PROPOSED RESIDENCE for B9 Pty Ltd as Trustee for Beveridge 9 Family Trust
Lot 2 Sahara Road, Glasshouse

GENERAL PROJECT NOTES

ALL DESIGN, CONSTRUCTION & MATERIALS TO BE IN ACCORDANCE WITH:
THE NATIONAL CONSTRUCTION CODE (NCC)
THE QUEENSLAND DEVELOPMENT CODE (QDC)
BUILDING REGULATIONS & LOCAL GOVERNMENT PLANS & POLICIES
CURRENT ISSUES OF AUSTRALIAN STANDARDS
CURRENT MANUFACTURER'S SPECIFICATIONS & INSTALLATION DETAILS FOR MATERIALS USED.

REFER TO ENGINEERING DRAWINGS FOR STRUCTURAL DESIGN, FOOTING, SLAB, TRUSS, SET DOWNS, TIE DOWN, BRACING, RETAINING WALLS AND ALL STRUCTURAL DETAILS.

ALL FIXTURES, FITTINGS, APPLIANCES AND EQUIPMENT SHOWN ARE SYMBOLIC REPRESENTATIONS ONLY.

THE BUILDERS SPECIFICATION TAKES PRECIDENCE OVER ANY AND ALL PLANS AND DETAILS.

ALL ISOMETRIC, AXONOMETRIC DIMETRIC, TRIMETRIC PROJECTIONS AND PERSPECTIVE VIEWS ARE ADUMBRATIVE ONLY AND NOT FOR CONSTRUCTION. THEY DO NOT TAKE PRECEDENCE OVER DIMENSIONED CONSTRUCTION VIEWS. NOR DO THEY TAKE PRECEDENCE OVER ANY PRODUCTS THAT FORM PART OF THE SPECIFICATION AND CONTRACT.

WORK IN FIGURED DIMENSIONS IN PREFERENCE TO SCALE.

ALL GLASS & GLAZING SHALL BE IN ACCORDANCE WITH PART 3.6 GLAZING, NCC VOL2 AND AS1288-2006 GLASS IN BUILDINGS - SELECTION AND INSTALLATION

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LIST OF SHEETS

NO.	SHEET NAME
1	TITLE SHEET
2	SITE PLAN
3	FLOOR PLAN
6	SECTION
7	DETAILS
8	DETAILS
9	DETAILS
10	ELECTRICAL PLAN
11	SLAB PLAN
12	ROOF PLAN
13	PERSPECTIVES
14	NOTES

Artist Impression Only

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REVISION SCHEDULE:

B	Plan Amendments	DC	10.07.18
C	Plan Amendments	DC	13.07.18
D	Plan Amendments	DC	14.08.18
E	Cladding Amendments	DC	29.08.18

PROJECT INFORMATION

PROPOSED RESIDENCE for B9 Pty Ltd as Trustee for Beveridge 9 Family Trust

Lot 2 Sahara Road, Glasshouse

REAL PROPERTY DESC.

LOT NUMBER:	2
PLAN NO.:	RP135994
PARISH:	Beerwah
COUNTY:	Canning
SITE AREA:	794m²
LOCAL AUTHORITY:	Sunshine Coast Regional

SHEET INFORMATION

TITLE SHEET

CONSTRUCTION

REVISION:	E
JOB NUMBER:	6059
DATE:	26/10/2018

N

SHEET NUMBER: 1 of 14

GENERAL SITE PLAN NOTES

EARTHWORKS TO BE IN ACCORDANCE WITH LOCAL COUNCIL REGULATIONS AND NATIONAL CONSTRUCTION CODE, VOL 2, SECTION 3.1.1 EARTHWORKS.

STORMWATER DRAINAGE DESIGN & DISCHARGE TO AS 3500, SECTION 3.1.2 STORMWATER DRAINAGE, NCC VOL2 AND LOCAL COUNCIL REQUIREMENTS. STORMWATER PIPES SHALL BE CONNECTED TO KERB AND CHANNEL BY USE OF A SUITABLE PVC ADAPTOR.

DRIVEWAY CROSSOVER DESIGN, CONSTRUCTION AND FINISH TO LOCAL COUNCIL REQUIREMENTS.

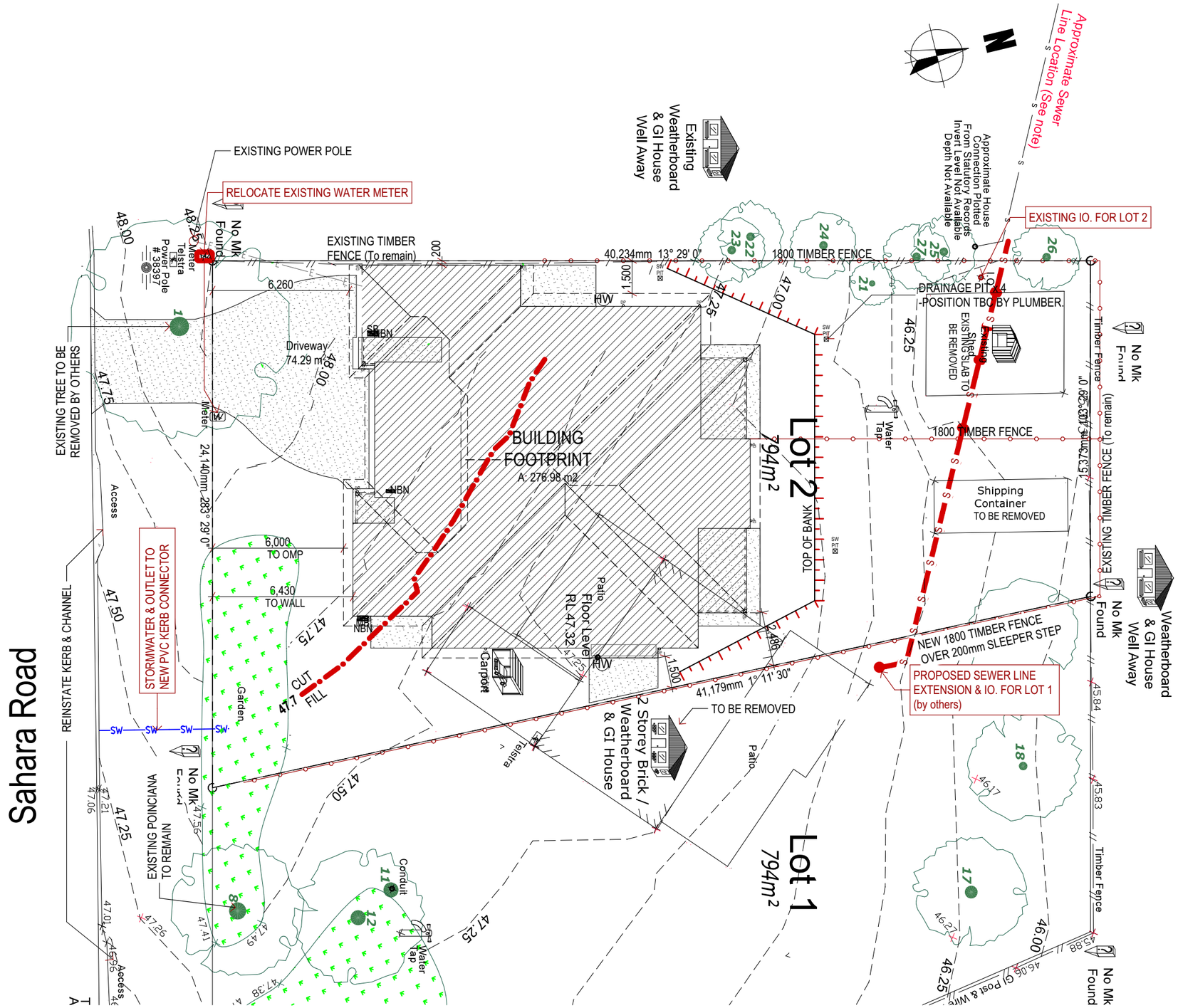
SERVICES LEGEND

- —E— UNDERGROUND ELECTRICAL
- —OH— OVERHEAD ELECTRICAL
- —RWD— RAINWATER DRAINAGE
- —RM— RISING MAIN
- —S— SEWER
- —SW— STORMWATER
- —T— TELSTRA
- —W— WATER

SLAB RL

SLAB RL:	48.00
PLATFORM RL:	47.70

RL'S TO BE CONFIRMED ON SITE



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SHEET INFORMATION

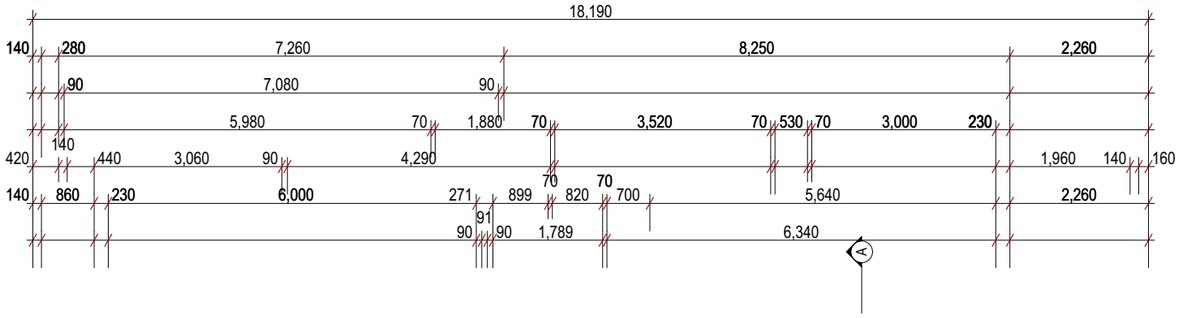
SITE PLAN

CONSTRUCTION

REVISION:	E
JOB NUMBER:	6059
DATE:	26/10/2018
SHEET NUMBER:	2 of 14

GROSS FLOOR AREA (GFA) UNIT 2

COVERED OUTDOOR AREAS	ALFRESCO	7.77
COVERED OUTDOOR AREAS	PORCH	4.73
		12.50 m²
MAIN HOUSE	GARAGE	22.59
MAIN HOUSE	GROUND FLOOR	59.20
		81.79 m²
		94.29 m²



