

Introduction :

A routine inspection was carried out at your property by one of our trained Inspectors. The report has been submitted to your Property Manager for review and to action any matters that require attention.

We recommend you consider the report in full and advise us if there are any questions or issues you would like addressed by us or to be taken up with the tenant.

Overall Standard and summary of inspection:

Upon inspection it appears that the tenant is taking reasonably good care of the property. It was presented in a satisfactory condition.

Required Maintenance :

Nil

Minimum Housing Standards :

Nil

Recommended Maintenance :

Nil

Property Manager to Follow Up:

Nil

Work to be carried out by the Tenant:

Nil



Address of premises

2/ 40 Sahara Rd
Glass House Mountains QLD 4518



Tenant's name(s)

Bradley Nayda & Richelle Nayda



Current Rent: \$440.00 per week

Lease Start Date:

14/05/24

Lease Expiry:

19/05/25

Inspection Date:

20/06/24

**CONDITION/
ACTION CODES**



YES



NO

This tenancy inspection report is a visual one carried out by Aura Property to assess the manner in which the tenant is maintaining your property. As your property manager, our role is to manage the tenancy; We are not qualified to assess the structural aspects of areas including but not limited to staircases, decking and balconies or to ensure that plumbing, electrical or gas mixtures of fittings, glass windows, doors and balustrades, smoke alarms, asbestos, swimming pool safety barriers (and associated fittings) comply and operate in accordance with applicable building/council codes and/or laws and regulations. The inspection does not include the moving of furniture, lifting of floor coverings, inspecting the interiors of roof spaces, under flooring, inside of cupboards, tenant's goods of other belongings. Aura Property recommends that all landlords have regular inspections carried out by suitable qualified, licensed and insured contractors and experts in the appropriate areas when necessary. Aura Property also recommends that all landlords hold adequate insurance, including landlords insurance.

Inspector Signature



Date

20/06/24

	Condition Satisfactory	Action required by tenant	Action required by landlord	Inspector Comments
Areas				
Kitchen	Y	N	N	<p>The kitchen has been adequately maintained, with clean appliances, countertops, and cabinets. No major issues noted at the time of the inspection.</p> <p>Refer to media: 1 2 3 4 5 6</p>
Dining Room	Y	N	N	<p>Upon inspection, the doors, flooring, walls, and all windows and window treatments are in satisfactory condition.</p> <p>Refer to media: 7 8 9</p>
Bedroom	Y	N	N	<p>Upon inspection, the doors, flooring, walls, and all windows and window treatments are in satisfactory condition.</p> <p>Refer to media: 10 11 12</p>
Bedroom 2	Y	N	N	<p>Upon inspection, the doors, flooring, walls, and all windows and window treatments are in satisfactory condition.</p> <p>Refer to media: 13 14 15 16</p>
Bathroom	Y	N	N	<p>The bathroom was visually inspected for leaks, mould or soap scum buildup, leaking shower door seals, and excessive build-up of dirt and or grime, calcium, or other such deposits which will lead to long-term damage. None of the above issues were identified.</p> <p>Refer to media: 17 18 19 20 21 22 23</p>
Garage	Y	N	N	<p>The garage is satisfactory. There were no visual maintenance items noted at the time of the inspection.</p> <p>Refer to media: 24 25 26</p>
Exterior	Y	N	N	<p>We have visually inspected the exterior of the property. Everything appears to be in satisfactory condition. There were no issues noted at the time of the inspection.</p> <p>Refer to media: 27 28 29 30 31 32 33 34 35 36 37 38 39 40 41</p>

Inspector Signature



Date

20/06/24



Kitchen
20/06/2024 9:39 AM
[Image 1](#)



Kitchen
20/06/2024 9:39 AM
[Image 2](#)



Kitchen
20/06/2024 9:39 AM
[Image 3](#)



Kitchen
20/06/2024 9:39 AM
[Image 4](#)

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Kitchen

20/06/2024 9:39 AM

[Image 5](#)



Kitchen

20/06/2024 9:39 AM

[Image 6](#)



Dining Room

20/06/2024 9:39 AM

[Image 7](#)



Dining Room

20/06/2024 9:39 AM

[Image 8](#)

