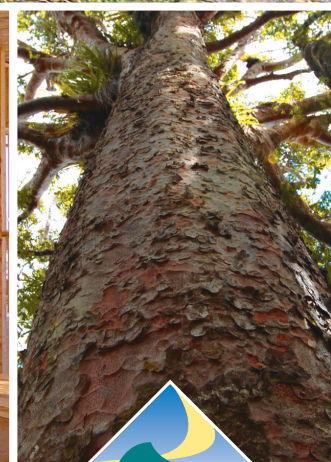
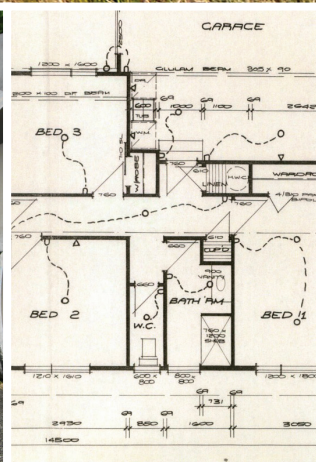


# LIM

## Land Information Memorandum



Tauranga City



## Land Information Memorandum

This L.I.M. has been prepared for:

Applicant	<b>Jan Booyesen</b>
Business	<b>NGede Ltd</b>
Property Address	<b>185 Sixteenth Avenue Tauranga</b>
Legal Description	<b>Lot 2 DPS 87785</b>
Application Date	<b>5 June 2025</b>

This Land Information Memorandum has been prepared for the purposes of Section 44A of the Local Government Official Information and Meetings Act 1987 and, in addition to the information provided for under section 44A(2), may contain such other information concerning the land that Council considers, at its discretion, to be relevant. It is based on a search of Council records only. There may be other information relating to the land which is unknown to Council. The Council has not undertaken any inspection of the land or any building on it for the purpose of preparing this Land Information Memorandum. The applicant is solely responsible for ensuring that the land is suitable for a particular purpose.

It is recommended that the Certificate/Record of Title, which is not held by Council, be searched by the purchaser.

## Contents

Services Information

Rating/Valuation Details and Levies

Building Information

- Consents and Permits

City Planning

- City Plan
- Resource Consents

Land Development

- Land Features
- Hazardous Contaminants

Other Information

- Licences

# Services Information

Land information which is likely to be relevant includes information on private and public stormwater, water and sewer details. Please refer to the appropriate authorities for further information about network utility services.

## Service Record

Copy of Deposited Plan Attached	<b>Yes</b>
Service Print Attached	<b>Yes</b>
Method of Sewer Disposal	<b>To Public Sewer</b>
Existing Method of Stormwater Disposal	<b>To Kerb</b>
Drinking Water Supplied to the Land	<b>Yes</b>
Drinking Water Supplier Is:	
(i) Owner of the Land; or	<b>No Information Available</b>
(ii) Tauranga City Council [Water Supply Authority Unit (WSA)]; or	<b>Yes</b>
(iii) Another Networked Supplier	<b>No Information Available</b>
Any Information Notified under Section 206(1) Water Services Act 2021	<b>No Information Available</b>

## Note:

1. Please note that the existence of a watermain along a property frontage does not necessarily mean that a connection is available. This may need to be provided at the applicant's expense.
2. If the land is supplied with drinking water by Tauranga City Council as a Water Supply Authority, any conditions (generally set out in Tauranga City Council's [Supply of Water Bylaw 2019](#)) applicable to that supply are included in this Land Information Memorandum.
3. If the land is supplied with drinking water by a networked supplier other than the WSA, any conditions that are applicable to that supply are included in this Land Information Memorandum.
4. If the land is supplied with drinking water by the owner of the land, any information Council has about the supply is included in this Land Information Memorandum.
5. Any information notified to the territorial authority by a drinking-water supplier under Section 206(1) Water Services Act 2021 is included in this Land Information Memorandum.

## Rating and Valuation Details

Tauranga City Council rates are billed twice a year on the last business day of August and February. Unpaid rates for each instalment will incur a 10% penalty.

The valuation details below are based on a revision date of 1 May 2023. This has been used to assess the rates for Council's financial year beginning 1 July 2024.

Further information on property valuations can be found on Council's website at the following link: [Property valuations - Tauranga City Council](#).

### Valuation Details

Valuation Reference	<b>06605 488 01</b>
Capital Value	<b>\$710,000</b>
Land Value	<b>\$320,000</b>
Improvement Value	<b>\$390,000</b>

### Rating Details

Current Annual Rates	<b>\$2,995.95</b>
Balance Owing	<b>\$Nil</b>

### Water Meter Details

Water Meter On Property	<b>Yes</b>
Meter Type	<b>Individual Meter</b>
Water Rates Owing	<b>\$Nil</b>

A separate account is issued for water metered properties. Residential meters are read every three months. Commercial / Industrial meters vary depending on use.

### Note:

Council's Water Supply Bylaw requires a final water meter reading to be undertaken when a property is sold.

# Infrastructure Funding and Financing (IFF) Levy Details

The IFF levy (under the Infrastructure Funding and Financing (Western Bay of Plenty Transport System Plan Levy) Order 2022) is payable for a period of 30 years from 1 July 2024 to 30 June 2054. The method for assessing the liability for an IFF levy on the property is set out in the 2022 Order. The annual levy (as calculated under the 2022 Order) is allocated across the levy area with 50% of the overall levy coming from commercial and industrial properties and 50% coming from residential properties and with the IFF levy on the property being based on the capital value of the property. Further information on the levy is available at the following link: [Infrastructure Levy - Tauranga City Council](#).

## IFF Levy Details

Current Annual IFF Levy	<b>\$57.50</b>
Balance Owing	<b>\$Nil</b>

## Building Information

This information is sourced from Council records and may not reflect the situation on site if work has been undertaken without consent.

**Building Permits:** For Building Permits issued prior to 1993 a copy of the inspection records, if these are held by Council, are attached.

**Building Consents:** For Building Consents issued after 1 January 1993 a Code Compliance Certificate (CCC) will be issued where the building work for which the building consent relates has been completed in accordance with the NZ Building Code.

**Swimming/Spa Pools:** If the property contains a swimming pool or spa pool, the pool must have a physical barrier restricting access to the pool that meets the requirements of the Building Act 2004. For more information, go to the following link: [Swimming Pool Safety Barriers](#).

**Solid Fuel Heaters:** It is important that any solid fuel heater has been legally installed, either as part of the original dwelling or by way of a separate permit/consent.

## Permits and Consents

### Building Consents

Date Issued	Description of Work	BC Number	CCC Issued
31/07/03	Erect dwelling (excluding the retaining walls which are under COA 190422)	11546	Yes*

### Certificate of Acceptance

Date Issued	Description of Work	COA Number
13/03/19	Retaining wall	190422

### Additional Comments:

\* This Code Compliance Certificate has been issued subject to a modification Clause B2.3.1 of the New Zealand Building Code. The modification has the effect that the required durability periods for the building elements put in place in the course of the work carried out under this building consent, are to be measured from the date of substantial completion of the building work being the agreed date. The agreed date is 30 October 2003, not the date of the Code Compliance Certificate.

<b>Compliance Schedule</b>	<b>N/A</b>
<b>Requisitions</b>	<b>None</b>

# City Planning

## The Operative Tauranga City Plan

The Tauranga City Plan provides the rules for how people can build or develop the land they own in our city. This can be land that is residential, commercial or industrial. The City Plan covers all subdivision, land use and development, how and where the city grows, how infrastructure is located and how natural and physical resources are managed. It is the blueprint by which any development in Tauranga is managed. It also includes rules on other things that are covered by the Resource Management Act - including hazards, signage, reserves, noise, heritage, etc.

There are specific rules within the City Plan that cover, amongst other matters, building height, earthworks, tree protection, bulk and scale of buildings, setbacks from coastal and harbour margins, and specific residential, commercial and industrial uses depending on location within the City.

Specific rules for each suburb and property can vary depending on the underlying zone of the area and the location of a specific property within that zone.

The majority of the City Plan became 'operative in part' on 9 August 2013. The remaining parts of the City Plan subsequently became operative on 5 July 2014.

A table showing a complete list of variations and plan changes to the operative City Plan can be found in the [Table of Plan Change Dates](#).

It is advised that prospective purchasers of property review and consider all relevant planning rules for the specific property this Land Information Memorandum applies to prior to purchase.

To view the Operative Tauranga City Plan please [click here](#).

If you have any specific queries on any rules or any existing or proposed use of a property, please contact the Tauranga City Council's Duty Planner (07 577 7000) for further information.