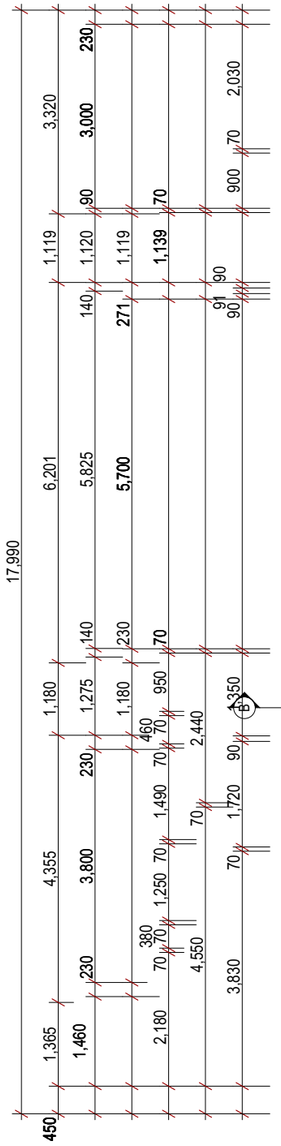
GENERAL FLOOR PLAN NOTES

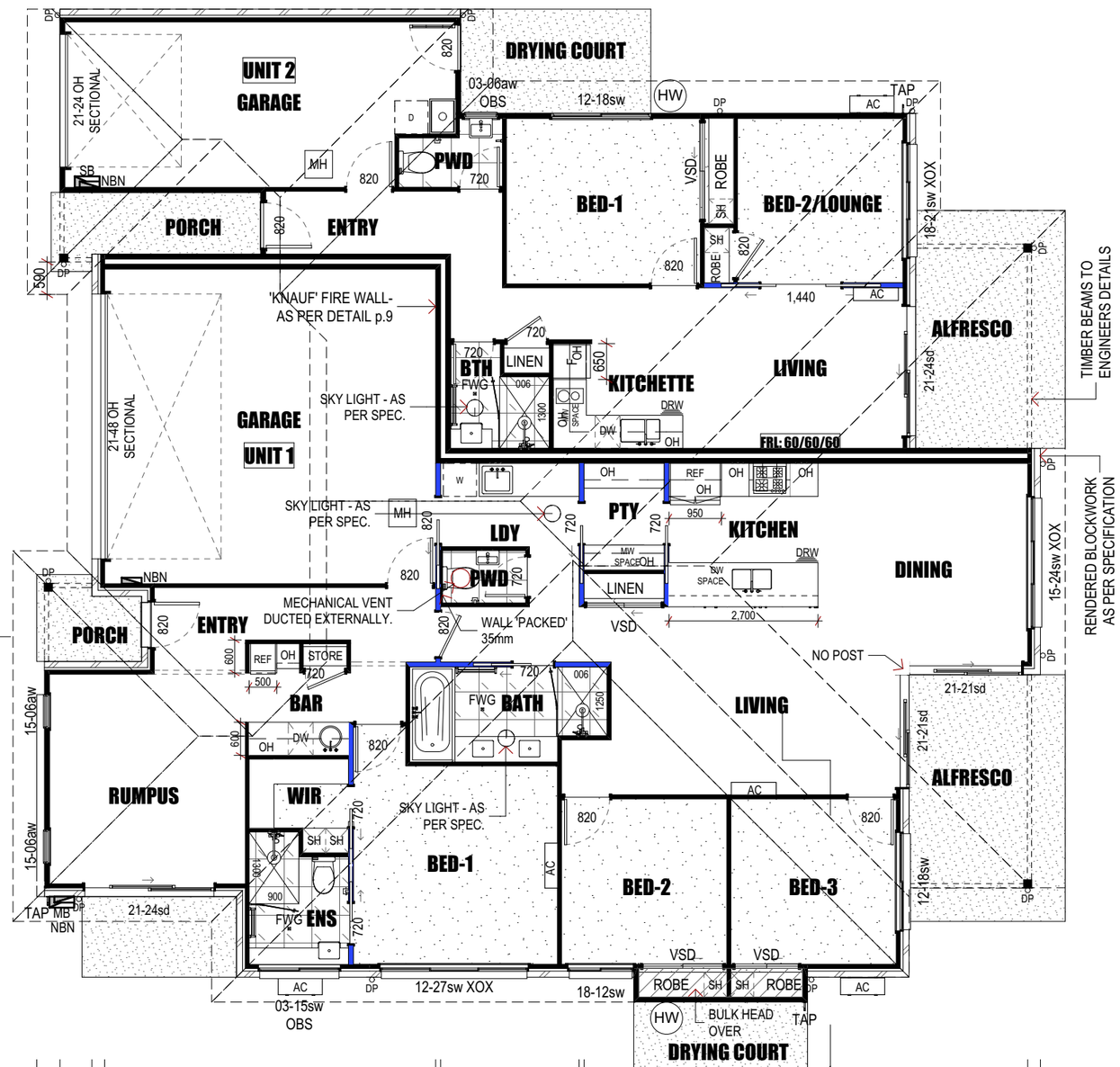
SHELVING
ROBE X 1 SHELF & RAIL UNO
BROOM X 1 SHELF UNO
LINEN X 4 SHELF UNO
STORE X 4 SHELF UNO

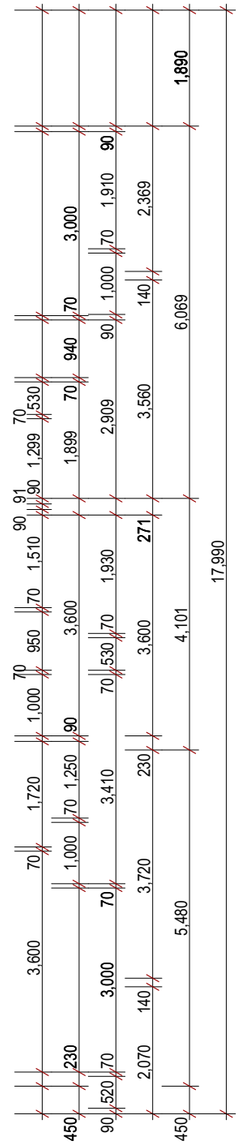
70MM RECESS FOR SHOWERS IN CONCRETE SLABS.

WR PLASTERBOARD PROVIDED TO EXTERNAL CEILINGS WITH A 300mm DRIP EDGE AS PER AS/NZS 2589:2007

ADDITIONAL NOGGINGS PROVIDED AT:
800 mm FOR TOILET ROLL HOLDERS
1000 mm FOR TOWL RAILS
1000 mm FOR TOWL RINGS

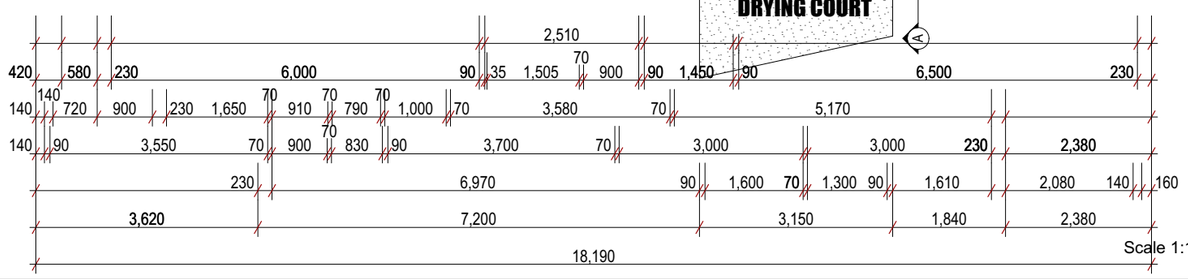






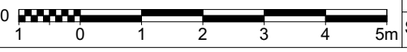
GROSS FLOOR AREA (GFA) UNIT 1

COVERED OUTDOOR AREAS	ALFRESCO	8.57
COVERED OUTDOOR AREAS	PORCH	2.28
		10.85 m²
MAIN HOUSE	GARAGE	38.43
MAIN HOUSE	GROUND FLOOR	134.23
		172.66 m²
		183.51 m²



ELEVATIONS

Scale 1:100



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REVISION SCHEDULE:

B	Plan Amendments	DC	10.07.18
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D	Plan Amendments	DC	14.08.18
E	Cladding Amendments	DC	29.08.18

PROJECT INFORMATION

PROPOSED RESIDENCE for B9 Pty Ltd as Trustee for Beveridge 9 Family Trust

Lot 2 Sahara Road, Glasshouse

REAL PROPERTY DESC.