Inspector Signature  Date 20/06/24



Dining Room

20/06/2024 9:39 AM

[Image 9](#)



Bedroom

20/06/2024 9:40 AM

[Image 10](#)



Bedroom

20/06/2024 9:40 AM

[Image 11](#)



Bedroom

20/06/2024 9:40 AM

[Image 12](#)

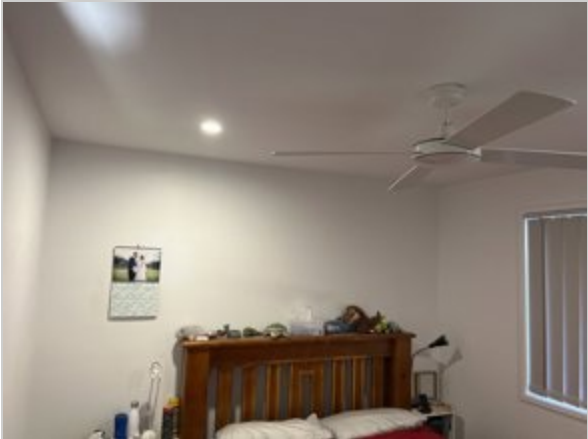
Inspector Signature  Date 20/06/24



Bedroom 2
20/06/2024 9:38 AM
[Image 13](#)



Bedroom 2
20/06/2024 9:38 AM
[Image 14](#)



Bedroom 2
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[Image 15](#)



Bedroom 2
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[Image 16](#)

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Bathroom

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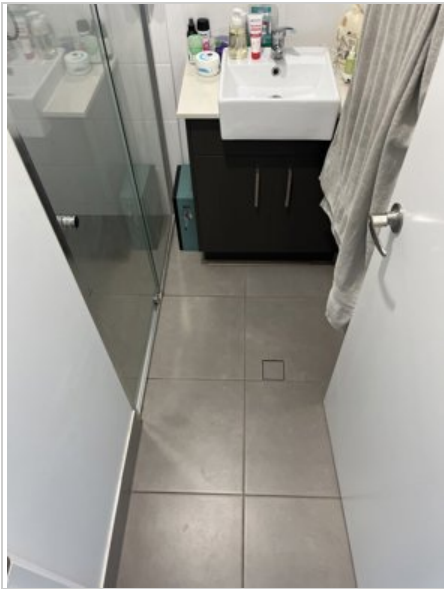
[Image 17](#)



Bathroom

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[Image 18](#)



Bathroom

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[Image 19](#)



Bathroom

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[Image 20](#)

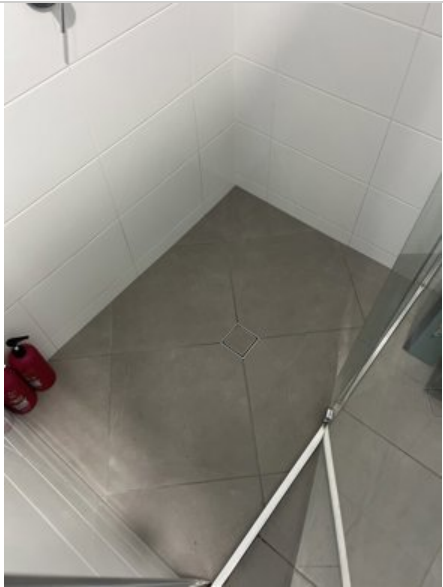
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Bathroom

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[Image 21](#)



Bathroom

20/06/2024 9:38 AM

[Image 22](#)



Bathroom

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[Image 23](#)



Garage

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[Image 24](#)



Garage
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[Image 25](#)



Garage
20/06/2024 9:38 AM
[Image 26](#)



Exterior
20/06/2024 9:36 AM
[Image 27](#)



Exterior
20/06/2024 9:36 AM
[Image 28](#)

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Exterior
20/06/2024 9:36 AM
Image 29



Exterior
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Image 30



Exterior
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Image 31



Exterior
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Image 32

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Exterior
20/06/2024 9:37 AM
[Image 33](#)



Exterior
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[Image 34](#)



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Exterior
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Exterior

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