## City Planning (cont.)

### Development Contributions

Council operates a development contributions policy under the Local Government Act 2002, and also has financial contributions provisions in its City Plan. The broad purpose of these policies is to fund infrastructure costs that relate to the city's growth from those parties that undertake subdivision, building or development. These contributions are required on building consents, resource consents, service connection authorisations and certificates of acceptance. Contributions may remain payable on any property in circumstances where subdivision, building and development projects have not been completed, and in rare occasions where the Council has agreed to defer payment. In addition, further subdivision, building or development of a property may trigger the requirement to pay further development and/or financial contributions.

Council's development contributions team can advise further on these matters in relation to the application of development and financial contributions to the property in question.

### Transportation Strategy & Planning and Reserve Management Plans

As part of Tauranga City Council's Transport strategy and planning activities and Reserves Management Plans, properties neighbouring Council-owned or administered land may be subject to transport network development such as walkways and cycleways or other development, activities or use of the land. The Tauranga Reserves Management Plan is available online at the following link: [Reserve Management Plans](#).

## Relevant Planning Information

Relevant Planning information for this property is available online through the [City ePlan](#).

Instructions on how to navigate the ePlan can be found at the following link: [Using the City Plan](#).

Zone: Operative Tauranga City Plan	<b>High Density Residential</b>
Identified Plan Areas	<b>None Known</b>
Utilities / Designations	<b>None</b>
Protected Heritage/Notable or Groups of Trees, or Protected Buildings	<b>None Known</b>
Archaeological or Heritage Sites	<b>None Known</b>
<b>Council Consents, Certificates, Notices, Orders or Bonds Affecting the Land:</b>	<b>No</b>

## Land Features

This information relates to city-wide studies and may not reflect the on-site situation or natural hazard investigations and mitigation done on a property level.

The Tauranga City Council does not act as agent for network utility operators.

The landform and geology within Tauranga City have some features which demand particular attention. These features, which may or may not be relevant to the property in question, are outlined in “General Description of Land Form within Tauranga District” as attached.

## Microzoning for Earthquake Hazards

The Council has received reports and results that have assessed Tauranga City's vulnerability to liquefaction when considering a range of earthquake events. These reports and results, and a summary of them, are available by accessing the following link: [Earthquakes and Liquefaction](#).

The reports and **results** reflect the most up-to-date vulnerability to liquefaction from an earthquake event.

It is important to note that different properties are exposed to different levels of probability that land damage from liquefaction and lateral spread will in fact occur. The reports and results are undertaken at a City-wide scale and may be superseded by detailed, site specific assessments undertaken by qualified and experienced practitioners using improved or higher resolution data than presented in these reports.

The **vulnerability and land damage** maps are prepared based on an assessment of natural ground conditions and therefore do not consider the influence of recent human activities that may influence liquefaction response (i.e., earthworks, ground improvement, foundation design), unless specifically stated within the technical reports. As such, the degree of land damage may be less than predicted for a given property where liquefaction risk was addressed during landform or building foundation design.

**The presence of liquefaction and lateral spread information on a property may have implications for the use and development of that property including, but not limited to, the requirements for and assessments of building consent applications under the Building Act 2004 and Building Code (refer to the NZ Standard AS/NZ 1170 and design standard outlined in Chapter 10.10.6 Liquefaction of Tauranga City Council's Infrastructure Development Code), subdivision consent applications under the Resource Management Act, and infrastructure design.**

The assessed hazard applicable to the area this property has been assessed within, is available by accessing the web-viewer available through the following link: [Earthquakes and Liquefaction](#).

## Landslide Susceptibility

Council has received an assessment of Tauranga City's susceptibility to landslides. Two maps have been prepared, one showing areas susceptible to land sliding triggered by rainfall, and the other by earthquakes. A report detailing the assessment and maps are available by accessing the following link: [Landslide Susceptibility](#).

## Special Land Features Relevant to the Subject Property

Information about Land Features and Natural Hazards may be identified on Council's mapping website, [Mapi](#).

### Comments:

1. Refer copies of following reports as attached:
  - a) Compacted Hardfill Report by Arnold & Johnstone Ltd dated 3 September 2003.
  - b) Building Location Certificate by Tauranga Land Surveying Ltd dated 12 November 2018.
  - c) Producer Statement and Site Visit Reports by Redco NZ Ltd dated 25 January 2019, 14 January 2019 and 23 January 2019.
2. **Slopes**  
 This site is subject to a slope hazard zone. Any further development may need to be supported by a report from a Category 1 Accredited Geo-professional and subject to Stormwater Specific Design. Please see the slope hazard zones plan attached and refer to our [website](#) for more information.

## Additional Information

### Licences

Licences Affecting the Land or Buildings

**No**

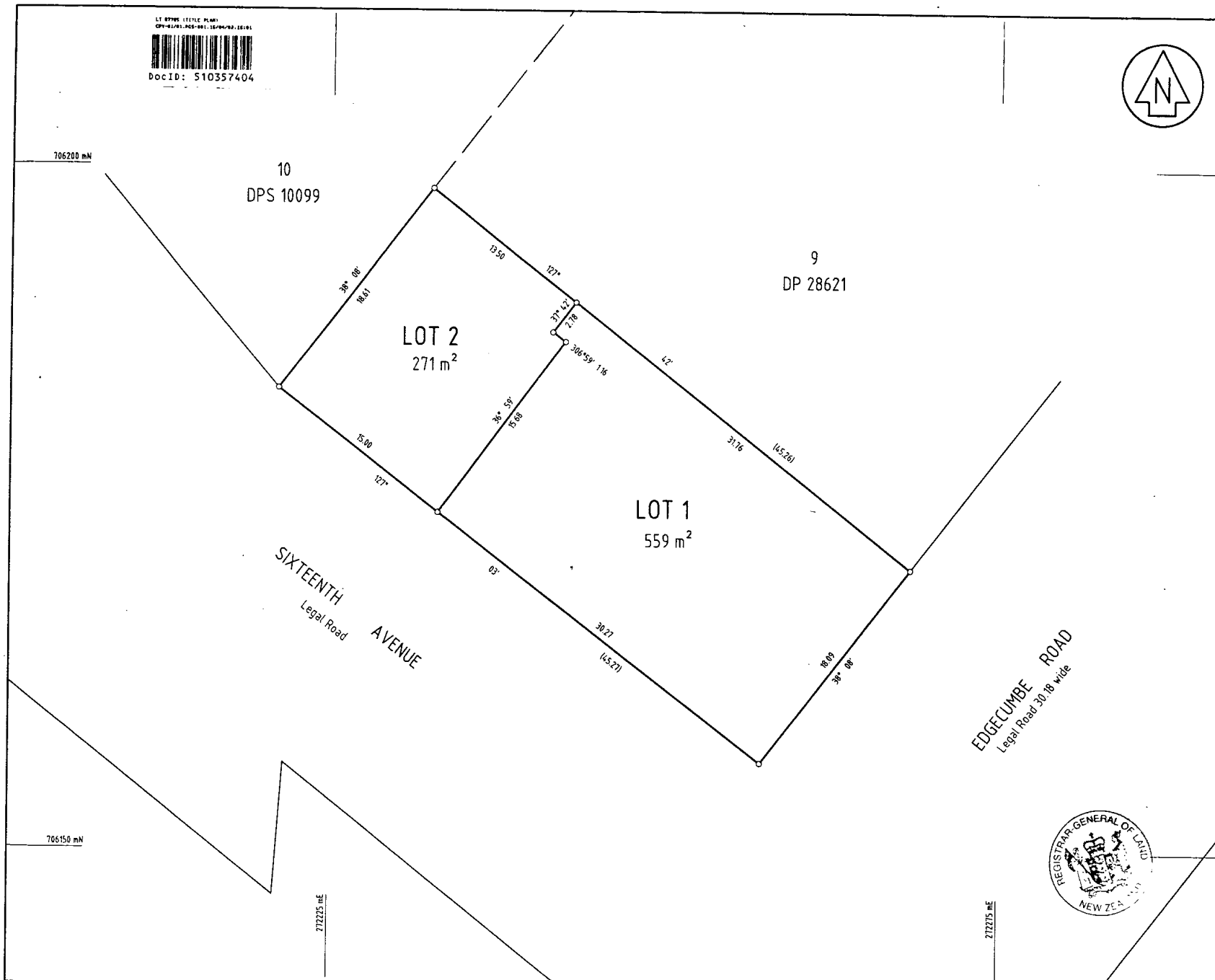
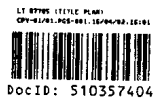
**Signed for and on behalf of the Council:**



**Position held:** LIM & Property Files Officer

**Date:** 19 June 2025





Approvals

*[Signature]*  
Registered Owner

I hereby certify that this plan was approved by the Tauranga District Council pursuant to section 223 of the Resource Management Act 1991 on the 14<sup>th</sup> day of December 2001.

*[Signature]*  
Authorised Officer TDC Sub 4548

Pursuant to Section 224(c) of the Resource Management Act 1991 I hereby certify that all the conditions of the subdivision consent have been complied with to the satisfaction of the Tauranga District Council.

