

Vendor Statement

The vendor makes this statement in respect of the land in accordance with section 32 of the *Sale of Land Act* 1962.

This statement must be signed by the vendor and given to the purchaser before the purchaser signs the contract.

The vendor may sign by electronic signature.

The purchaser acknowledges being given this statement signed by the vendor with the attached documents before the purchaser signed any contract.

Land		
Vendor's name	Eduardo Molinaro (formerly Eddie Molinaro)	Date
Vendor's signature		/ /
Vendor's name	Rosemary Bonaddio	Date
Vendor's signature		/ /
Vendor's name	Roberto Molinaro	Date
Vendor's signature		/ /
Purchaser's name		Date
Purchaser's signature		/ /
Purchaser's name		Date
Purchaser's signature		/ /

1. FINANCIAL MATTERS

1.1 Particulars of any Rates, Taxes, Charges or Other Similar Outgoings (and any interest on them)

(a) ☒ Their total does not exceed: \$5,000.00

1.2 Particulars of any Charge (whether registered or not) imposed by or under any Act to secure an amount due under that Act, including the amount owing under the charge

\$0.00	To	
Other particulars (including dates and times of payments):		

1.3 Terms Contract

This section 1.3 only applies if this vendor statement is in respect of a terms contract where the purchaser is obliged to make 2 or more payments (other than a deposit or final payment) to the vendor after the execution of the contract and before the purchaser is entitled to a conveyance or transfer of the land.

Not Applicable

1.4 Sale Subject to Mortgage

This section 1.4 only applies if this vendor statement is in respect of a contract which provides that any mortgage (whether registered or unregistered), is NOT to be discharged before the purchaser becomes entitled to possession or receipts of rents and profits.

Not Applicable

1.5 Commercial and Industrial Property Tax Reform Act 2024 (Vic) (CIPT Act)

(a) The Australian Valuation Property Classification Code (within the meaning of the CIPT Act) most recently allocated to the land is set out in the attached Municipal rates notice or property clearance certificate or is as follows	AVPC No.
(b) Is the land tax reform scheme land within the meaning of the CIPT Act?	☐ YES ☒ NO
(c) If the land is tax reform scheme land within the meaning of the CIPT Act, the entry date within the meaning of the CIPT Act is set out in the attached Municipal rates notice or property clearance certificate or is as follows	Date: OR ☒ Not applicable

2. INSURANCE

2.1 Damage and Destruction

This section 2.1 only applies if this vendor statement is in respect of a contract which does NOT provide for the land to remain at the risk of the vendor until the purchaser becomes entitled to possession or receipt of rents and profits.

Not Applicable

2.2 Owner Builder

This section 2.2 only applies where there is a residence on the land that was constructed by an owner-builder within the preceding 6 years and section 137B of the Building Act 1993 applies to the residence.

Not Applicable

3. LAND USE

3.1 Easements, Covenants or Other Similar Restrictions

(a) A description of any easement, covenant or other similar restriction affecting the land (whether registered or unregistered):

☒ Is in the attached copies of title document/s

(b) Particulars of any existing failure to comply with that easement, covenant or other similar restriction are:

To the best of the Vendor's knowledge there is no existing failure to comply with the terms of any easements, covenants or other similar restriction.

3.2 Road Access

There is NO access to the property by road if the square box is marked with an 'X'

☐

3.3 Designated Bushfire Prone Area

The land is in a designated bushfire prone area within the meaning of section 192A of the *Building Act* 1993 if the square box is marked with an 'X'

☐

3.4 Planning Scheme

☒ Attached is a certificate with the required specified information.

4. NOTICES

4.1 Notice, Order, Declaration, Report or Recommendation

Particulars of any notice, order, declaration, report or recommendation of a public authority or government department or approved proposal directly and currently affecting the land, being a notice, order, declaration, report, recommendation or approved proposal of which the vendor might reasonably be expected to have knowledge:

Not Applicable

4.2 Agricultural Chemicals

There are NO notices, property management plans, reports or orders in respect of the land issued by a government department or public authority in relation to livestock disease or contamination by agricultural chemicals affecting the ongoing use of the land for agricultural purposes. However, if this is not the case, the details of any such notices, property management plans, reports or orders, are as follows:

NIL

4.3 Compulsory Acquisition

The particulars of any notices of intention to acquire that have been served under section 6 of the *Land Acquisition and Compensation Act* 1986 are as follows:

NIL

5. BUILDING PERMITS

Particulars of any building permit issued under the *Building Act* 1993 in the preceding 7 years (required only where there is a residence on the land):

Not Applicable

6. OWNERS CORPORATION

This section 6 only applies if the land is affected by an owners corporation within the meaning of the *Owners Corporations Act* 2006.

Not Applicable

7. GROWTH AREAS INFRASTRUCTURE CONTRIBUTION ("GAIC")

Words and expressions in this section 7 have the same meaning as in Part 9B of the *Planning and Environment Act* 1987.

Not Applicable

8. SERVICES

The services which are marked with an 'X' in the accompanying square box are NOT connected to the land:

Electricity supply ☐	Gas supply ☐	Water supply ☐	Sewerage ☐	Telephone services ☐
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9. TITLE

Attached are copies of the following documents:

9.1 ☒ (a) Registered Title

A Register Search Statement and the document, or part of a document, referred to as the 'diagram location' in that statement which identifies the land and its location.

10. SUBDIVISION

10.1 Unregistered Subdivision

This section 10.1 only applies if the land is subject to a subdivision which is not registered.

Not Applicable

10.2 Staged Subdivision

This section 10.2 only applies if the land is part of a staged subdivision within the meaning of section 37 of the *Subdivision Act 1988*.

- (a) Attached is a copy of the plan for the first stage if the land is in the second or subsequent stage.
- (b) The requirements in a statement of compliance relating to the stage in which the land is included that have Not been complied With are As follows:

NIL

- (c) The proposals relating to subsequent stages that are known to the vendor are as follows:

NIL

- (d) The contents of any permit under the Planning and Environment Act 1987 authorising the staged subdivision are:

NIL

10.3 Further Plan of Subdivision

This section 10.3 only applies if the land is subject to a subdivision in respect of which a further plan within the meaning of the *Subdivision Act 1988* is proposed.