LOT NUMBER:	2
PLAN NO.:	RP135994
PARISH:	Beerwah
COUNTY:	Canning
SITE AREA:	794m²
LOCAL AUTHORITY:	Sunshine Coast Regional

SHEET INFORMATION

FLOOR PLAN

CONSTRUCTION

REVISION:	E
JOB NUMBER:	6059
DATE:	26/10/2018
SHEET NUMBER:	3 of 14

GENERAL ELEVATION NOTES

ALL GLASS & GLAZING SHALL BE IN ACCORDANCE WITH PART 3.6 GLAZING, NCC VOL2 AND AS1288-2006 GLASS IN BUILDINGS - SELECTION AND INSTALLATION

ALL STAIRS TO BE IN ACCORDANCE WITH PART 3.9.1, NCCVOL2.

BALUSTRADE TO BE MINIMUM 1000MM ABOVE FFL WITH NO OPENINGS GREATER THAN 124MM IN ACCORDANCE WITH PART 3.9.2, NCC VOL2.

40mm ALLOWANCE TO CEILING HEIGHT FOR CEILING BATTENS & PLASTERBOARD.

WR PLASTERBOARD PROVIDED TO EXTERNAL CEILINGS WITH A 300mm DRIP EDGE AS PER AS/NZS 2589:2007

UPPER FLOOR WINDOWS TO COMPLY WITH REQUIREMENTS OF BCA 2013 VOL.1 INCLUDING WINDOWS MARKED 'RESTRICT' , 'SCREEN' OR 'LOCK'

Elevation A

1:100

Elevation B

1:100

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REVISION SCHEDULE:

REV:	DESCRIPTION:	INI:	DATE:
B	Plan Amendments	DC	10.07.18
C	Plan Amendments	DC	13.07.18
D	Plan Amendments	DC	14.08.18
E	Cladding Amendments	DC	29.08.18
F	Contours Added.	DC	26.10.18

PROJECT INFORMATION

PROPOSED RESIDENCE for B9 Pty Ltd as Trustee for Beveridge 9 Family Trust

Lot 2 Sahara Road, Glasshouse

REAL PROPERTY DESC.

LOT NUMBER:	2
PLAN NO.:	RP135994
PARISH:	Beerwah
COUNTY:	Canning
SITE AREA:	794m²
LOCAL AUTHORITY:	Sunshine Coast Regional

SHEET INFORMATION

ELEVATIONS A & B

CONSTRUCTION REVISION: **F**

JOB NUMBER:	6059	DATE:	26/10/2018
SHEET NUMBER:	4 of 14		

GENERAL ELEVATION NOTES

ALL GLASS & GLAZING SHALL BE IN ACCORDANCE WITH PART 3.6 GLAZING, NCC VOL2 AND AS1288-2006 GLASS IN BUILDINGS - SELECTION AND INSTALLATION

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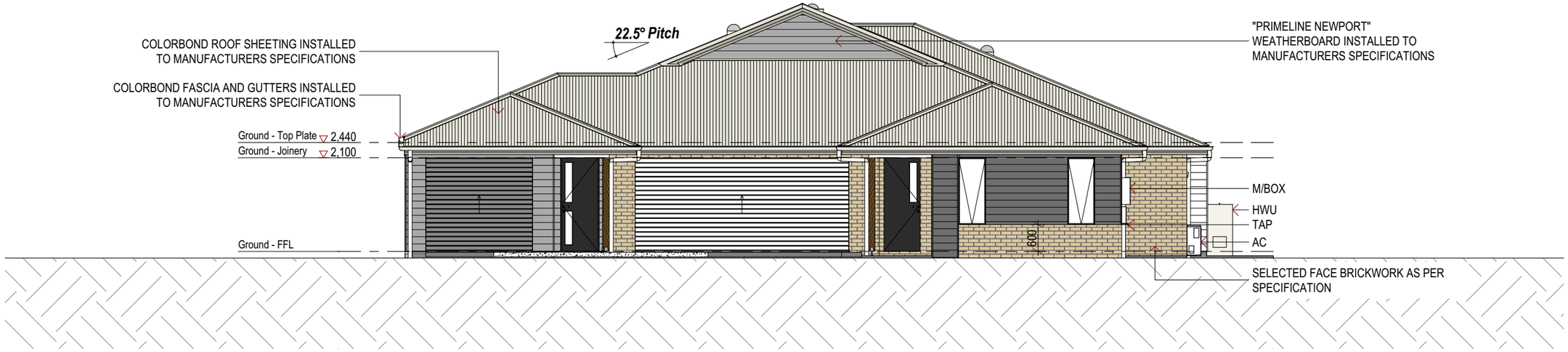

Elevation C

1:100

Elevation D

1:100

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REV:	DESCRIPTION:	INI:	DATE:
B	Plan Amendments	DC	10.07.18
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E	Cladding Amendments	DC	29.08.18
F	Contours Added.	DC	26.10.18

PROJECT INFORMATION

PROPOSED RESIDENCE for B9 Pty Ltd as Trustee for Beveridge 9 Family Trust

Lot 2 Sahara Road, Glasshouse

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LOT NUMBER:	2
PLAN NO.:	RP135994
PARISH:	Beerwah
COUNTY:	Canning
SITE AREA:	794m²
LOCAL AUTHORITY:	Sunshine Coast Regional

SHEET INFORMATION

ELEVATIONS C & D

CONSTRUCTION REVISION: **F**

JOB NUMBER:	6059	DATE:	26/10/2018
SHEET NUMBER:	5 of 14		

GENERAL SECTION NOTES

ALL GLASS & GLAZING SHALL BE IN ACCORDANCE WITH PART 3.6 GLAZING, NCC VOL2 AND AS1288-2006 GLASS IN BUILDINGS - SELECTION AND INSTALLATION

ALL STAIRS TO BE IN ACCORDANCE WITH PART 3.9.1, NCCVOL2.

BALUSTRADE TO BE MINIMUM 1000MM ABOVE FFL WITH NO OPENINGS GREATER THAN 124MM IN ACCORDANCE WITH PART 3.9.2, NCC VOL2.

UPPER FLOOR WINDOWS TO COMPLY WITH REQUIREMENTS OF BCA 2013 VOL.1 INCLUDING WINDOWS MARKED 'RESTRICT' , 'SCREEN' OR 'LOCK'

STEPDOWNS TO COMPLY WITH (NATIONAL CONSTRUCTION CODE, VOL. 2, PART 3.1.2).

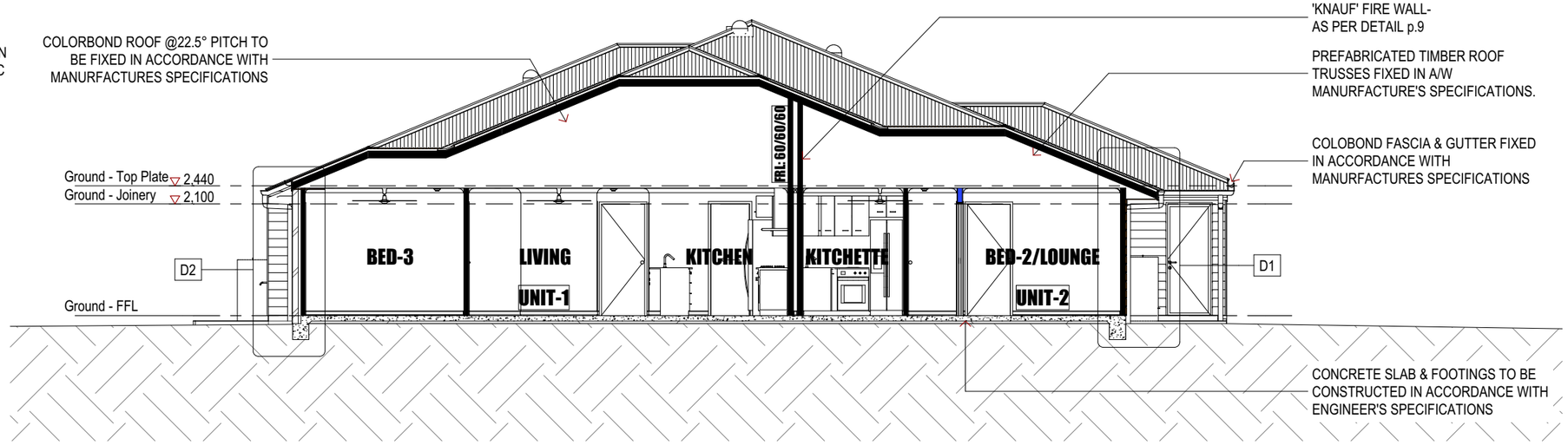
ALL SMOKE ALARMS ARE TO BE HARD WIRED WITH BATTERY BACKUP IN ACCORDANCE WITH PART 3.7.2 SMOKE ALARMS, NCC VOL2 AND AS3786, SMOKE ALARMS.

INTERNAL WET AREAS TO BE WATERPROOF IN ACCORDANCE WITH PART 3.8.1, NCC VOL2.