14<sup>th</sup> day of December 2001.

*[Signature]*  
Authorised Officer

New Certificates of Title Allocated	
Lot	Allocated Certificate of Title
1	69C/486
2	69C/487

Total Area 830 m<sup>2</sup>

Comprised in CT 743/260

**SURVEYOR'S CERTIFICATE**  
I, Trevor Andrew Davey being a person entitled to practise as a registered surveyor, certify that:-

a) The surveys to which this dataset relates are accurate, and were undertaken by me or under my direction in accordance with the Survey Act 1986 and the Survey Regulations 1998;

b) This dataset is accurate, and has been created in accordance with that Act and those Regulations.

Signed: *[Signature]* Date: 8-10-2008

Field Book	p.	Traverse Book	p.
Reference Plans	DP 28621 DPS 10099, DPS 5389 SD 33616, SD 52717, SD 61346		
Examined	Correct		

Approved as to Survey *[Signature]*  
LoL Approval RGP 04030201  
6/5/2002 Dep Chief Surveyor

Deposited this 16<sup>th</sup> day of April 2002  
*[Signature]* for Registrar-General of Land

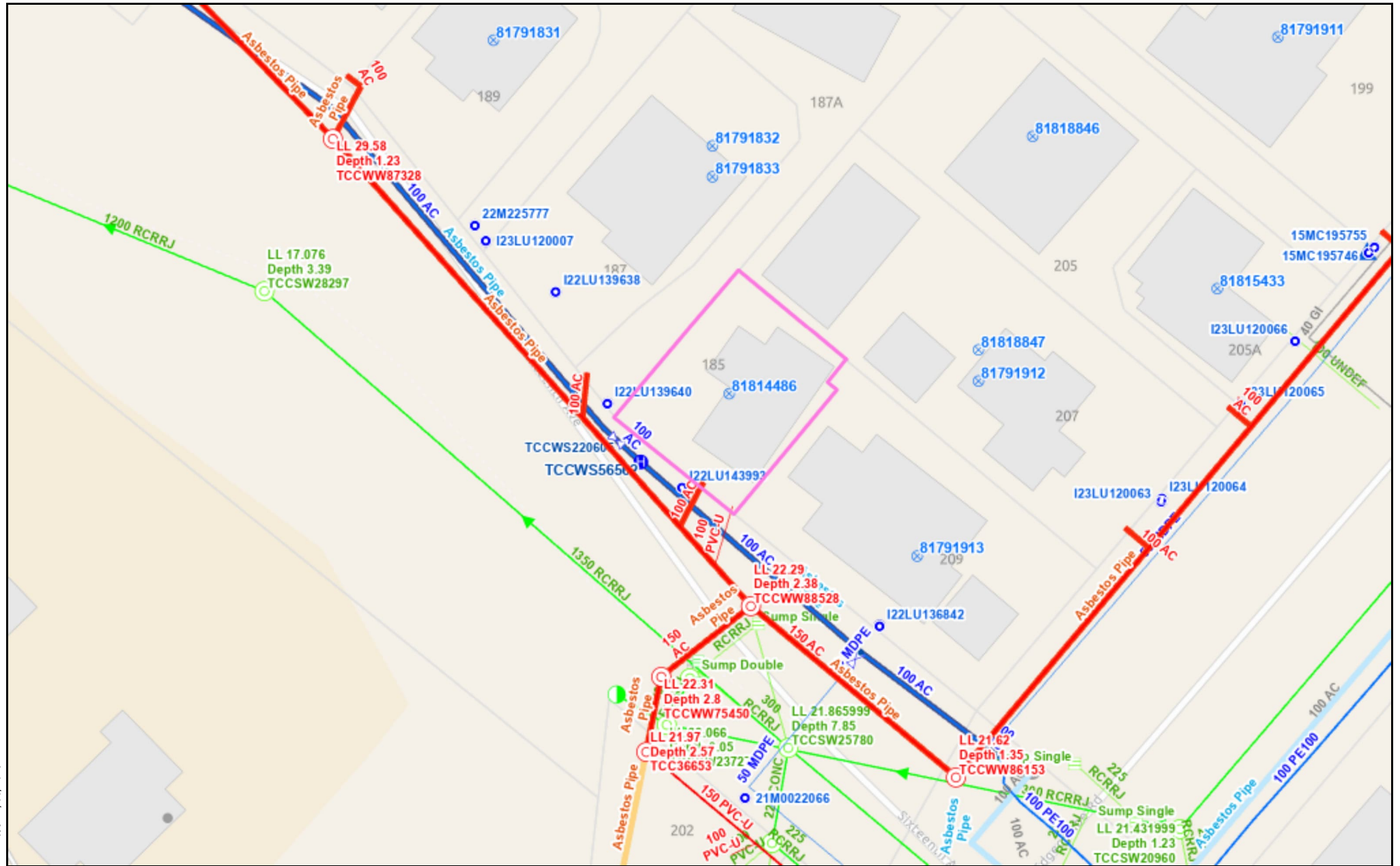
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Instructions

**DPS 87785**

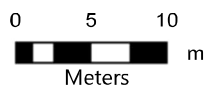
LAND DISTRICT SOUTH AUCKLAND  
SURVEY BLK. & DIST. X TAURANGA  
NZMS 261 SHT U14 RECORD MAP No.

LOTS 1 & 2 BEING A  
SUBDIVISION OF LOT 10 DP 28621

TERRITORIAL AUTHORITY TAURANGA DISTRICT COUNCIL  
Surveyed by SURVEYING SERVICES LTD.  
Scale 1:200 Date FEBRUARY 2000



## Services Plan









Scale 1: 500 @A4














Information shown on this plan is indicative only. The Council accepts no liability for its accuracy and it is your responsibility to ensure that the data contained herein is appropriate and applicable to the end use intended.
































Wastewater

	Benchmarks		Rodding Eye (Inspection Point)
	Wastewater Asbestos Pipe Abandoned		Manhole (TCC)
	Wastewater Asbestos Pipe Operational		Manhole (Private)
	Wastewater Rodding Eye		Boundary Kit
	Wastewater Pump Station		Chamber
	Wastewater Odour Control		Flushing Pit
	Wastewater Miscellaneous		Storage
	WW Electrical Controller		Valve Pit
	Wasterwater Meter		Wastewater Key Asset Centre
	Wastewater Manhole		Pipe (Private)
	Open Space Utility Line		Service Line
	Wastewater Service Line		Main
	Gravity Main		Rising / LP Rising
	Rising Main		Low Pressure
	Leachate Point <all other values>		Odour Duct
	Leachate Point Manhole		Overflow
	Leachate Line		Sleeve
	Valve (Private)		Wastewater Miscellaneous Line Asset
	Valve (TCC)		Abandoned Wastewater Manhole
	Normally Closed		Abandoned Wastewater Valve
	Air Release		Node
	Node (Private)		Miscellaneous Point
	Node (TCC)		Odour Control
	Miscellaneous Point (TCC)		LP Rising
	Miscellaneous Point (Private)		Rising Main
	Odour Control		Abandoned Wastewater Key Asset Centre
	Flow Meter		Wastewater pipe
	LP Rising		Service Line
	Rising Main		Main
			Rising / LP Rising

	Low Pressure
	Odour Duct
	Overflow
	Reclaimed
	Sleeve
	Abandoned Wastewater Miscellaneous Line Asset
	Abandoned Wastewater Miscellaneous Polygon Asset
	Wastewater Miscellaneous Polygon Asset
	Wastewater Pump Station
	Wastewater Structure
	Wastewater Treatment Plant

WaterSupply

	WaterSupply Asbestos Pipe Abandoned
	WaterSupply Asbestos Pipe Operational
	Water Station
	Water Valve Control
	Water Valve
	Water Service Line
	Water Reservoir
	Water Pump
	Water Hydrant
	Water Backflow Testable
	Water Main
	Abandoned Water Point
	Abandoned Water Line
	Service Line (TCC)
	Service Line (Private)
	Water Meter
	Bulk Meter (Private)
	Bulk Meter
	Bore
	Dialysis
	Food Industry
	Hospital/Rest Home
	Medical Centre
	Large Water Use
	After School Care
	Daycare
	School
	Dentist
	Top Water User