Not Applicable

11. DISCLOSURE OF ENERGY INFORMATION

(Disclosure of this information is not required under section 32 of the Sale of Land Act 1962 but may be included in this vendor statement for convenience.)

Details of any energy efficiency information required to be disclosed regarding a disclosure affected building or disclosure area affected area of a building as defined by the *Building Energy Efficiency Disclosure Act 2010* (Cth)

- (a) to be a building or part of a building used or capable of being used as an office for administrative, clerical, professional or similar based activities including any support facilities; and
- (b) which has a net lettable area of at least 1000m²; (but does not include a building under a strata title system or if an occupancy permit was issued less than 2 years before the relevant date):

Not Applicable

12. DUE DILIGENCE CHECKLIST

(The Sale of Land Act 1962 provides that the vendor or the vendor's licensed estate agent must make a prescribed due diligence checklist available to purchasers before offering land for sale that is vacant residential land or land on which there is a residence. The due diligence checklist is NOT required to be provided with, or attached to, this vendor statement but the checklist may be attached as a matter of convenience.)

Is attached

13. ATTACHMENTS

(Any certificates, documents and other attachments may be annexed to this section 13)

(Additional information may be added to this section 13 where there is insufficient space in any of the earlier sections)

(Attached is an "Additional Vendor Statement" if section 1.3 (Terms Contract) or section 1.4 (Sale Subject to Mortgage) applies)

Due diligence checklist

What you need to know before buying a residential property

Before you buy a home, you should be aware of a range of issues that may affect that property and impose restrictions or obligations on you, if you buy it. This checklist aims to help you identify whether any of these issues will affect you. The questions are a starting point only and you may need to seek professional advice to answer some of them. You can find links to organisations and web pages that can help you learn more, by visiting the [Due diligence checklist page on the Consumer Affairs Victoria website](http://consumer.vic.gov.au/duediligencechecklist) (consumer.vic.gov.au/duediligencechecklist).

Urban living

Moving to the inner city?

High density areas are attractive for their entertainment and service areas, but these activities create increased traffic as well as noise and odours from businesses and people. Familiarising yourself with the character of the area will give you a balanced understanding of what to expect.

Is the property subject to an owners corporation?

If the property is part of a subdivision with common property such as driveways or grounds, it may be subject to an owners corporation. You may be required to pay fees and follow rules that restrict what you can do on your property, such as a ban on pet ownership.

Growth areas

Are you moving to a growth area?

You should investigate whether you will be required to pay a growth areas infrastructure contribution.

Flood and fire risk

Does this property experience flooding or bushfire?

Properties are sometimes subject to the risk of fire and flooding due to their location. You should properly investigate these risks and consider their implications for land management, buildings and insurance premiums.

Rural properties

Moving to the country?

If you are looking at property in a rural zone, consider:

- Is the surrounding land use compatible with your lifestyle expectations? Farming can create noise or odour that may be at odds with your expectations of a rural lifestyle.
- Are you considering removing native vegetation? There are regulations which affect your ability to remove native vegetation on private property.
- Do you understand your obligations to manage weeds and pest animals?

Can you build new dwellings?

Does the property adjoin crown land, have a water frontage, contain a disused government road, or are there any crown licences associated with the land?

Is there any earth resource activity such as mining in the area?

You may wish to find out more about exploration, mining and quarrying activity on or near the property and consider the issue of petroleum, geothermal and greenhouse gas sequestration permits, leases and licences, extractive industry authorisations and mineral licences.

Soil and groundwater contamination

Has previous land use affected the soil or groundwater?

You should consider whether past activities, including the use of adjacent land, may have caused contamination at the site and whether this may prevent you from doing certain things to or on the land in the future.

(04/10/2016)

Land boundaries

Do you know the exact boundary of the property?

You should compare the measurements shown on the title document with actual fences and buildings on the property, to make sure the boundaries match. If you have concerns about this, you can speak to your lawyer or conveyancer, or commission a site survey to establish property boundaries.

Planning controls

Can you change how the property is used, or the buildings on it?

All land is subject to a planning scheme, run by the local council. How the property is zoned and any overlays that may apply, will determine how the land can be used. This may restrict such things as whether you can build on vacant land or how you can alter or develop the land and its buildings over time.

The local council can give you advice about the planning scheme, as well as details of any other restrictions that may apply, such as design guidelines or bushfire safety design. There may also be restrictions – known as encumbrances – on the property's title, which prevent you from developing the property. You can find out about encumbrances by looking at the section 32 statement.

Are there any proposed or granted planning permits?

The local council can advise you if there are any proposed or issued planning permits for any properties close by. Significant developments in your area may change the local 'character' (predominant style of the area) and may increase noise or traffic near the property.

Safety

Is the building safe to live in?

Building laws are in place to ensure building safety. Professional building inspections can help you assess the property for electrical safety, possible illegal building work, adequate pool or spa fencing and the presence of asbestos, termites, or other potential hazards.

Building permits

Have any buildings or retaining walls on the property been altered, or do you plan to alter them?

There are laws and regulations about how buildings and retaining walls are constructed, which you may wish to investigate to ensure any completed or proposed building work is approved. The local council may be able to give you information about any building permits issued for recent building works done to the property, and what you must do to plan new work. You can also commission a private building surveyor's assessment.

Are any recent building or renovation works covered by insurance?

Ask the vendor if there is any owner-builder insurance or builder's warranty to cover defects in the work done to the property.

Utilities and essential services

Does the property have working connections for water, sewerage, electricity, gas, telephone and internet?

Unconnected services may not be available, or may incur a fee to connect. You may also need to choose from a range of suppliers for these services. This may be particularly important in rural areas where some services are not available.

Buyers' rights

Do you know your rights when buying a property?

The contract of sale and section 32 statement contain important information about the property, so you should request to see these and read them thoroughly. Many people engage a lawyer or conveyancer to help them understand the contracts and ensure the sale goes through correctly. If you intend to hire a professional, you should consider speaking to them before you commit to the sale. There are also important rules about the way private sales and auctions are conducted. These may include a cooling-off period and specific rights associated with 'off the plan' sales. The important thing to remember is that, as the buyer, you have rights.

REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

Page 1 of 1

VOLUME 08790 FOLIO 722

Security no : 124124749732T
Produced 25/05/2025 04:57 PM

LAND DESCRIPTION

Lot 628 on Plan of Subdivision 011273.
PARENT TITLE Volume 05589 Folio 625
Created by instrument D335134 11/03/1969

REGISTERED PROPRIETOR

Estate Fee Simple
TENANTS IN COMMON
As to 1 of a total of 5 equal undivided shares
Sole Proprietor
ROBERTO MOLINARO of 16 LEGH STREET RESERVOIR VIC 3073
As to 2 of a total of 5 equal undivided shares
Sole Proprietor
EDDIE MOLINARO of 100 O'CONNOR STREET RESERVOIR VIC 3073
As to 2 of a total of 5 equal undivided shares
Sole Proprietor
ROSEMARY BONADDIO of 25 GREIG STREET RESERVOIR VIC 3073
AF264961A 10/08/2007

ENCUMBRANCES, CAVEATS AND NOTICES

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan or imaged folio set out under DIAGRAM LOCATION below.

DIAGRAM LOCATION

SEE LP011273 FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 95 RYMER AVENUE SAFETY BEACH VIC 3936

DOCUMENT END

Imaged Document Cover Sheet

The document following this cover sheet is an imaged document supplied by LANDATA®, Secure Electronic Registries Victoria.

Document Type	Plan
Document Identification	LP011273
Number of Pages (excluding this cover sheet)	6
Document Assembled	25/05/2025 16:57

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PLAN OF SUBDIVISION OF PART OF JAMIESON'S SPECIAL SURVEY PARISH OF KANGERONG