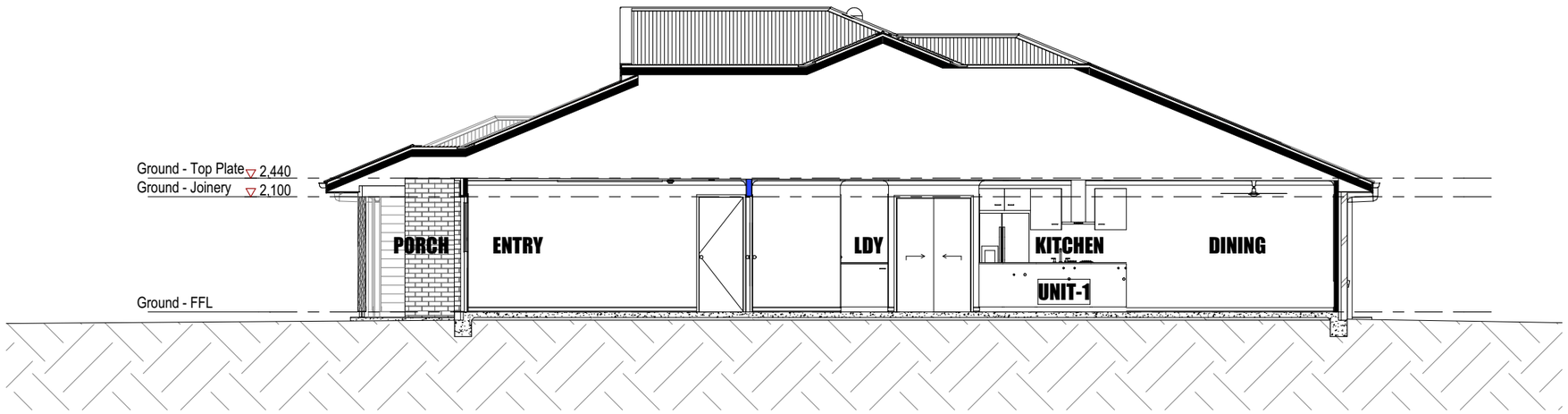
WC DOORS ARE TO BE PROVIDED WITH LIFT OFF HINGES, TO RELEVANT NCC VOL2 REQUIREMENTS.

REFER TO ENGINEERING DRAWINGS FOR STRUCTURAL DESIGN, FOOTING, SLAB, TRUSS, SET DOWNS, TIE DOWN, BRACING, RETAINING WALLS AND ALL STRUCTURAL DETAILS.

FRAME - 70mm INTERNAL UNO
FRAME - 90mm EXTERNAL UNO



Section A 1:100



Section B 1:100

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REVISION SCHEDULE:

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D	Plan Amendments	DC	14.08.18
E	Cladding Amendments	DC	29.08.18

PROJECT INFORMATION

PROPOSED RESIDENCE for B9 Pty Ltd as Trustee for Beveridge 9 Family Trust

Lot 2 Sahara Road, Glasshouse

REAL PROPERTY DESC.

LOT NUMBER:	2
PLAN NO.:	RP135994
PARISH:	Beerwah
COUNTY:	Canning
SITE AREA:	794m²
LOCAL AUTHORITY:	Sunshine Coast Regional

SHEET INFORMATION

SECTION SCALE: AS PER DWG

CONSTRUCTION

REVISION:	E
JOB NUMBER:	6059
DATE:	26/10/2018
SHEET NUMBER:	6 of 14

GENERAL DETAIL NOTES

STEPDOWNS TO COMPLY WITH (NATIONAL CONSTRUCTION CODE, VOL. 2, PART 3.1.2).

REFER TO ENGINEERING DRAWINGS FOR STRUCTURAL DESIGN, FOOTING, SLAB, TRUSS, SET DOWNS, TIE DOWN, BRACING, RETAINING WALLS AND ALL STRUCTURAL DETAILS.

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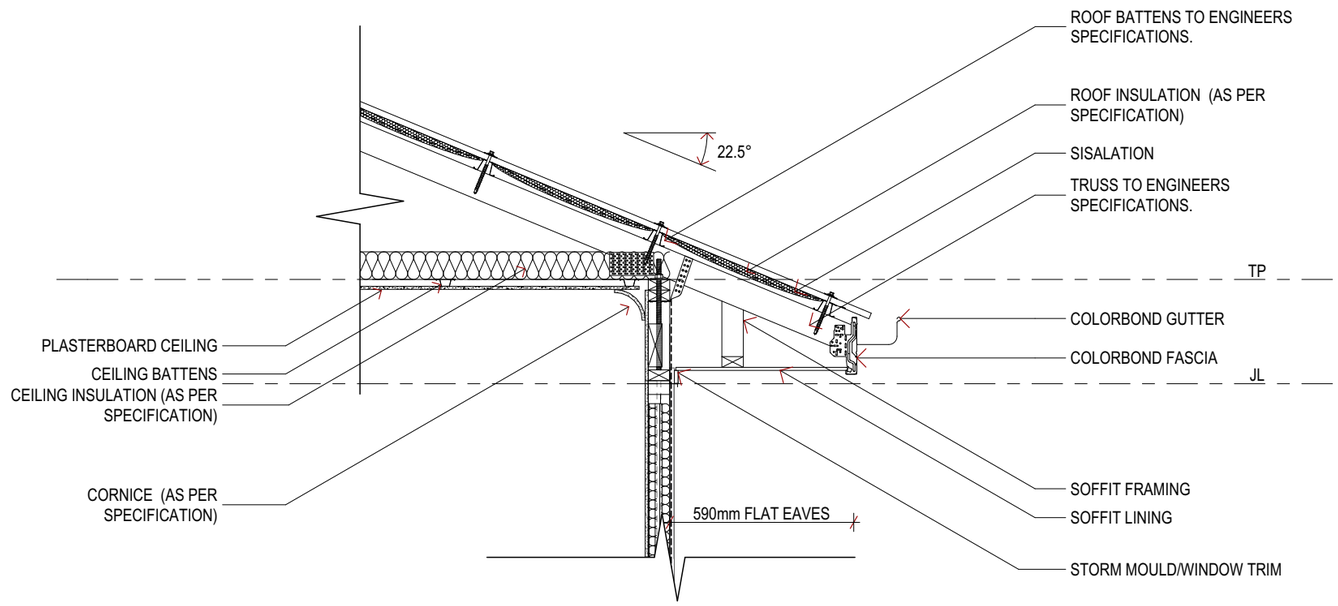

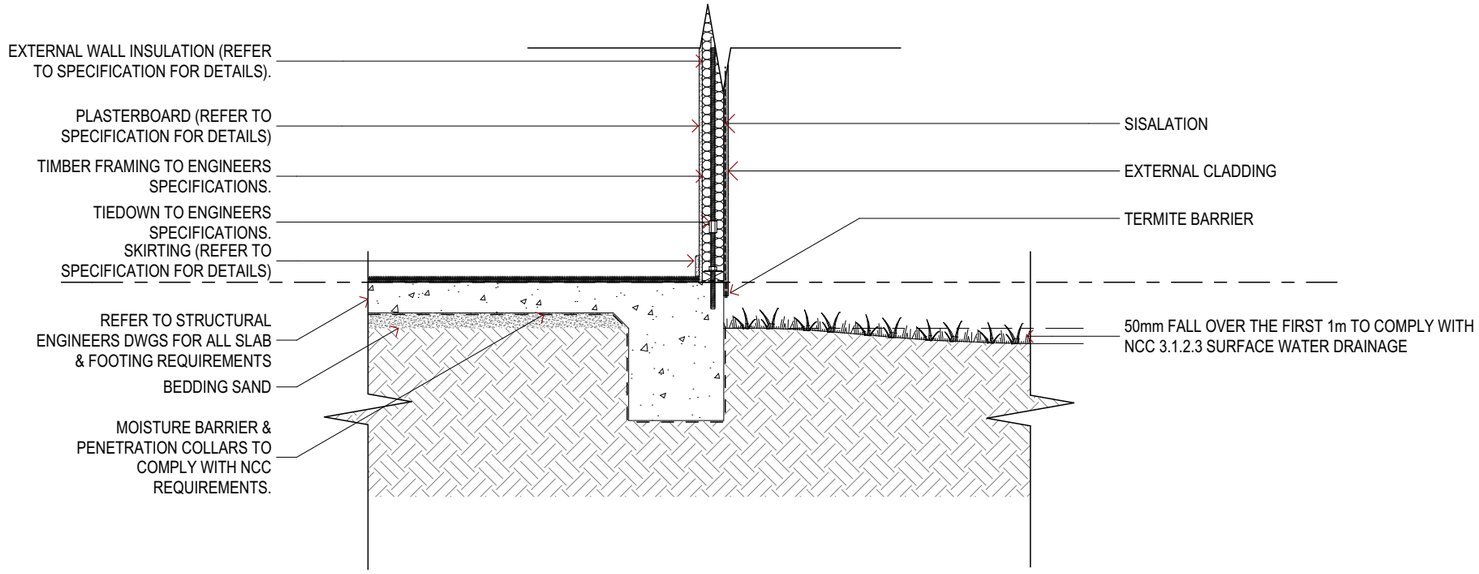

Detail 1

1:20

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PROJECT INFORMATION

PROPOSED RESIDENCE for B9 Pty Ltd as Trustee for Beveridge 9 Family Trust

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SHEET INFORMATION

DETAILS SCALE: AS PER DWG

CONSTRUCTION

REVISION:	E
JOB NUMBER:	6059
DATE:	26/10/2018

N

SHEET NUMBER: 7 of 14

GENERAL DETAIL NOTES

STEPDOWNS TO COMPLY WITH (NATIONAL CONSTRUCTION CODE, VOL. 2, PART 3.1.2).