	Double Check (TCC)		Abandoned Water Backflow		Stormwater Rodding Eye		Flap Structure
	RPZ (TCC)		Water Meter		Stormwater Miscellaneous		Miscellaneous Point (Private)
	Vacuum Breaker (TCC)		Abandoned Water Fitting		SWNode		Miscellaneous Point (TCC)
	Backflow (Private)		Abandoned Water Hydrant		SWManhole		Weir
	Node		Abandoned Water Valve		SWSoakHole		Soak Hole
	Hydrant (TCC)		Water Miscellaneous Point Asset		SWStructure		Treatment Device
	Prohibited Use (TCC)		Flow Meter		SWSump		Outlet - Drain
	Hydrant (Private)		Reservoir		SubSoil		Gross Pollutant Trap
	Prohibited Use (Private)		Abandoned Water Miscellaneous Line Asset		Stormwater Service Line		Stormwater Key Asset Center
	Valve (Critical)		Abandoned Water Pipe		Stormwater Overland Flow Path		Stormwater Pipe (Private)
	Valve Control (Critical)		Abandoned Water Miscellaneous Polygon Asset		Gravity Main		Culvert
	Valve (Private)		Water Reservoir		Culvert		Service Line
	Valve (TCC)		Water Reservoir (Private)		Rising Main		SubSoil
	Control Valve		Reservoir (Abandoned / Removed)		Stormwater Drain		Main
	Air Control Valve		Water Pump Station		Abandoned Stormwater Line		Rising
	Non Return Control Valve		Water Structure		Soakage System		Drain (Private)
	Normally Closed Valve		Water Source		Sump (Private)		Overland Flow Path (Private)
	Pressure Valve		Water Treatment Plant		Single Sump		Drain (TCC)
	Scour Valve		Water Supply Catchment		Double Sump		Overland Flow Path (TCC)
	Water Miscellaneous Point Asset		Water Supply Forest Compartments		Triple Sump		Stormwater Miscellaneous Line Asset
	Flow Meter (Private)				Bubble Up Sump		Stormwater Sump
	Flow Meter				Large Sump		Stormwater Manhole
	Reservoir and Booster Pump				Manhole (Private)		Node
	Joyce Road Treatment Plant				Manhole (TCC)		Inlet Structure
	Oropi Treatment Plant				Chamber		Outlet Structure
	Water Miscellaneous Line Asset				Rodding Eye (Inspection Point)		Flap Structure
	Water Main (Private)				Fitting (Private)		Stormwater Miscellaneous Point Asset
	Rider Main				Node		Stormwater Key Asset Center
	Reticulation Main				Inlet		Stormwater Pipe
	Trunk Water Main				Outlet Structure		Stormwater Drain
	Water Miscellaneous Polygon Asset						Stormwater Miscellaneous Line Asset



# Rates Information

<b>Location</b>	185 SIXTEENTH AVENUE
<b>Valuation Ref</b>	06605 488 01
<b>Legal Description</b>	LOT 2 DPS 87785
<b>Area</b>	0.0271
<b>Land Value</b>	320,000
<b>Capital Value</b>	710,000

## Total rates assessed this year

Tauranga Council	Units	Rate	Annual Amount
Uniform Annual General	1	259.13043478	259.13
Stormwater - Residential	710,000	0.00000578	4.10
General - Residential	710,000	0.00206106	1463.35
Resilience - Residential	710,000	0.00001280	9.09
Urban Growth - Rest of City	1	31.13043478	31.13
Wastewater Connected	1	625.32173913	625.32
Waste Collection Standard	1	213.04347826	213.04
<b>Total Rates</b>			<b>2,605.16</b>
 IFF Transportation - Residential	 710,000	 0.00007043	 50.01
<b>Total IFF Levy</b>			<b>50.01</b>
<i>Includes GST of</i>			<b>\$398.28</b>
<b>Total Rates (01 JUL 2024 to 30 JUN 2025)</b>			<b>\$3053.45</b>

## Water Rates

Metered A/C # 5    Route # M    Class #    Rate: 0    /m3    Supply Area: METERED WATER

## What are rates?

The amount you pay in rates doesn't directly relate to the amount of things Council does for you personally. Rates are not a 'charge for services', they are a tax on the value of your property. It is not a perfect system but it is one of the very few ways the Government allows Councils to collect revenue. Rates provide 55% of the Council's income.

## Rates Information

The rating year starts on 1 July each year to 30 June the following year.

- Rates and charges are inclusive of GST.
- Annual Rates are set in July each year.
- Rates are payable in two instalments and are paid in advance.

Each year an assessment is sent out to property owners on 1 August together with the first instalment invoice. Payments are due on the last working day in August. The second instalment invoice is sent out to property owners on 1 February each year and is due on the last working day of February.

## What are the charges for rates and how are they calculated?

Rates are a tax on the value of your property. The value of your property is set by an independent agency and is driven by national legislation. Revaluations are done every three years.

### What do General Rates pay for?

Rates are used to pay for a wide range of services and capital projects such as new roads, storm water, libraries, reserves and so on. Councils long term plan is a good place to find out more about how Council plans to spend rates income.

Tauranga City Rates Schedule 2024/25		
Description	Inclusive of GST	Charge
Uniform Annual General	\$298.00	per occupancy
Kerbside Waste Service – Standard Use	\$245.00	per service bundle
Kerbside Waste Service – Low Use	\$210.00	per service bundle
Kerbside Waste Service – High Use	\$350.00	per service bundle
Wastewater	\$719.12	per residential property or per connection for commercial
Wastewater Availability	\$359.56	per property
Stormwater - Residential	\$0.00000665	Capital value
Stormwater – Commercial	\$0.00001064	Capital value
General Residential	\$0.00237022	Capital value
General Commercial	\$0.00497745	Capital value
General Industrial	\$0.00616256	Capital Value
City Mainstreet	\$0.00038877	Capital value
Greerton Mainstreet	\$0.00152185	Capital value
Papamoa Mainstreet	\$0.00034148	Capital value
Mount Mainstreet	\$0.00060547	Capital value
Economic Development	\$0.00035791	per commercial property
The Lakes Targeted Rate	\$105.26	per property in the subdivision
The Coast Targeted Rate	\$36.00	per property in the subdivision
Excelsa Targeted Rate	\$53.07	per property in the subdivision
Resilience – Residential	\$0.00001472	Capital value
Resilience – Comm/Ind	\$0.00002356	Capital value
Urban Growth – Full Benefit	\$107.39	Per property
Urban Growth – Wide Benefit	\$71.59	Per property
Urban Growth – Rest of City	\$35.80	Per property
Garden Waste Service – 2-weekly	\$110.00	per service
Garden Waste Service – 4-weekly	\$80.00	per service
Pool Inspection	\$107.00	Per Property with a Pool
IFF Infrastructure Levy - Residential	\$0.00008099	Capital Value
IFF Infrastructure Levy – Comm/Ind	\$0.00034098	Capital Value

### **Uniform Annual General Rates (UAGC)**

This is a fixed charge per rateable property and is irrespective of the value of a property. For residential properties it is a charge per occupancy.

Each occupancy is defined by physically having a separate living area, bedroom, bathroom facilities, entrance (including shared foyers) and cooking facilities. E.g. a property with a self-contained flat on the ground floor would be rated for two UAGC's and two wastewater connections.

(Note: This rate is not based on ability to earn revenue or rent, frequency of use or the relationship of person/s using or able to use the separate area. This does not relieve the owner or occupier of any duty or responsibility under the Building Act 2004 or the Resource Management Act 1991 or the Tauranga City Plan) For commercial properties this is a charge on the number of separate businesses or leases.

### **General Rate**

The General rate provides for the following costs, City and Infrastructure, Community People and partnerships, Arts and Culture, Venues and Events, Community Partnerships, Libraries, Economic Development, Emergency Management, Animal services, Building services, Environmental Planning, Environmental Health and Licensing, Regulation Monitoring, Marine Facilities, Spaces and Places, Support Services, Sustainability and Waste. This variable rate is charged on the capital value of a property. Capital value is land value plus improvements value.

### **Wastewater Rates**

Residential properties connected to Council wastewater pay a uniform annual charge for one toilet per occupancy.

Commercial properties connected to Council wastewater pay a uniform annual charge for each toilet or urinal.

Those properties with wastewater available (i.e. they are within 100m of wastewater lines) but not connected will pay an availability charge.

### **Kerbside Waste Service**

The waste collection service provides for the collection and disposal of glass, food, recycling and waste for residential properties. This is a fixed charge per separately used or inhabited part of a rating unit. There are three bundles offered, low user, standard user and high user.

### **Stormwater**

The purpose of this rate is to fund some of the costs of stormwater infrastructure investments. This variable rate is charged on the capital value of a property. Capital value is land value plus improvements value.

### **Garden Waste Service**

The waste collection service provides for the collection and disposal of garden waste material available for residential properties. This is a fixed charge per rating unit. This is an optional service that ratepayers choose to receive. There are two frequencies of collection, these being 2-weekly or 4-weekly.

Please note, that after 1 July until 30 June, ratepayers cannot opt out of the service if they have opted in. An opt-out request will take place in the rating year following this request.

### **Resilience**

The purpose of this rates is to provide some of the costs of resilience infrastructure investments in the water, wastewater, stormwater, transportation, and emergency management activities.