COUNTY OF MORNINGTON
VOL 4139 FOL 696. VOL 4780 FOL 844. VOL 4996 FOL 135

Measurements are in Feet & Inches

Conversion Factor
FEET X 0.3048 = METRES

NOTATIONS

NOTE: THE DISTANCE FROM THE SPLAYED
CORNER TO THE INTERSECTION OF THE
STREET ALIGNMENTS IS 10 FEET

DRAINAGE RESERVE HATCHED
BLUE OVER GREEN IS EXCISED
VIDE A.O. IN LGD 2651 30/12/85

ROAD HATCHED RED OVER BROWN
HAS BEEN DISCONTINUED
VIDE A.O. IN LGD 2615

4 SHEETS
SHEET 1.

LP 11273

EDITION 9

PLAN MAY BE LODGED

27-1-26

COLOUR CODE

E-1 & E-6 = BLUE
R1, R2 & A-1 = BROWN
E-3 = GREEN
E-4 = HATCHED BLUE OVER GREEN
E-5 = HATCHED RED OVER BROWN

ENCUMBRANCES

AS TO THE LAND MARKED E-6, E-7 & E-9
ANY EASEMENTS AFFECTING
THE SAME

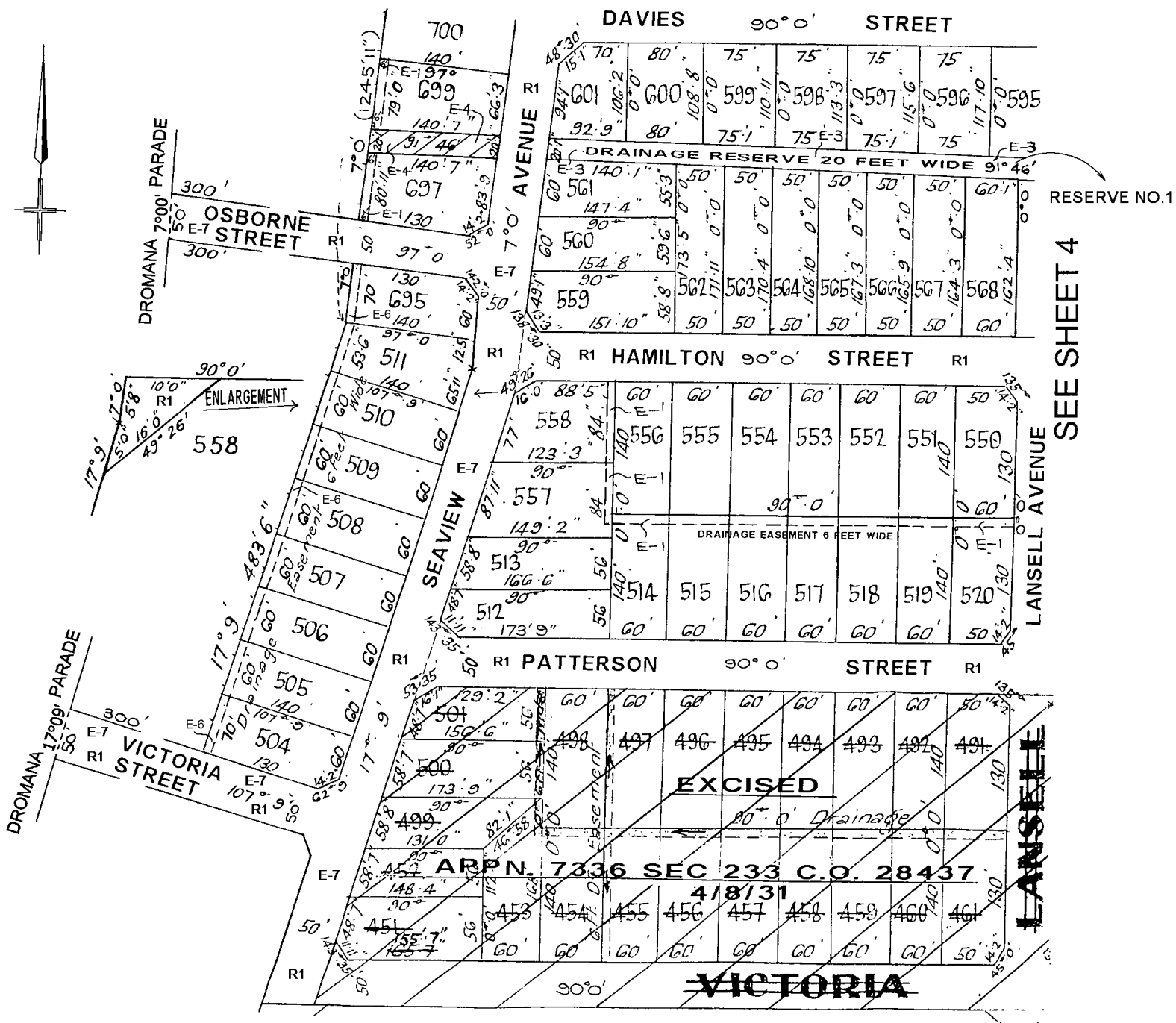
AS TO THE LAND MARKED E-8
THE RIGHT OF CARRIAGEWAY
CREATED BY INST. B713501

APPROPRIATIONS

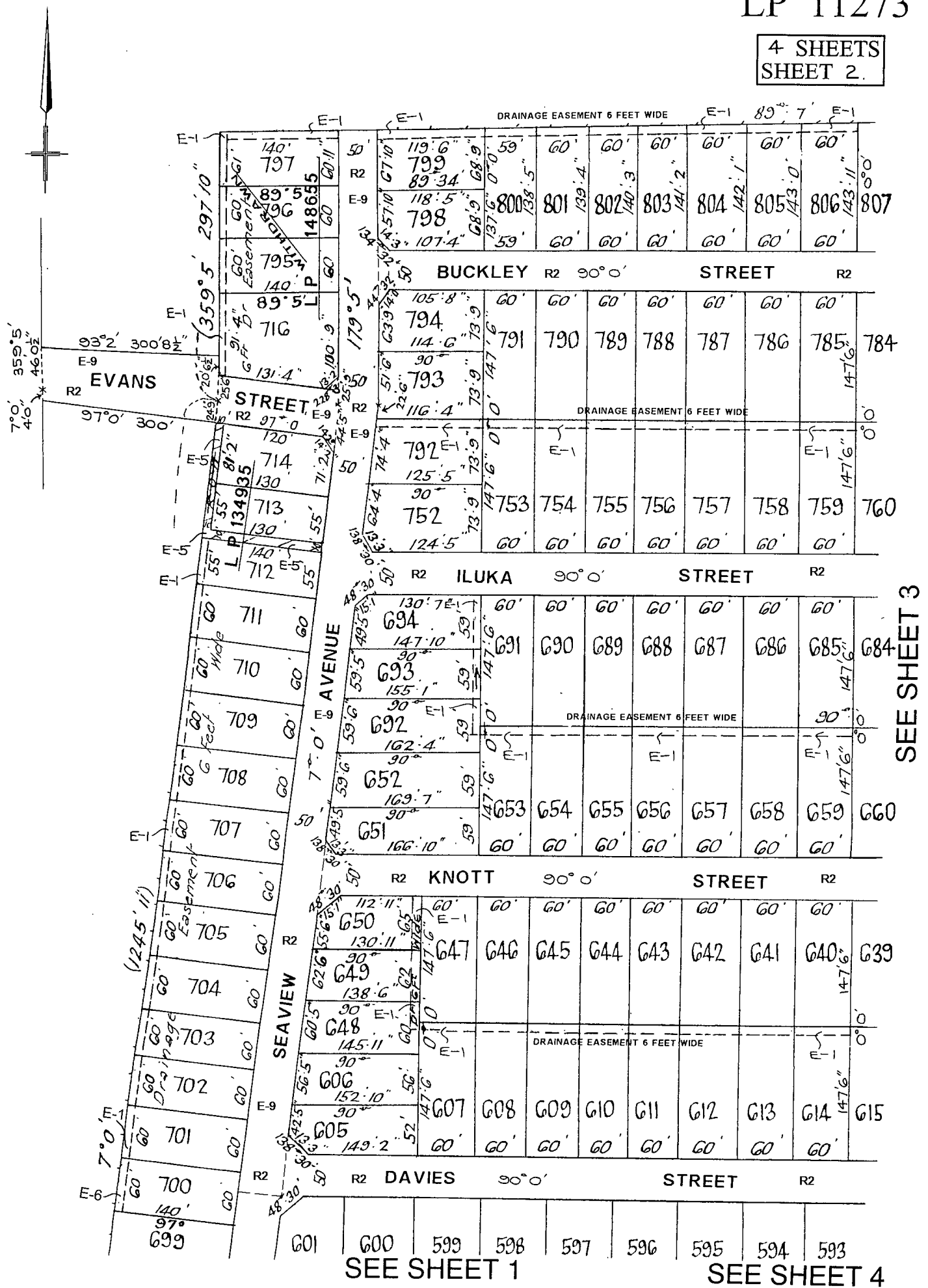
THE LAND COLOURED BLUE
IS APPROPRIATED OR SET
APART FOR EASEMENTS OF
DRAINAGE

ROADS COLOURED BROWN

SEE SHEET 2

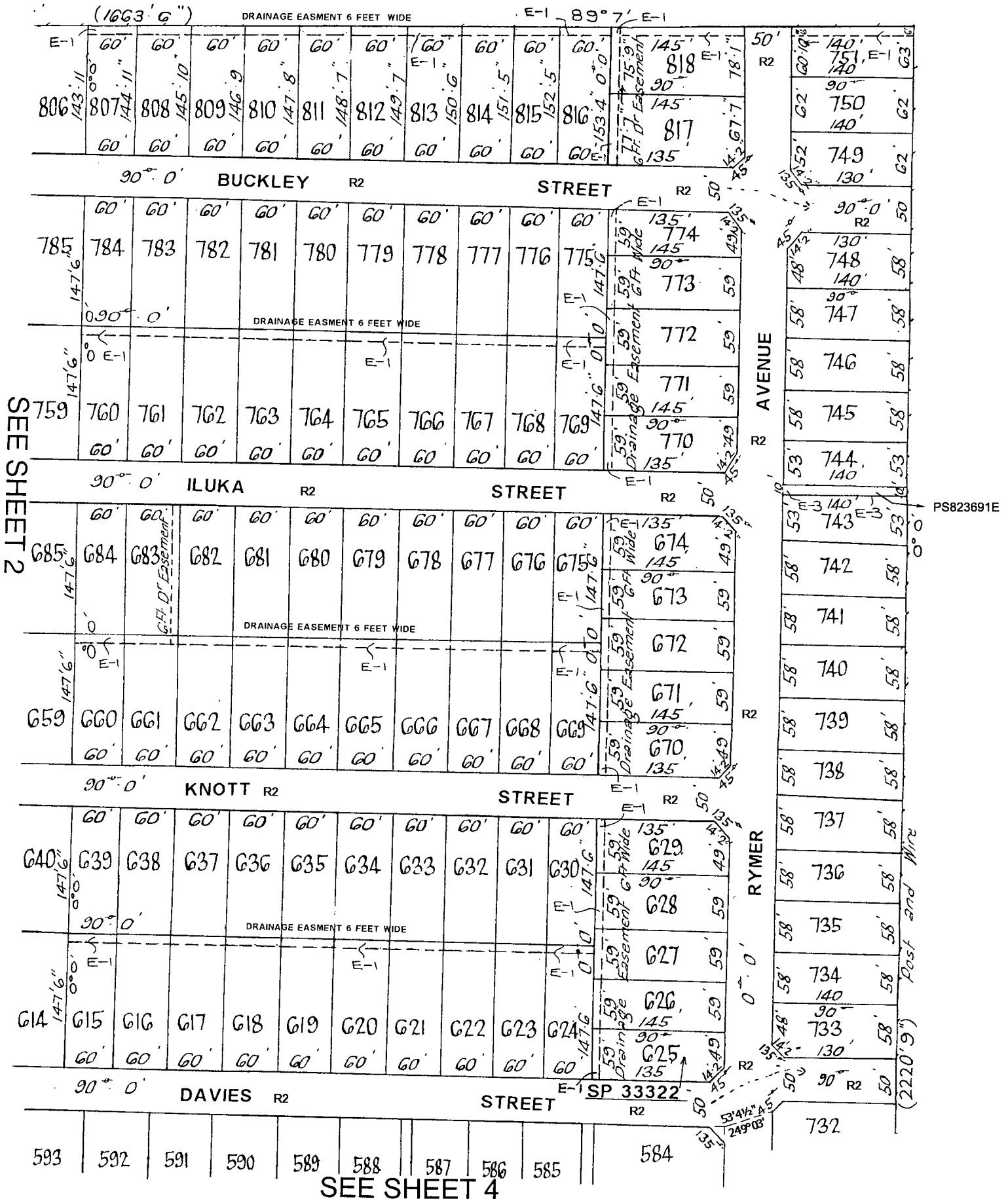


4 SHEETS
SHEET 2.



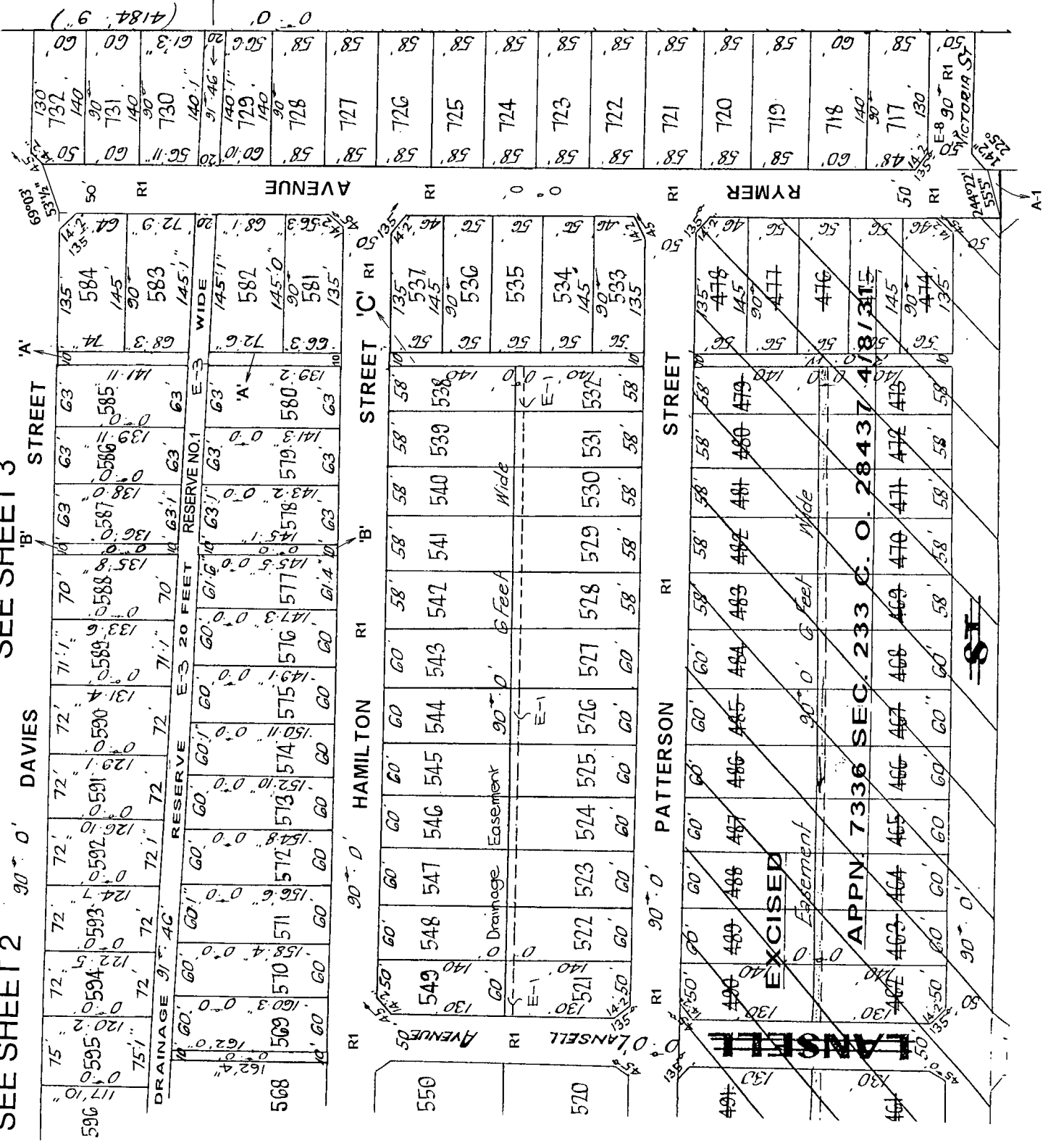
LP 11273

4 SHEETS
SHEET 3.



SEE SHEET 2 90' 0' DAVIES SEE SHEET 3
LP 11273
4 SHEETS
SHEET 4
TP908464G

SEE SHEET 1



MODIFICATIONS

RECORD OF ALL ADDITIONS OR CHANGES TO THE PLAN

PLAN NUMBER

LP11273

WARNING: THE IMAGE OF THIS PLAN/DOCUMENT HAS BEEN DIGITALLY AMENDED.
NO FURTHER AMENDMENTS ARE TO BE MADE TO THE ORIGINAL PLAN/DOCUMENT.