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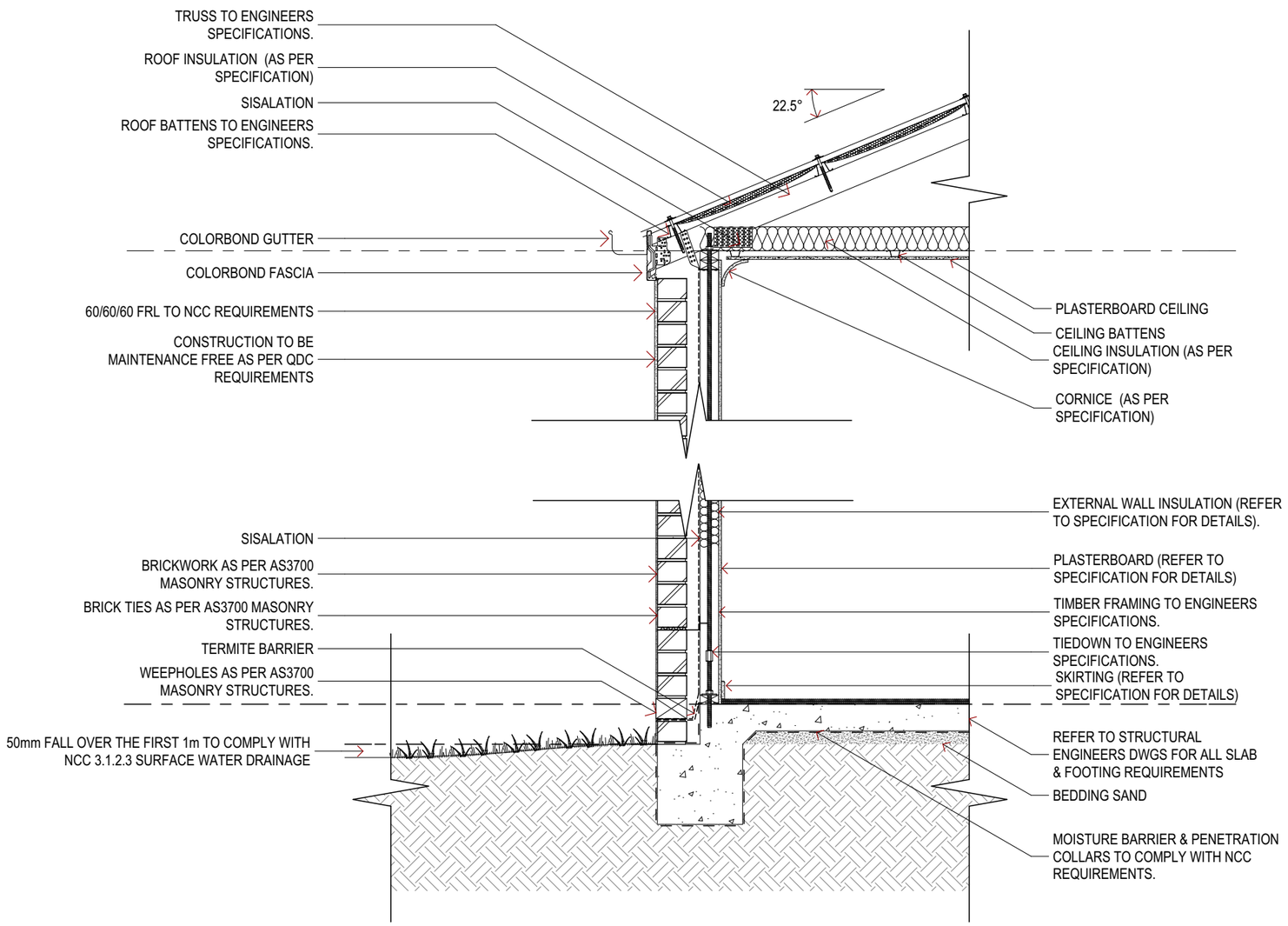

Detail 2

1:20

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PROJECT INFORMATION

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SHEET INFORMATION

DETAILS

CONSTRUCTION

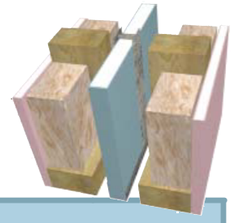
REVISION:	E
JOB NUMBER:	6059
DATE:	26/10/2018

N

SHEET NUMBER: 8 of 14

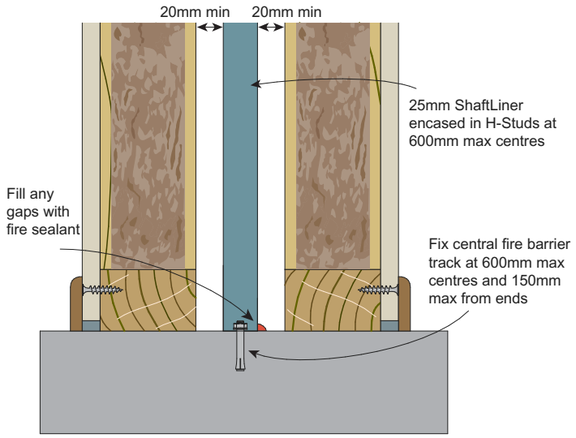
KIH6

WALL LINING: [Both sides] 1 layer of 13mm Fire Shield or TruRock
FRAME: Double timber studs at maximum 600mm centres
Minimum 20mm air gap to central fi re barrier
INSULATION: Insulation required in both cavities
CENTRAL FIRE BARRIER: 1 layer of 25mm ShaftLiner encased in InterHome H-Stud at 600mm max centres
[16mm Fire Shield laminated to one side of central fi re barrier at sub-fl oor area, fl oor junctions and roof cavity]



FRL 60/60/60 rated from both sides Fire Report FAR 3131	Stud Size (mm)	Cavity Size (mm)	Wall Width (mm)	Acoustics Rw (Rw + Ctr)					
				2 x R2.0 EarthWool	2 x R2.0 HD EarthWool	2 x R2.5 EarthWool	2 x R2.0 Polyester	2 x R2.0 Insulco Polycoustic Polyester	Acoustic Report Day Design 3094-42
	70	90	231	63 (49)^	65 (50)	65 (50)	62 (48)^	64 (50)	Note: Impact Sound Resistant – Discontinuous Construction
	70* or 90	110	271	64 (50)	66 (51)	66 (51)	63 (50)	65 (52)	

KNAUF WALL SYSYEM



KNAUF WALL BASE DETAIL

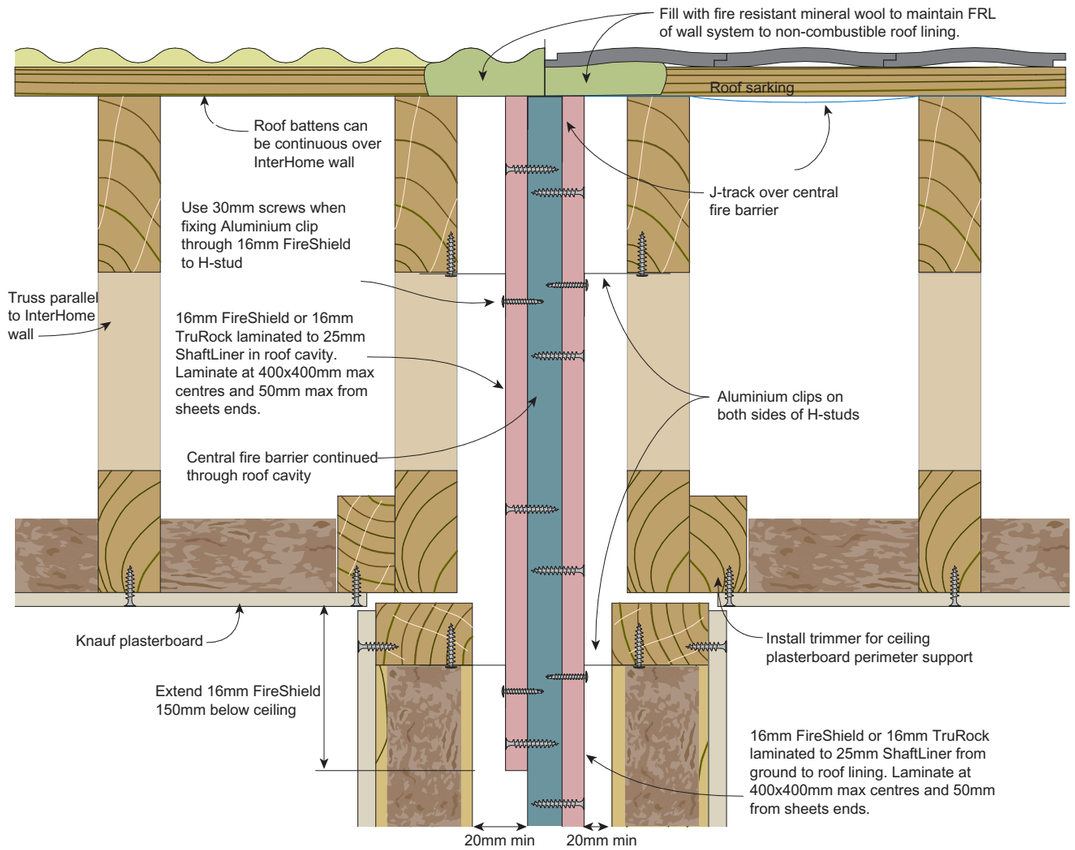


FIGURE 54 InterHome wall with parallel roof trusses

KNAUF ROOF DETAIL

GENERAL DETAIL NOTES

STEPDOWNS TO COMPLY WITH (NATIONAL CONSTRUCTION CODE, VOL. 2, PART 3.1.2).

