the report is the responsibility of the Client. All reports are to be paid for prior to supplying the report. The inspector will not accept any claims for delays in provision of the report due to delays in payment. Payment can be made at the time of booking or at the time of inspection.
20. This agreement will be the Agreement between the parties; if you do not agree to be bound by these terms and conditions, your objections to these conditions are to be lodged no later than 2 hours prior to the scheduled time of the inspection. The Client accepts the conditions of this agreement as soon as the inspector sets foot on the property to be inspected.