AFFECTED LAND/PARCEL	LAND/PARCEL IDENTIFIER CREATED	MODIFICATION	DEALING NUMBER	DATE	TIME	EDITION NUMBER	ASSISTANT REGISTRAR OF TITLES
ROAD		ROAD CLOSURE	AC116080Q			2	G.R.G.
THIS PLAN		STREET NAME AMENDED	G. 1982 P. 2369			2	MLB
THIS PLAN		STREET NAME AMENDED	G. 1967 P. 88			2	MLB
THIS PLAN	E-6	EASEMENTS ENHANCED				3	MLB
RESERVE NO. 2	TP908464G	ADVERSE POSSESSION	AP124339Q	22/08/07		4	GV
'A'		ROAD DISCONTINUANCE (TP896302U)	AF605448R	23/01/08		5	CN
'B'		ROAD DISCONTINUANCE (TP896308G)	AG465785P	22/04/09		6	R.H.
'C'		ROAD DISCONTINUANCE (TP943371Q)	AJ638757G	3/5/12		7	AF
RESERVE NO 3		REMOVAL OF RESERVE STATUS	PS823691E	06/09/2018		8	IRM

PLANNING PROPERTY REPORT



Department
of Transport
and Planning

From www.planning.vic.gov.au at 21 May 2025 03:44 PM

PROPERTY DETAILS

Address: **95 RYMER AVENUE SAFETY BEACH 3936**
Lot and Plan Number: **Lot 628 LP11273**
Standard Parcel Identifier (SPI): **628\LP11273**
Local Government Area (Council): **MORNINGTON PENINSULA**
Council Property Number: **31566**
Planning Scheme: **Mornington Peninsula**
Directory Reference: **Melway 150 F12**

www.mornpen.vic.gov.au

[Planning Scheme - Mornington Peninsula](#)

UTILITIES

Rural Water Corporation: **Southern Rural Water**
Melbourne Water Retailer: **South East Water**
Melbourne Water: **Inside drainage boundary**
Power Distributor: **UNITED ENERGY**

STATE ELECTORATES

Legislative Council: **EASTERN VICTORIA**
Legislative Assembly: **NEPEAN**

OTHER

Registered Aboriginal Party: **Bunurong Land Council
Aboriginal Corporation**

[View location in VicPlan](#)

Planning Zones

[GENERAL RESIDENTIAL ZONE \(GRZ\)](#)

[GENERAL RESIDENTIAL ZONE - SCHEDULE 1 \(GRZ1\)](#)



Note: labels for zones may appear outside the actual zone - please compare the labels with the legend.

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Read the full disclaimer at <https://www.delwp.vic.gov.au/disclaimer>

Notwithstanding this disclaimer, a vendor may rely on the information in this report for the purpose of a statement that land is in a bushfire prone area as required by section 32C (b) of the Sale of Land 1962 (Vic).

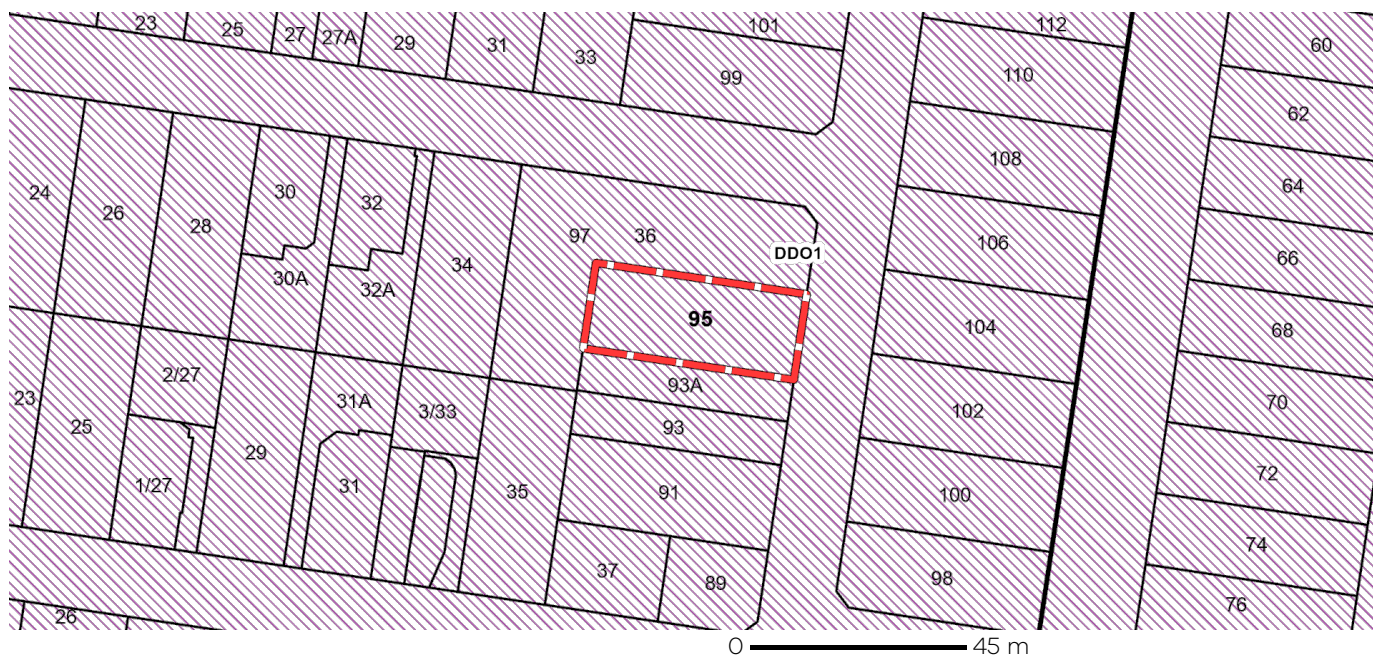
PLANNING PROPERTY REPORT: 95 RYMER AVENUE SAFETY BEACH 3936

Page 1 of 4

Planning Overlays

DESIGN AND DEVELOPMENT OVERLAY (DDO)

DESIGN AND DEVELOPMENT OVERLAY - SCHEDULE 1 (DDO1)



 **DDO - Design and Development Overlay**

Note: due to overlaps, some overlays may not be visible, and some colours may not match those in the legend

VEGETATION PROTECTION OVERLAY (VPO)

VEGETATION PROTECTION OVERLAY - SCHEDULE 1 (VPO1)



 **VPO - Vegetation Protection Overlay**

Note: due to overlaps, some overlays may not be visible, and some colours may not match those in the legend

Planning Overlays

OTHER OVERLAYS

Other overlays in the vicinity not directly affecting this land

ENVIRONMENTAL SIGNIFICANCE OVERLAY (ESO)



ESO - Environmental Significance Overlay

Note: due to overlaps, some overlays may not be visible, and some colours may not match those in the legend

Further Planning Information

Planning scheme data last updated on 15 May 2025.