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FRAME - 70mm INTERNAL UNO
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DETAILS

CONSTRUCTION

REVISION:	E
JOB NUMBER:	6059
DATE:	26/10/2018

SHEET NUMBER: 9 of 14

GENERAL ELECTRICAL NOTES

ALL POWER OUTLETS OTHER THAN THE FOLLOWING TO BE 300 ABOVE FL (UNO)

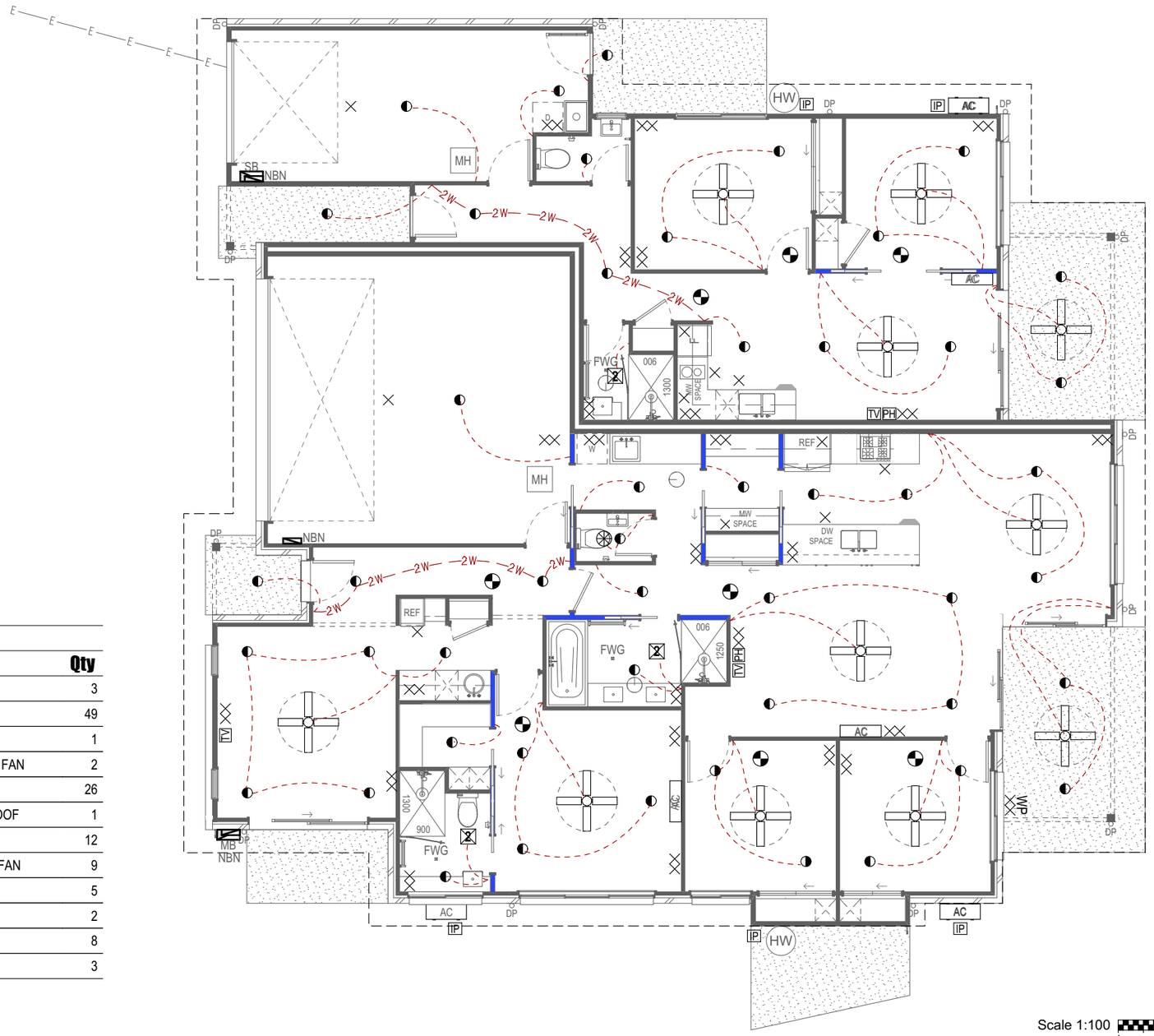
KITCHEN BENCH	1000
RANGE HOOD (RH)	1800
MICROWAVE (MW)	1800
REFRIGERATOR (REF)	1500
DISWASHER (DW)	600
WASHING MACHINE (WM)	1500
LAUNDRY BENCH	1000
VANITIES	1000

LIGHT SWITCHES AT 1300 ABOVE FL
WALL MOUNTED LIGHTS (WHERE APPLICABLE) AT 2000 ABOVE FL

HOT WATER UNIT, HOTPLATES & OVEN TO HAVE A SINGLE PHASE PERMANENT CONNECTION & AN ISOLATOR

ENERGY EFFICIENT LIGHTING
ALL LIGHTING TO COMPLY WITH QDC PART 29 COMPLIANCE REQUIRES MIN 80% OF TOTAL FLOOR AREA TO HAVE ENERGY EFFICIENT LIGHTING IT IS THE OWNER'S RESPONIBILITY TO CONFIRM THAT THEIR LIGHTING SELECTIONS COMPLY WITH THIS REQUIREMENT

ALL SMOKE ALARMS ARE TO BE, INTERCONNECTED, HARD WIRED WITH BATTERY BACKUP IN ACCORDANCE WITH PART 3.7.2 SMOKE ALARMS, NCC VOL2 AND AS3786, SMOKE ALARMS.



Scale 1:100 1 0 1 2 3 4 5m

Electrical

2D Symbol	Description	Qty
2	2 WAY TASTIC	3
	DOWNLIGHT 240v	49
	EXHAUST FAN	1
	EXTERNAL 4 BLADE CEILING FAN	2
	GPO DOUBLE	26
WP	GPO DOUBLE WEATHER PROOF	1
	GPO SINGLE	12
	INTERNAL 4 BLADE CEILING FAN	9
IP	ISOLATION POINT	5
PH	PH POINT	2
	SMOKE DETECTOR	8
TV	TV POINT	3

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LAMPER CONSTRUCTIONS

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REVISION SCHEDULE:

B	Plan Amendments	DC	10.07.18
C	Plan Amendments	DC	13.07.18
D	Plan Amendments	DC	14.08.18
E	Cladding Amendments	DC	29.08.18

PROJECT INFORMATION

PROPOSED RESIDENCE for B9 Pty Ltd as Trustee for Beveridge 9 Family Trust

Lot 2 Sahara Road, Glasshouse

REAL PROPERTY DESC.

LOT NUMBER:	2
PLAN NO.:	RP135994
PARISH:	Beerwah
COUNTY:	Canning
SITE AREA:	794m²
LOCAL AUTHORITY:	Sunshine Coast Regional