### **Urban Growth**

Council is committing significant transport investments, benefiting the city and urban growth areas of Pāpāmoa and Wairākei, that also support future development in Te Tumu.

Council has three new Urban Growth targeted rates. A full benefit area, wide benefit area and a city wide rate across ratepayers outside of these areas.

### **The Lakes, Papamoa Coast and Excelsa Targeted Rate**

The Lakes Development at Tauriko/Pyes Pa and Papamoa Coast and Excelsa developments at Papamoa have significantly increased level of service costs as a result of wider roads, more gardens, reserves and streetlights etc. All properties in these subdivisions are charged this targeted rate. This rate is charged on the capital value of a property. Capital value is land value plus improvements value.

**Economic Development Rate**

This rate is charged on the capital value of a property. It is charged to commercial properties only and funds economic development through Priority One and Tourism Bay of Plenty.

**Mainstreet Rates**

This rate is charged on the capital value of a property. It is charged to commercial properties only and funds the Tauranga, Papamoa, the Mount and Greerton Village Mainstreet organisations.

**Pool Inspection**

This rate is charged to properties with swimming pools that require inspection. The cost of the inspection is spread over the three years through rates bills.

**IFF Transportation Levy**

The rate is charged to all ratepayers and will fund the cost of 13 transport projects across the region. For more information go to [www.tauranga.govt.nz/tsplevy](http://www.tauranga.govt.nz/tsplevy)



Willow Street, Tauranga  
Private Bag, Tauranga  
Telephone: 07 577 7000. Facsimile 07 577 7034

# BUILDING CONSENT

**NO: 11546**

**Issued By:** Tauranga City Council pursuant to Section 51 of the Building Act 2004

THE OWNER	CONTACT PERSON
CLASSIC BUILDERS TAURANGA LIMITED PO BOX 864 SEVENTH AVENUE TAURANGA 3140	
THE BUILDING	BUILDING WORK
Street Address: 185 SIXTEENTH AVENUE  Legal Description: LOT 2 DPS87785	ERECT DWELLING
<p><b>This building consent is issued under Section 51 of the Building Act 2004. This building consent does not relieve the owner of the building (or proposed building) of any duty or responsibility under any other Act relating to or affecting the building (or proposed building). This building consent also does not permit the construction, alteration, demolition, or removal of the building (or proposed building) if that construction, alteration, demolition, or removal would be in breach of any other Act.</b></p> <p><b>This building consent is issued subject to following conditions :</b></p>	

On behalf of the Tauranga City Council:

Name: \_\_\_\_\_

Position: BUILDING CONSENT TECHNICIAN

Date: 31 JUL 2003

RECEIVED  
31 JUL 2003  
TAURANGA DISTRICT COUNCIL

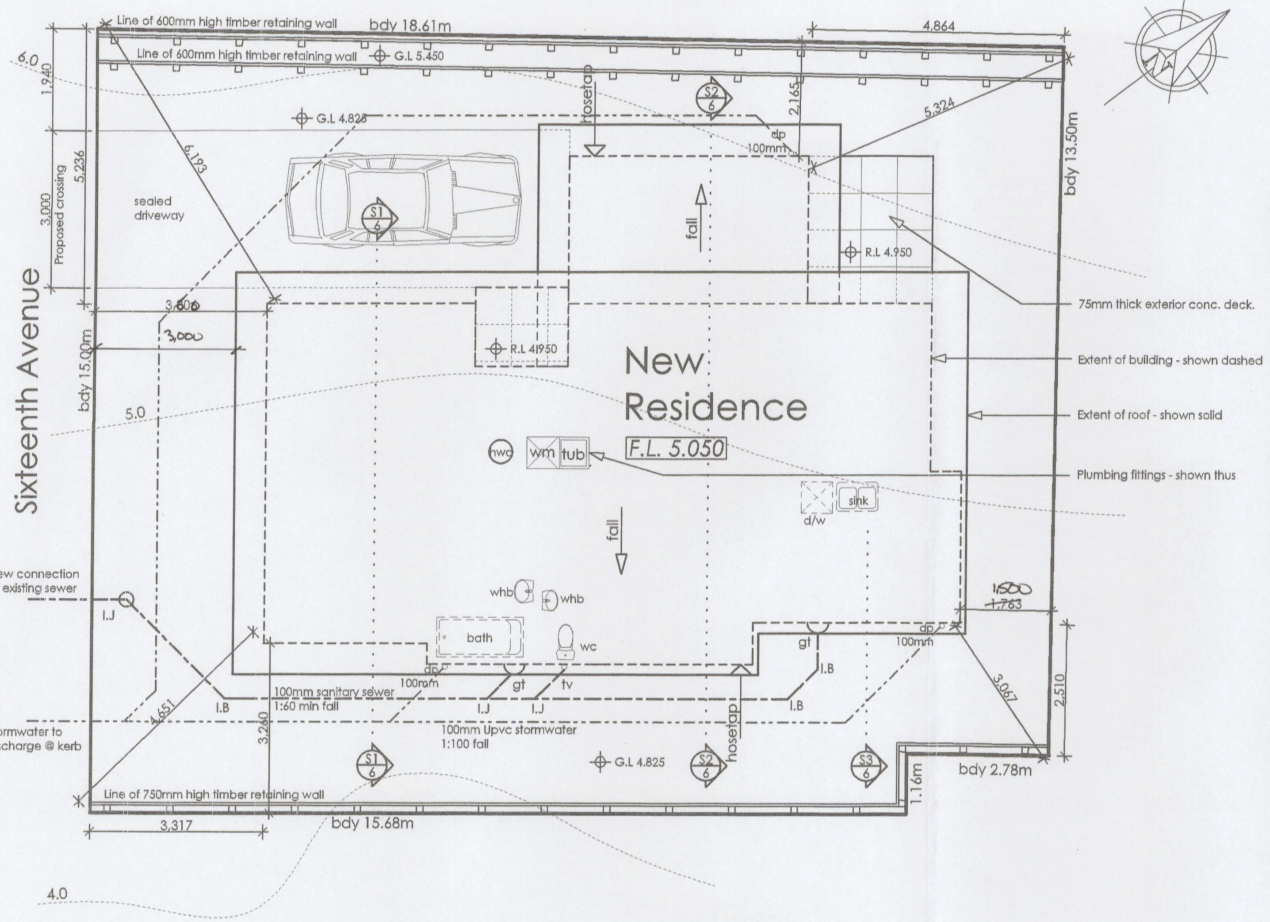
Lot 2  
DPS 87785  
271 sq.m

185 Sixteenth Ave  
Tauranga



Site & Drainage plan

**APPROVED**  
These plans are approved in accordance with  
The NZ Building Code.  
These plans must remain on site.  
BAY BUILDING CERTIFIERS



General Notes :

- All proprietary systems to be stored, handled and installed to manufacturers specifications
- All alterations or changes to contract works to be consulted with Designer/ Engineer prior to execution
- Contractor to verify all Dimensions, Site Levels, Boundaries, Service connection locations prior to construction.
- Do not scale from drawings.
- Insulation to meet NZBC E3/AS1 - ZONE 2 requirements for residential buildings  
R 1.5 in walls & R 1.9 in ceilings.
- All waterproof membrane roofing areas to be ventilated to prevent heat build-up and distortion.
- all lintels 90 x 45 KDMSG unless noted otherwise

ANOTHER DESIGN BY:

**insight**  
ARCHITECTURE LTD

**Richard Hale**  
NZCAD (Arch.)  
**Matthew D. Hodson**  
Nat.DipArch.  
Suite A  
184 Cameron Rd  
Tauranga, NZ  
ph. (07) 579 5295  
fax. (07) 579 5296  
mob. (021) 34 33 12  
email. insightarchitecture@man.com  
Architectural design & consulting services

PROJECT		DESIGN	SHEET
CLASSIC BUILDERS		R. Hale	01
RACHINGER RESIDENCE		M.D.H.	
DATE		19th June 03	REVISION
SCALE		1:100	
ISSUE		Building Consent	

\*all drawings & designs copyright to Insight Architecture Ltd.  
\*all building works to comply to NZS 3604 & NZBC requirements. \*check all dimensions prior to construction. \*do not scale off plans.



TCC397102

**NOTE: ALL BOTTOM PLATES TO BE 'H3' LOSP TREATED TIMBER.**

**WALL KEY:**

- 90 x 35 LOAD-BEARING Exterior 'H1' timber framing with studs @ 600 crs. U.N.O and 'H3' treated bottom plate.
- 90 x 35 NON LOAD-BEARING 'H1' treated internal timber framing with studs @ 600 crs.

**General Notes:**

- All proprietary systems to be stored, handled and installed to manufacturers specifications
- All alterations or changes to contract works to be consulted with Designer/ Engineer prior to execution
- Contractor to verify all Dimensions, Site Levels, Boundaries, Service connection locations prior to construction.
- Do not scale from drawings.