A **planning scheme** sets out policies and requirements for the use, development and protection of land. This report provides information about the zone and overlay provisions that apply to the selected land. Information about the State and local policy, particular, general and operational provisions of the local planning scheme that may affect the use of this land can be obtained by contacting the local council or by visiting <https://www.planning.vic.gov.au>

This report is NOT a **Planning Certificate** issued pursuant to Section 199 of the **Planning and Environment Act 1987**. It does not include information about exhibited planning scheme amendments, or zonings that may affect the land. To obtain a Planning Certificate go to Titles and Property Certificates at Landata - <https://www.landata.vic.gov.au>

For details of surrounding properties, use this service to get the Reports for properties of interest.

To view planning zones, overlay and heritage information in an interactive format visit <https://mapshare.maps.vic.gov.au/vicplan>

For other information about planning in Victoria visit <https://www.planning.vic.gov.au>

Designated Bushfire Prone Areas

This property is not in a designated bushfire prone area.
No special bushfire construction requirements apply. Planning provisions may apply.

Where part of the property is mapped as BPA, if no part of the building envelope or footprint falls within the BPA area, the BPA construction requirements do not apply.

Note: the relevant building surveyor determines the need for compliance with the bushfire construction requirements.



Designated BPA are determined by the Minister for Planning following a detailed review process. The Building Regulations 2018, through adoption of the Building Code of Australia, apply bushfire protection standards for building works in designated BPA.

Designated BPA maps can be viewed on VicPlan at <https://mapshare.vic.gov.au/vicplan/> or at the relevant local council.

Create a BPA definition plan in [VicPlan](#) to measure the BPA.

Information for lot owners building in the BPA is available at <https://www.planning.vic.gov.au>.

Further information about the building control system and building in bushfire prone areas can be found on the Victorian Building Authority website <https://www.vba.vic.gov.au>. Copies of the Building Act and Building Regulations are available from <http://www.legislation.vic.gov.au>. For Planning Scheme Provisions in bushfire areas visit <https://www.planning.vic.gov.au>.

Native Vegetation

Native plants that are indigenous to the region and important for biodiversity might be present on this property. This could include trees, shrubs, herbs, grasses or aquatic plants. There are a range of regulations that may apply including need to obtain a planning permit under Clause 52.17 of the local planning scheme. For more information see [Native Vegetation \(Clause 52.17\)](#) with local variations in [Native Vegetation \(Clause 52.17\) Schedule](#)

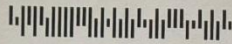
To help identify native vegetation on this property and the application of Clause 52.17 please visit the Native Vegetation Information Management system <https://nvim.delwp.vic.gov.au/> and [Native vegetation \(environment.vic.gov.au\)](#) or please contact your relevant council.

You can find out more about the natural values on your property through NatureKit [NatureKit \(environment.vic.gov.au\)](#)

Mornington Peninsula Shire
Private Bag 1000,
Besgrove Street, Rosebud 3939

RN
2023

ABN 53 159 890 143
For general enquiries, call us or visit our website
☎ mornpen.vic.gov.au
📞 1300 850 600 (local call, fees apply)



030-3073 (17969)

R Molinaro &
E Molinaro & R Bonaddio
46 Queen Street
RESERVOIR VIC 3073

Property details

95 Rymer Avenue SAFETY BEACH VIC 3936
Lot 628 LP 11273 Vol 8790 Fol 722

Site Value:
\$840,000
Capital improved value
\$895,000
Net annual value
\$44,750
AVPCC
110 - Residential

Financial details

Residential Improved Rate	0.0012830 x CIV	\$1,148.25
Waste Service Charge		\$446.00

Total Shire rates and charges	\$1,594.25
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Fire Service Levy Residential Fixed	\$125.00
Fire Service Levy Residential Variable	0.000046 x CIV \$41.15

Total State Government Fire Levy	\$166.15
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Balance due	\$1,760.40
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Have your next rates notice sent via email.
☎ mornpen.ezybill.com.au

The rating year is from 01/07/2023 to 30/06/2024.

You can make more frequent payments with a plan.

Payment plan and differential rates information: ☎ mornpen.vic.gov.au/rates

The Mornington Peninsula Shire imposes a 0.36% surcharge on all credit and debit card payments.



Post Billpay
Billpay code: 3064
Ref no: 315664

Pay in person at any post office, by phone
☎ 13 18 16 or go to ☎ postbillpay.com.au



*3064 315664



Billcode: 20537
Ref no: 4000315664

BPAY® this payment via Internet
or phone banking.

BPAY View® View and pay this bill
using internet banking.