SHEET INFORMATION

ELECTRICAL PLAN

CONSTRUCTION

REVISION:	E
JOB NUMBER:	6059
DATE:	26/10/2018

SHEET NUMBER: 10 of 14

GENERAL SLAB PLAN NOTES

ALL MEASUREMENTS
TO EXTERNAL WALL
SOLID LINE
SHOWS PERIMETER OF SLAB

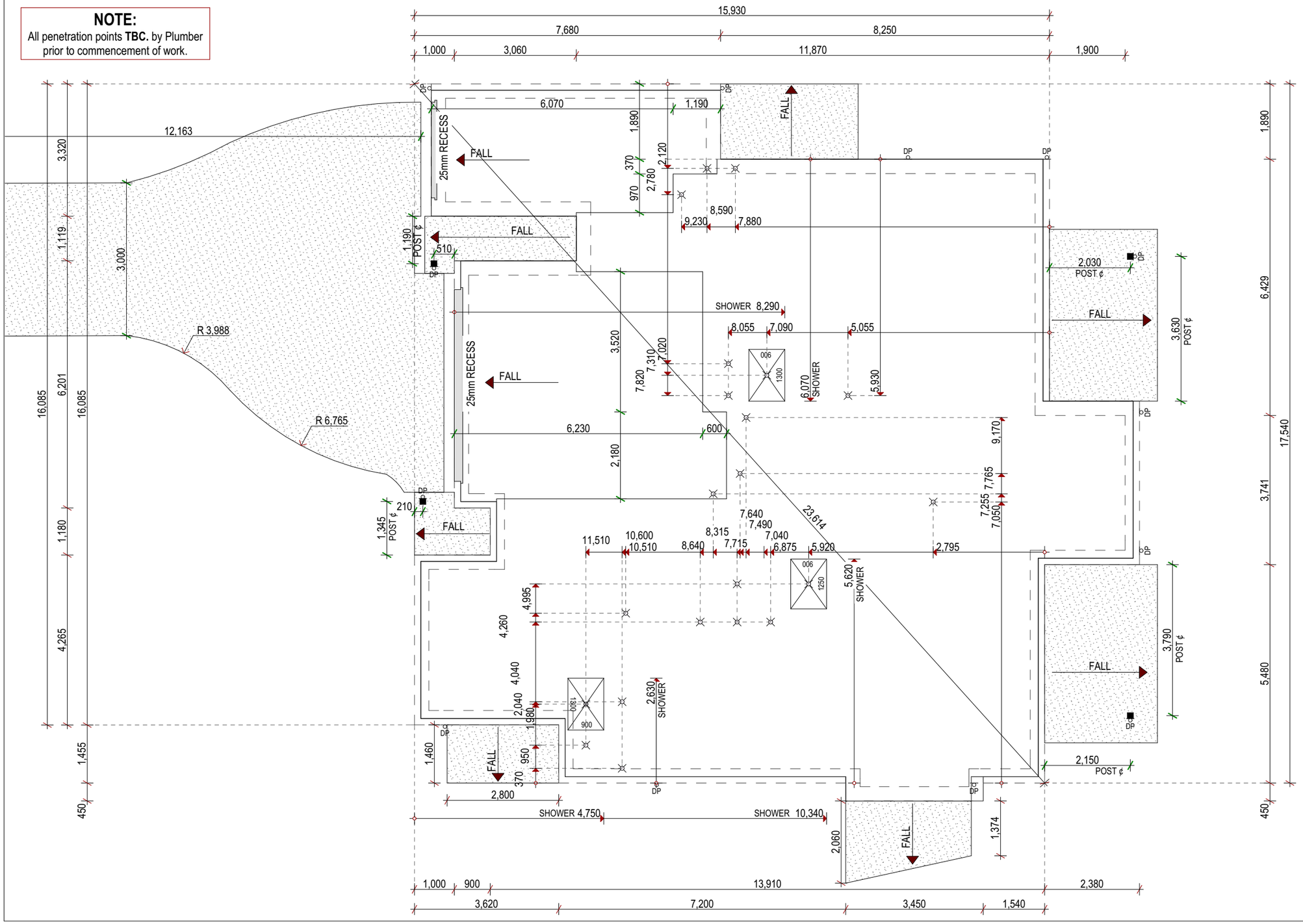
CONCRETE LEGEND

- PLAIN CONCRETE
- EXPOSED AGGREGATE CONCRETE
- EXTERNAL FLOOR TILES
- TIMBER OVER PLAIN CONCRETE SLAB

NOTE:
All penetration points **TBC.** by Plumber prior to commencement of work.

EXTERNAL CONCRETE SCHEDULE

TYPE	FUNCTION	PERIMETER	AREA (m2)
Plain Concrete	AC Slab	3.80	0.78
Plain Concrete	Porch Unit 1	6.95	2.62
Plain Concrete	Courtyard Unit 1	8.52	4.07
Plain Concrete	Drying Court Unit 1	9.81	5.41
Plain Concrete	Porch Unit 2	10.47	4.48
Plain Concrete	Path Unit 2	10.68	6.52
Plain Concrete	Alfresco Unit 2	14.04	11.66
Plain Concrete	Alfresco Unit 1	14.60	12.62
Plain Concrete	Driveway	42.38	74.29
			122.45 m²



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SHEET INFORMATION

SLAB PLAN

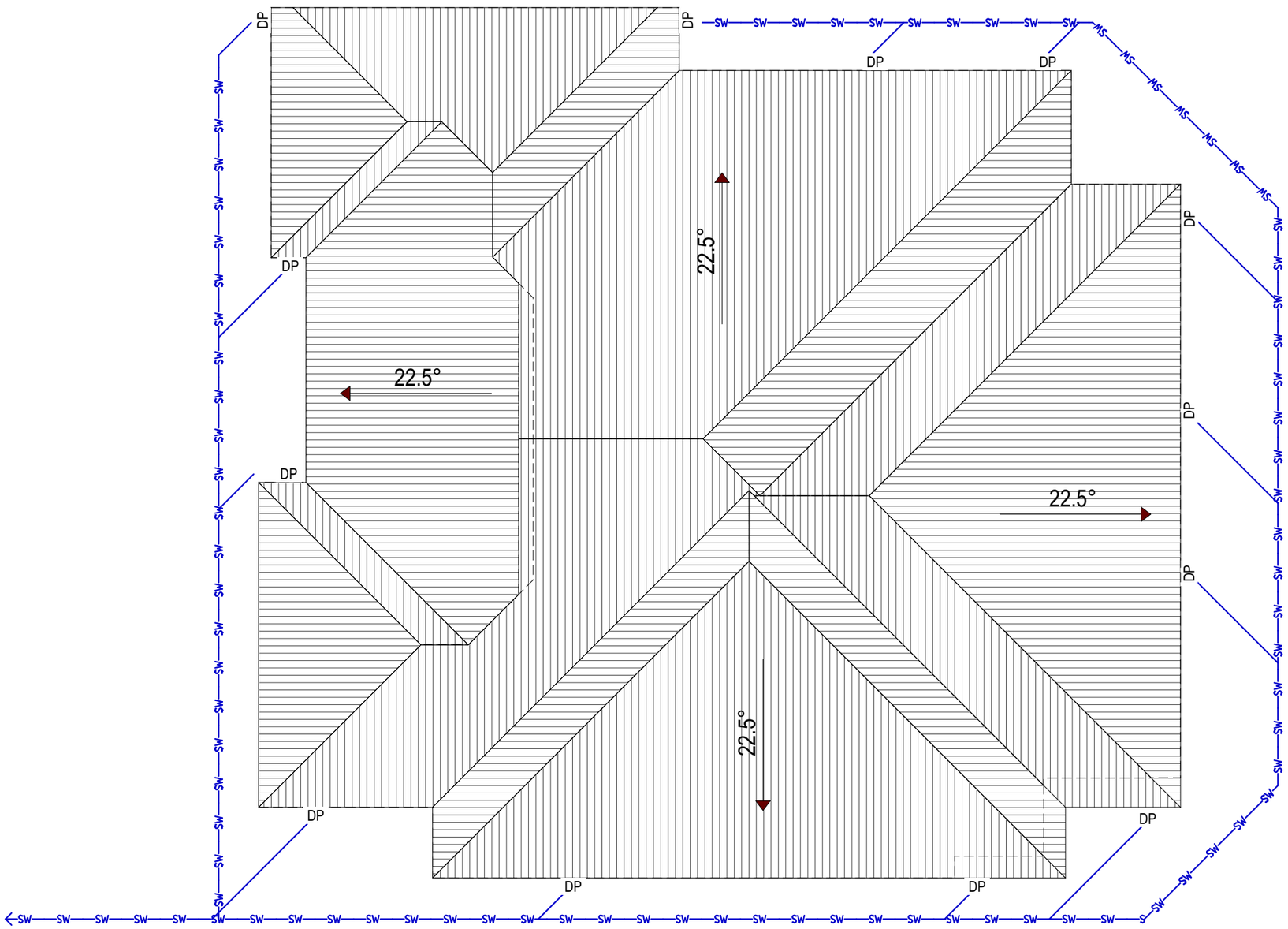
CONSTRUCTION

REVISION:	E
JOB NUMBER:	6059
DATE:	26/10/2018

SHEET NUMBER: **11 of 14**

GENERAL ROOF NOTES

STORMWATER PIPES SHALL BE CONNECTED TO KERB AND CHANNEL BY USE OF A SUITABLE PVC ADAPTOR.



DOWNPIPES

LEVEL	ID	QTY
Ground - FFL	Downpipe	13

CATCHMENT AREA PER DOWNPIPE	23.77m²
ROOF	309m²
DOWNPIPES REQUIRED	13

Scale 1:100 1 0 1 2 3 4 5m

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SHEET INFORMATION

ROOF PLAN

CONSTRUCTION

REVISION:	E
JOB NUMBER:	6059
DATE:	26/10/2018

SHEET NUMBER: 12 of 14

GENERAL PERSPECTIVE NOTES

ALL ISOMETRIC, AXONOMETRIC DIMETRIC, TRIMETRIC PROJECTIONS AND PERSPECTIVE VIEWS ARE ADUMBRATIVE ONLY AND NOT FOR CONSTRUCTION. THEY DO NOT TAKE PRECEDENCE OVER DIMENSIONED CONSTRUCTION VIEWS. NOR DO THEY TAKE PRECEDENCE OVER ANY PRODUCTS THAT FORM PART OF THE BUILDERS SPECIFICATION AND CONTRACT.

ALL FIXTURES, FITTINGS, APPLIANCES AND EQUIPMENT SHOWN ARE SYMBOLIC REPRESENTATIONS ONLY.

THE BUILDERS SPECIFICATION TAKES PRECIDENCE OVER ANY AND ALL PLANS AND DETAILS.