- Insulation to meet NZBC E3/AS1 - ZONE 2 requirements for residential buildings R 1.5 in walls & R 1.9 in ceilings.
- All waterproof membrane roofing areas to be ventilated to prevent heat build-up and distortion.
- all lintels 90 x 45 KDMSG unless noted otherwise

**Legend:**

- (A1) Bracing element - along building - refer specification
- (M1) Bracing element - across building - refer specification
- (G2) Reference to note - refer notes panel

ANOTHER DESIGN BY:

**insight**

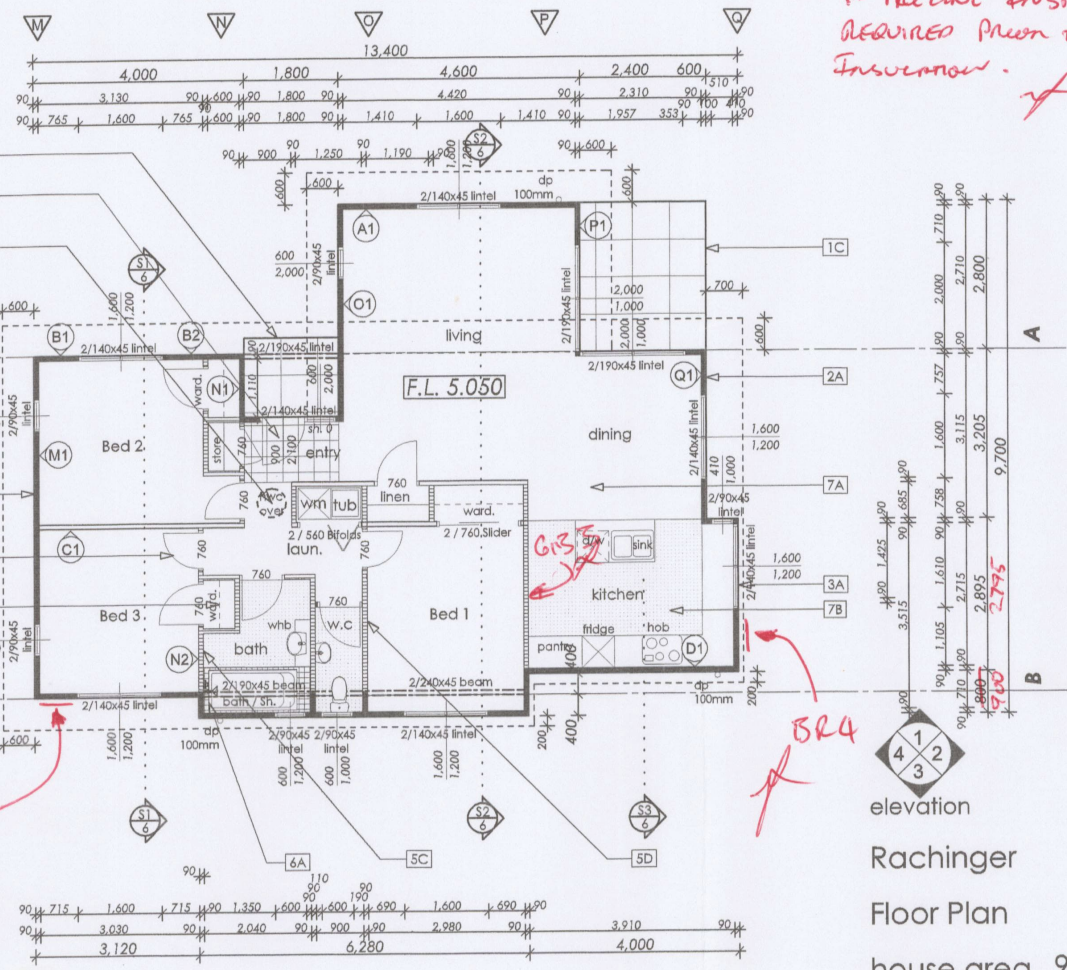
ARCHITECTURE LTD

**Richard Hale**  
NZCAD (Arch.)

**Matthew D. Hodson**  
Nat.Dip.Arch.

Suite A  
184 Cameron Rd  
Tauranga, NZ  
ph. (07) 579 5295  
fax. (07) 579 5296  
mob. (021) 34 33 12  
email. insightarchitecture@msn.com  
Architectural design & consulting services

PROJECT	DESIGN	SHEET
<b>CLASSIC BUILDERS</b>	R. Hale	<b>03</b>
	DRAWN M.D.H.	
	DATE 19th June 03	
	SCALE 1:100	
ISSUE	Building Consent	



elevation

**Rachinger**

**Floor Plan**

house area . 96.8 m<sup>2</sup>

**Domestic Smoke Alarms**  
**are required within**  
**3.0m of every**  
**sleeping space door.**

*A PRELIME INSPECTION IS REQUIRED PRIOR TO INSTALLING INSULATION.*

- NOTES:**
- Materials and Finishes**
- 1A Typical Perimeter Foundation - 20 series header block with 1/D12, 300 x 300 continuous concrete footing with 2/D12 bars and R6 ties @ 600 crs/ D12 starters @ 600 crs. 600mm into concrete slab.
  - 1B 100mm concrete slab with HRC 645 reinforcing mesh on 0.25mm polythene vapour barrier on 50mm sand blinding on compacted hardfill.
  - 1C Selected finish to 75mm concrete paved areas on 50mm sand blinding on compacted hardfill.
  - 1D Slab thickening below load bearing walls to be 300mm wide x 200 deep with 2/D12 bars & R6 ties @ 600 crs.
  - 2A Onduline exterior cladding installed to manufacturers spec. with breather type building paper on 90 x 35 KDMSG studs @ 600 crs U.N.O. with approved flashings to joinery.
  - 2B BHP 'G22' 0.55mm Corrugated coloursteel roofing on ex 75 x 50 purlins @ 900 crs on galv. wire mesh on Selected 90 x 35 Timber trusses @ max. 900 crs to manufacturers specifications in accordance with NZS 3603.
  - 3A Selected residential suite Powdercoated Aluminium window joinery with Selected glb rebated jamba
  - 3B Selected Powdercoated Aluminium garage door 'Tilta-a-door' type to match joinery colour.
  - 3C Selected Powdercoated Aluminium entry door to match joinery colour. Door handles to be lever type action.
  - 3D Selected Powdercoated Aluminium coverflashings to all corners & posts between joinery units to match joinery colour.
  - 4A 'Silikline' system with P.V.C. jointers soffit & eaves lining.
  - 4B Selected Fascia/ gutter system to manufacturers install method
  - 4C Selected Barge system to match fascia.
  - 5A 13mm Glb board ceiling lining to ex 75 x 40 ceiling battens @ 600 crs in dry areas. - Stopped to level 4.
  - 5B 13mm Glb 'aqualine' ceiling lining to ex 75 x 40 ceiling battens @ 600 crs in wet areas. - Stopped to level 4.
  - 5C 10mm Glb 'aqualine' wall lining (Horizontally fixed) to 90 x 35 timber studs @ 600 crs. to wet areas. - Stopped to level 4.
  - 5D 10mm standard Glb wall lining to 90 x 35 timber studs @ 600 crs. to dry areas. - Stopped to level 4.
  - 5E 75mm R1.8 Batt insulation to all exterior walls.
  - 5F 94mm R2.2 Batt insulation to all ceilings.
  - 6A Bath to be seated in 90 x 45 timber frame 'H3' with Hardies 4.5mm Hardiflex surround to be tiled - ensure adequate waterproofing prior to tiling with Dribond 'Liquid Flash' system.
  - 6B Selected Shelf & rail to wardrobes.
  - 6C Selected 60mm Bevel Edge skirting to wall / floor junctions. - Paint finish.
  - 6D All interior doors to be hollowcore paint quality flush doors with selected glb rebated jamba - paint finish. Door handles to be lever type action.
  - 6E Selected 180 Ltr Hot water cylinder installed to manufacturers spec.
  - 6F Selected Glb Cove to wall / ceiling junctions. - Paint finish.
  - 7A Selected carpet finish on approved underlay.
  - 7B Selected Vinyl floor covering to all wet areas.
  - 7C Selected non-slip tiles on grout on conc. slab.

**Dimension & Bracing Floor plan**

\*all building works to comply to NZS 3604 & NZBC requirements. \*check all dimensions prior to construction. \*do not scale off plans. \*all drawings & designs copyright to insight Architecture Ltd.