BPAY View Registration No: 4000315664

2023-24

Rates and Valuation Notice



MORNINGTON
PENINSULA
Shire

Property number

31566

Total amount due

\$1,760.40

Arrears (due immediately)

\$0.00

Current payable

\$1,760.40 Due 15/02/2024

Instalments

1st	\$440.10	Due 30/09/2023
2nd	\$440.10	Due 30/11/2023
3rd	\$440.10	Due 28/02/2024
4th	\$440.10	Due 31/05/2024

Key dates

Date of Issue	15/08/2023
Date of declaration	30/05/2023
Date of valuation	01/01/2023

Property owners:

R Molinaro, E Molinaro, R Bonaddio

Green/hard waste voucher
Non-transferable.
Expires 30 September 2024.
20230103156604



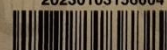
Green/hard waste voucher
Non-transferable.
Expires 30 September 2024.
20230103156604



Green/hard waste voucher
Non-transferable.
Expires 30 September 2024.
20230103156604



Green/hard waste voucher
Non-transferable.
Expires 30 September 2024.
20230103156604





Payments (Visa/MasterCard) & account balances:
southeastwater.com.au or call 1300 659 658
Account enquiries:
southeastwater.com.au/enquiries or call 131 851
Mon-Fri 8am to 6pm
Faults and emergencies (24/7):
live.southeastwater.com.au or call 132 812
Interpreter service:
For all languages 9209 0130
TTY users 133 677 (ask for 131 851)

EDDIE MOLINARO & ROSEMARY BONADDIO
95 RYMER AVENUE
SAFETY BEACH VIC 3936

Last bill	Payments received	Balance
\$156.55	– \$156.55cr =	\$0.00

Account number:	17891318
Date due:	21 March 2025
Current charges	Total due
+ \$234.40	\$234.40

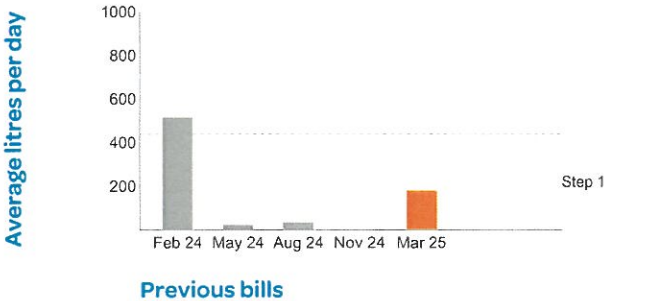
Your account breakdown

Issue date	04 March 2025
Property	95 Rymer Avenue SAFETY BEACH VIC 3936
Property reference	02D//00322/25
Last bill	\$156.55
Payment received	\$156.55cr
Balance brought forward	\$0.00
Our charges (no GST)	\$182.10
Other authorities' charges (no GST)	\$52.31
Total due	\$234.40

Your snapshot

Average daily water use	179 litres
Average daily cost	\$2.00

Your water use



Number of people in a household	1	2	3	4	5
Average daily use (litres) per person	179	90	60	45	36
Meeting Target 150?	✗	✓	✓	✓	✓

Payment options

- DD Direct debit**
Set up payments at southeastwater.com.au/paymybill
- BPAY® (Up to \$20,000)**
Bill code: 24208 Ref: 1001 7891 3100 003
- Credit card**
Pay by Visa or MasterCard at southeastwater.com.au/paymybill or call 1300 659 658.

- eft EFT (Electronic Funds Transfer)**
BSB: 033-874 Account number: 17891318
Account name: South East Water Corporation
- Post Billpay**
BillpayCode: 0361 Ref: 1001 7891 3100 003
Call 131 816 Visit: postbillpay.com.au
Or visit an Australia Post store.
- Centrepay**
Go to servicesaustralia.gov.au/centrepay for more information.
Reference number: 555 050 397J

Total due:	\$234.40
Account number:	17891318
Date paid:	
Receipt number:	

Property ref: 02D//00322/25
95 RYMER AVENUE
SAFETY BEACH VIC 3936
*361 100178913100003

PN02D



MR ROBERTO MOLINARO
C/- SARAH CAMILLERI
LEVEL 1
19 RADNOR DRIVE
DEER PARK VIC 3023

Our reference: 7161080703491

Phone: **13 28 66**

18 July 2025

Your foreign resident capital gains withholding clearance certificate

- › Purchasers are not required to withhold and pay an amount
- › Provide a copy to the purchaser and retain a copy for your records

Hello ROBERTO,

We have decided that purchasers are not required to withhold and pay an amount. Your certificate is below:

Notice number	2411099526392
Vendor name	ROBERTO MOLINARO
Clearance Certificate Period	17 July 2025 to 17 July 2026

The Commissioner may withdraw this clearance certificate at any time if we obtain further information indicating you are a foreign resident.

Yours sincerely,
Emma Rosenzweig
Deputy Commissioner of Taxation

Need help?

Learn more about foreign resident capital gains withholding at ato.gov.au/FRCGW

Contact us

In Australia? Phone us on **13 28 66**

If you're calling from overseas, phone **+61 2 6216 1111** and ask for **13 28 66** between 8:00am and 5:00pm Australian Eastern Standard time, Monday to Friday.



MR EDUALDO MOLINARO
C/- SARAH CAMILLERI
LEVEL 1
19 RADNOR DRIVE
DEER PARK VIC 3023

Our reference: 7160232162743

Phone: **13 28 66**

1 July 2025

Your foreign resident capital gains withholding clearance certificate

- › Purchasers are not required to withhold and pay an amount
- › Provide a copy to the purchaser and retain a copy for your records

Hello EDUALDO,

We have decided that purchasers are not required to withhold and pay an amount. Your certificate is below:

Notice number	2411079004346
Vendor name	EDUALDO MOLINARO
Clearance Certificate Period	30 June 2025 to 30 June 2026

The Commissioner may withdraw this clearance certificate at any time if we obtain further information indicating you are a foreign resident.

Yours sincerely,
Emma Rosenzweig
Deputy Commissioner of Taxation

Need help?

Learn more about foreign resident capital gains withholding at ato.gov.au/FRCGW

Contact us

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If you're calling from overseas, phone **+61 2 6216 1111** and ask for **13 28 66** between 8:00am and 5:00pm Australian Eastern Standard time, Monday to Friday.



MRS ROSEMARY BONADDIO
C/- SARAH CAMILLERI
LEVEL 1
19 RADNOR DRIVE
DEER PARK VIC 3023

Our reference: 7159394027537

Phone: 13 28 66

29 May 2025

Your foreign resident capital gains withholding clearance certificate

- › Purchasers are not required to withhold and pay an amount
- › Provide a copy to the purchaser and retain a copy for your records

Hello ROSEMARY,

We have decided that purchasers are not required to withhold and pay an amount. Your certificate is below:

Notice number	2411070765677
Vendor name	ROSEMARY BONADDIO
Clearance Certificate Period	29 May 2025 to 29 May 2026

The Commissioner may withdraw this clearance certificate at any time if we obtain further information indicating you are a foreign resident.

Yours sincerely,
Emma Rosenzweig
Deputy Commissioner of Taxation

Need help?

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Contact us

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