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PROJECT INFORMATION

PROPOSED RESIDENCE for B9 Pty Ltd as Trustee for Beveridge 9 Family Trust

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SHEET INFORMATION

PERSPECTIVES

CONSTRUCTION

REVISION:	E
JOB NUMBER:	6059
DATE:	26/10/2018

N

SHEET NUMBER: 13 of 14

SAFE DESIGN NOTES

1. FALLS, SLIPS, TRIPS
a) WORKING AT HEIGHTS
DURING CONSTRUCTION
Wherever possible, components for this building should be prefabricated off-site or at ground level to minimise the risk of workers falling more than two metres. However, construction of this building will require workers to be working at heights where a fall in excess of two metres is possible and injury is likely to result from such a fall. The builder should provide a suitable barrier wherever a person is required to work in a situation where falling more than two metres is a possibility.
DURING OPERATION OR MAINTENANCE
For houses or other low-rise buildings where scaffolding is appropriate:
Cleaning and maintenance of windows, walls, roof or other components of this building will require persons to be situated where a fall from a height in excess of two metres is possible. Where this type of activity is required, scaffolding, ladders or trestles should be used in accordance with relevant codes of practice, regulations or legislation.
For buildings where scaffold, ladders, trestles are not appropriate:
Cleaning and maintenance of windows, walls, roof or other ocmp0oents of this building will require persons to be situated where a fall from a height in excess of two metres is possible. Where this type of activity is required, scaffolding, fall barriers or Personal Protective Equipment (PPE) should be used in accordance with relevant codes of practice, regulations or legislation.
ANCHORAGE POINTS
Anchorage points for portable scaffold or fall arrest devices have been included in the design for use by maintenance workers. Any persons engaged to work on the building after completion of construction work should be informed about the anchorage points.
b) SLIPPERY OR UNEVEN SURFACES
FLOOR FINISHES Specified
If finishes have been specified by designer, these have been selected to minimise the risk of floors and paved areas becoming slippery when wet or when walked on with wet shoes/feet. Any changes to the specified finish should be made in consultation with the designer or, if this is not practical, surfaces with an equivalent or better slip resistance should be chosen.
FLOOR FINISHES By Owner
If designer has not yet been involved in the selection of surface finishes, the owner is responsible for the selection of surface finishes in the pedestrian trafficable areas of this building. Surfaces should be selected in accordance with AS HB 197:1999 and AS/NZ 4586:2004.
STEPS, LOOSE OBJECTS AND UNEVEN SURFACES
Due to design restrictions for this building, steps and/or ramps are included in the building which may be a hazard to workers carrying objects or otherwise occupied. Steps should be clearly marked with both visual and tactile warning during construction, maintenance, demolition and at all times when the building operates as a workplace.
Building owners and occupiers should monitor the pedestrian access ways and in particular access to areas where maintenance is routinely carried out to ensure that surfaces have not moved or cracked so that they become uneven and present a trip hazard. Spills, loose material, stray objects or any other matter that may cause a slip or trip hazard should be cleaned or removed from access ways.
Contractors should be required to maintain a tidy work site during construction, maintenance or demolition to reduce the risk of trips and falls in the workplace. Materials for construction or maintenance should be stored in designated areas away from access ways and work areas.
2. FALLING OBJECTS
LOOSE MATERIALS OR SMALL OBJECTS
Construction, maintenance or demolition work on or around this building is likely to involve persons working above ground level or above floor levels. Where this occurs one or more of the following measures should be taken to avoid objects falling from the area where the work is being carried out onto persons below.
1. Prevent or restrict access to areas below where the work is being carried out.
2. Provide toeboards to scaffolding or work platforms.
3. Provide protective structure below the work areas.
4. Ensure that all persons below the work area have Personal Protective Equipment (PPE).
BUILDING COMPONENTS
During construction, renovation or demolition of this building, parts of the structure including fabricated steelwork, heavy panels and many other components will remain standing prior to or after supporting parts are in place. Contractors should ensure that temporary bracing or other required support is in place at all times when collapse which may injure persons in the area is a possibility.
Mechanical lifting of materials and components during construction, maintenance or demolition presents a risk of falling objects. Contractors should ensure that appropriate lifting devices are used, that loads are properly secured and that access to areas below the load is prevented or restricted.

3. TRAFFIC MANAGEMENT
For building on a major road, narrow road or steeply sloping road:
Parking of vehicles or loading/unloading of vehicles on this roadway may cause a traffic hazard. During construction, maintenance or demolition of this building designated parking for workers and loading areas should be provided. Trained traffic management personnel should be responsible for the supervision of these areas.
For building where on-site loading/unloading is restricted:
Construction of this building will require loading and unloading of materials on the roadway. Deliveries should be well planned to avoid congestion of loading areas and trained traffic management personnel should be used to supervise loading/unloading areas.
For all buildings:
Busy construction and demolition sites present a risk of collision where deliveries and other traffic are moving within the site. A traffic management plan supervised by trained traffic management personnel should be adopted for the work site.
4. SERVICES
GENERAL
Rupture of services during excavation or other activity creates a variety of risks including release of hazardous material. Existing services are located on or around this site. Where known, these are identified on the plans but the exact location and extent of services may vary from that indicated. Services should be located using an appropriate service (such as Dial Before You Dig), appropriate excavation practice should be used and, where necessary, specialist contractors should be sued.
Locations with underground power:
Underground power lines MAY be located in or around this site . All underground power lines must be disconnected or carefully located and adequate warnings signs used prior to any construc5tion, maintenance or demolition commencing.
Locations with overhead power lines:
Overhead power lines MAY be near or on this site . These pose a risk of electrocution if struck or approached by lifting devices or other plant and persons working above ground level. Where there is a danger of this occurring, power lines should be, where practical, disconnected or relocated. Where this is not practical adequate warning in the form of bright coloured tape or signage should be used or a protective barrier provided.
5. MANUAL TASKS
Components within this design with a mass in excess of 25kg should be lifted by two or more workers or by mechanical lifting device. Where this is not practical, suppliers or fabricators should be required to limit the component mass.
All material packaging, building and maintenance components should clearly show the total mass of packages and where practical all items should be stored on site in a way which minimises bending before lifting. Advice should be provided on safe lifting methods in all areas where lifting may occur.
Construction, maintenance and demolition of this building will require the use of portable tools and equipment. These should be fully maintained in accordance with manufacturer's specifications and not used where faulty or (in the case of electrical equipment) not carrying a current electrical safety tag. All safety guards or devices should be regularly checked and Personal Protective Equipment should be used in accordance with manufacturer's specification.
6. HAZARDOUS SUBSTANCES
ASBESTOS
For alterations to a building constructed prior to 1990:
If this existing building was constructed prior to:
1990 - it therefore may contain asbestos
1986 - it therefore is likely to contain asbestos
either in cladding material or in fire retardant insulation material. In either case the builder should check and, if necessary, take appropriate action before demolishing, cutting, sanding, drilling or otherwise disturbing the existing structure.
POWDERED MATERIALS
Many materials used in the construction of this building can cause harm if inhaled in powered form. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation while using powdered material or when sanding, drilling, cutting or otherwise disturbing or creating powdered material.
TREATED TIMBER
The design of this building may include provision for the inclusion of treated timber within the structure. Dust or fumes from this material can be harmful. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation of harmful material when sanding, drilling, cutting or using treated timber in any way that may cause harmful material to be released. Do not burn treated timber.

VOLATILE ORGANIC COMPOUNDS
Many types of glue, solvents, spray packs, paints, varnishes and some cleaning materials and disinfectants have dangerous emissions. Areas where these are used should be kept well ventilated while the material is being used and for a period after installation. Personal Protective Equipment may also be required. The manufacturer's recommendations for use must be carefully considered at all times.
SYNTHETIC MINERAL FIBRE
Fibreglass, rockwool, ceramic and other material used for thermal or sound insulation may contain synthetic mineral fibre which may be harmful if inhaled or if it comes in contact with the skin, eyes or other sensitive parts of the body. Personal Protective Equipment including protection against inhalation of harmful materials should be used when installing, removing or working near bulk insulation material.
TIMBER FLOORS
This building may contain timber floors which have an applied finish. Areas where finishes are applied should be kept well ventilated during sanding and application and for a period after installation. Personal Protective Equipment may also be required. The manufacturer's recommendations for use must be carefully considered at all times.
7. CONFINED SPACES
EXCAVATION
Construction of this building and some maintenance on the building will require excavation and installation of items within excavations. Where practical, installation should be carried out using methods which do not require workers to enter the excavation. Where this is not practical, adequate support for the excavated areas should be provided to prevent collapse. Warning signs and barriers to prevent accidental or unauthorised access to all excavations should be provided.
ENCLOSED SPACES
For buildings with enclosed spaces where maintenance or other access may be required:
Enclosed spaces within this building may present a risk to persons entering for construction, maintenance or any other purpose. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter enclosed spaces, air testing equipment and Personal Protective Equipment should be provided.
SMALL SPACES
For buildings with small spaces where maintenance or other access may be required:
Some small spaces within this building will require access by construction or maintenance workers. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter small spaces they should be scheduled so that access is for short periods. Manual lifting and other manual activity should be restricted in small spaces.
8. PUBLIC ACCESS
Public access to construction and demolition sites and to areas under maintenance causes risk to workers and public. Warning signs and secure barriers to unauthorised access should be provided. Where electrical installations, excavations, plant or loose materials are present they should be secured when not fully supervised.
9. OPERATIONAL USE OF BUILDING
RESIDENTIAL BUILDINGS
This building has been designed as a residential building. If it, at a later date, is used or intended to be used a workplace, the provisions of the Work Health and Safety Act 2011 or subsequent replacement Act should be applied to the new use.
10. OTHER HIGH RISK ACTIVITY
All electrical work should be carried out in accordance with Code of Practice: Managing Electrical Risks at the Workplace, AS/NZ 3012 and all licensing requirements.
All work using Plant should be carried out in accordance with Code of Practice: Managing Risks of Plant at the Workplace.
All work should be carried out in accordance with Code of Practice: Managing Noise and Preventing Hearing Loss at Work.
Due to the history of serious incidents it is recommended that particular care be exercised when undertaking work involving steel construction and concrete placement. All the above applies.

THESE NOTES MUST BE READ AND UNDERSTOOD BY ALL INVOLVED IN THE PROJECT
THIS INCLUDES (but is not excluded to):OWNER, BUILDER, SUB-CONTRACTORS,CONSULTANTS, RENOVATORS, OPERATORS,MAINTENORS and DEMOLISHERS.

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REVISION:	E
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SHEET NUMBER:	14 of 14

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