RECEIVED  
31 JUL 2003  
TAURANGA DISTRICT COUNCIL

RECEIVED

31 JUN 2003

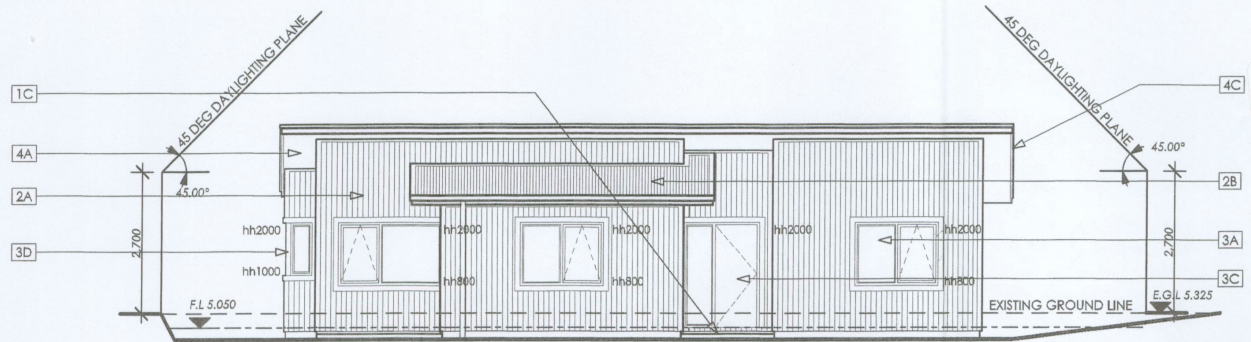
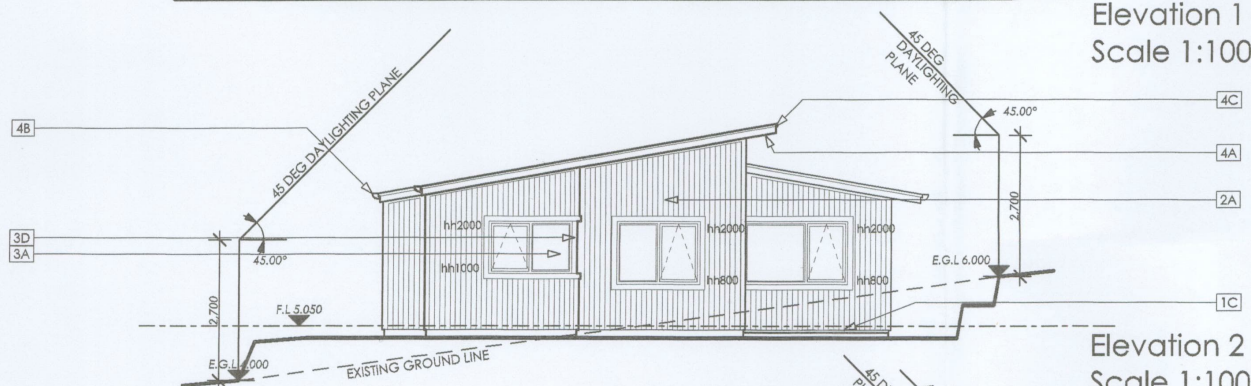
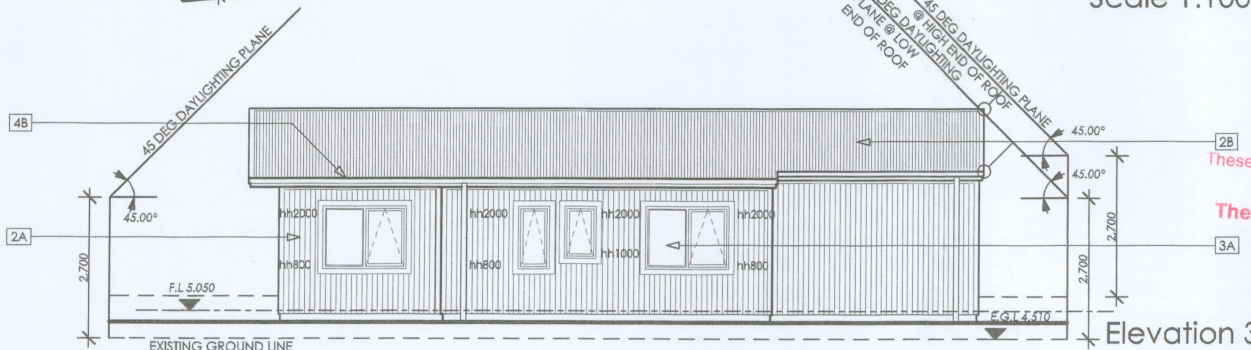
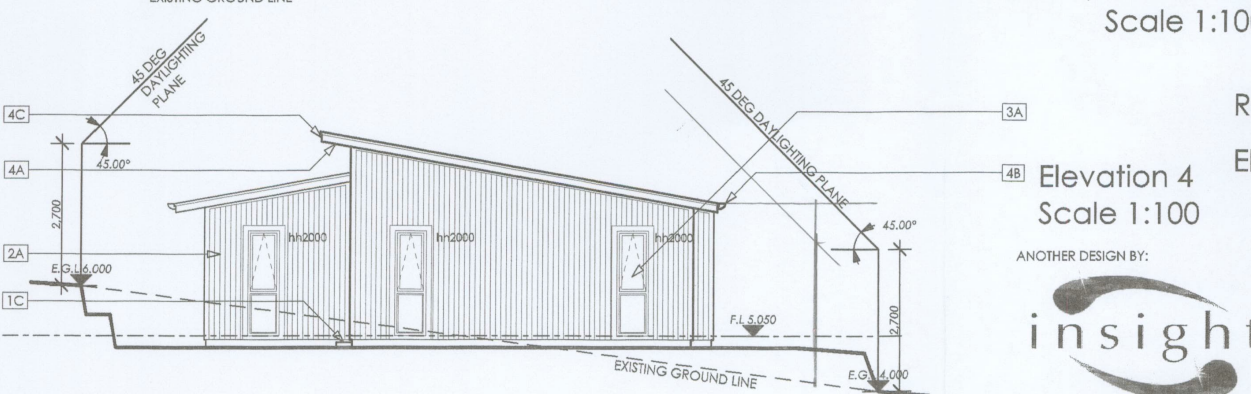
TAURANGA DISTRICT COUNCIL



TCC397103

## NOTES:

- Materials and Finishes**
- 1A Typical Perimeter Foundation - 20 series header block with 1/D12, 300 x 300 continuous concrete footing with 2/D12 bars and R6 ties @ 400 crs/ D12 starters @ 400 crs, 600mm into concrete slab.
  - 1B 100mm concrete slab with HRC 665 reinforcing mesh on 0.25mm polythene vapour barrier on 50mm sand blinding on compacted hardfill.
  - 1C Selected finish to 75mm concrete paved areas on 50mm sand blinding on compacted hardfill.
  - 1D Slab thickening below load bearing walls to be 300mm wide x 200 deep with 2/D12 bars & R6 ties @ 600 crs.
  - 2A Onduline exterior cladding installed to manufacturers spec. with breather type building paper on 90 x 35 KDMG studs @ 600 crs U.N.O. with approved flashings to joinery.
  - 2B BHP 'G22' 0.55mm Corrugated coloursteel roofing on ex 75 x 50 purlins @ 900 crs on galv. wire mesh on Selected 90 x 35 Timber trusses @ max. 900 crs to manufacturers specifications in accordance with NZS 3603.
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  - 3B Selected Powdercoated Aluminium garage door 'Tilt-a-door' type to match joinery colour.
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  - 3D Selected Powdercoated Aluminium coverflashings to all corners & posts between joinery units to match joinery colour.
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- Stopped to level 4.
  - 5B 13mm Glb 'aqualine' ceiling lining to ex 75 x 40 ceiling battens @ 600 crs in wet areas.  
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  - 5C 10mm Glb 'aqualine' wall lining (Horizontally fixed) to 90 x 35 timber studs @ 600 crs. to wet areas.  
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  - 6B Selected Shelf & rail to wardrobes.
  - 6C Selected 60mm Bevel Edge skirting to wall / floor junctions.  
- Paint finish.
  - 6D All interior doors to be hollowcore paint quality flush doors with selected glb rebated jambs - paint finish. Door handles to be lever type action.
  - 6E Selected 180 Ltr Hot water cylinder installed to manufacturers spec.
  - 6F Selected Glb Cove to wall / ceiling junctions.  
- Paint finish.
  - 7A Selected carpet finish on approved underlay.
  - 7B Selected Vinyl floor covering to all wet areas.
  - 7C Selected non-slip tiles on grout on conc. slab.

Elevation 1  
Scale 1:100Elevation 2  
Scale 1:100Elevation 3  
Scale 1:100Elevation 4  
Scale 1:100

**APPROVED**  
These plans are approved in accordance with  
The NZ Building Code.  
These plans must remain on site.  
BAY BUILDING CERTIFIERS

Rachinger  
Elevation

ANOTHER DESIGN BY:

**insight**  
ARCHITECTURE LTD

Richard Hale  
NZCAD (Arch.)Matthew D. Hodson  
Nat.DipArch.

Suite A  
184 Cameron Rd  
Tauranga, NZ  
ph. (07) 579 5295  
fax. (07) 579 5296  
mob. (021) 34 33 12  
email. insightarchitecture@msn.com  
Architectural design & consulting services

PROJECT		SHEET	
CLASSIC BUILDERS		04	
DRAWN	R. Hale	DATE	19th June 03
SCALE	1:100	REVISION	
ISSUE		Building Consent	
RACHINGER RESIDENCE			

Elevations

\*all building works to comply to NZS 3604 &amp; NBC requirements. \*check all dimensions prior to construction. \*do not scale off plans. \*all drawings &amp; designs copyright to Insight Architecture Ltd.

## As Built

### Drainage Plan

Drainage Plan for:

Street No: 185 16 Ave

Street 16 Ave

Lot 2 D.P. 387785

Suburb \_\_\_\_\_

Owner \_\_\_\_\_

Type of Building Dwelling

Drainlayer J and T Plumbing

Date of Inspection 9/10/03

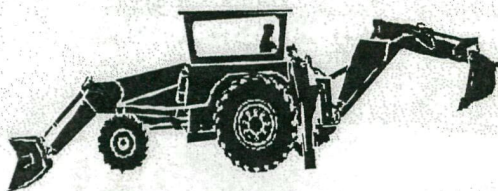
Inspector *[Signature]*

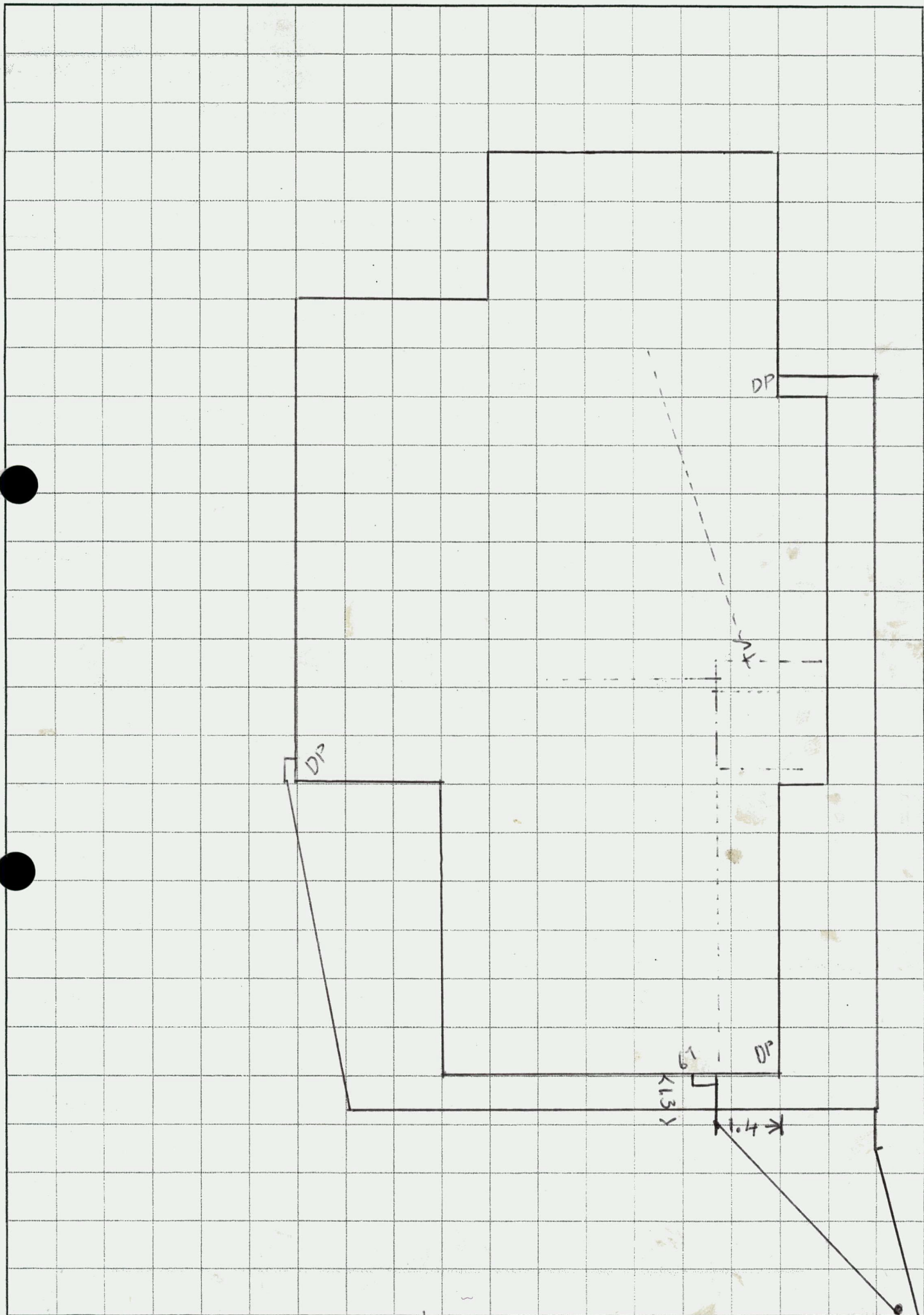
Drainage Permit No: 11546

**NOTE: Plan to be drawn in black ballpoint on graph opposite**

#### Plan to include:

- 1 The correct position of the drains in relation to the building and boundaries.
- 2 The position of the street frontage.
- 3 Depth of drains at connection point.
- 4 Both foulwater and stormwater drains to be drawn.
- 5 Clearly define all inspection openings, with accurate measurements from two points.
- 6 Clearly define all buildings and boundaries.
- 7 Refer to example drain plan back page.





16 Ave Storm water to kerb 500



Willow Street, Tauranga  
Private Bag 12022, Tauranga 3143  
Telephone: 07 577 7000. Facsimile 07 577 7034

# CODE COMPLIANCE CERTIFICATE NO: 11546

Section 95, Building Act 2004

## THE OWNER

ROBERTS & CO DEVELOPMENTS LIMITED  
C/O IOAN ROBERTS  
298 GRANGE ROAD  
OTUMOETAI  
TAURANGA 3110

## CONTACT PERSON

ROBERTS & CO DEVELOPMENTS LIMITED  
C/O IOAN ROBERTS  
298 GRANGE ROAD  
OTUMOETAI  
TAURANGA 3110  
Ph  
Email/website:

### The building

Street address of building: 185 SIXTEENTH AVENUE

Legal description of land where building is located: LOT 2 DPS87785

Building name: N/A

Current, lawfully established use: DWELLING

Year first constructed: 2003

First point of contact for communications with the council/building consent authority: Tauranga City Council, Building Services, Private Bag 12002, Tauranga 3143, phone 07 5777000, fax 07 5777034, [info@tauranga.govt.nz](mailto:info@tauranga.govt.nz)

**Building work:** ERECT DWELLING (excluding the retaining walls which are under COA 190422)

**Amendment:** N/A

Building consent number: 11546

Issued by: Tauranga City Council

### Code compliance

The building consent authority named below is satisfied, on reasonable grounds, that -

- a) the building work complies with the building consent
- b) This consent has been issued subject to a modification of Clause B2.3.1 of the New Zealand Building Code. The modification has the effect that the required durability periods for the building elements put in place in the course of the work carried out under this building consent, are to be measured from the date of substantial completion of the building work being the agreed date. The agreed date is 30 October 2003, not the date of issue of the Code Compliance Certificate.

**Compliance Schedule:** N/A

Signature

BUILDING QUALITY AND PROJECTS MANAGER: BUILDING SERVICES  
On behalf of: Tauranga City Council

Date: 22 Mar 2019



## Form 9

### Certificate of Acceptance - CA190422

Section 99, Building Act 2004

#### The building

Street address of building: 185 SIXTEENTH AVENUE, TAURANGA SOUTH,  
TAURANGA

Legal description of land where building is located: LOT 2 DPS 87785

Building name:

Location of building within site/block number: 185 Sixteenth Avenue  
Tauranga South  
Bay Of Plenty  
Tauranga  
3112

Level/unit number:

#### The owner

Name of owner: Roberts And Co Developments Limited

Contact person: Ioan Roberts

Mailing address: 298 Grange Road  
Otumoetai  
Bay Of Plenty  
Tauranga 3110

Street address/registered office:

Phone number: Landline: 0274552559 Mobile:

Facsimile number:

Email address: megan.benson@mikepero.com

Website:

First point of contact for communications with the council/building consent authority: Megan Benson; Mailing Address: 299 Cameron Road  
Tauranga  
Bay Of Plenty  
Tauranga 3110; Phone: 0274552559; Email: megan.benson@mikepero.com

#### Acceptance of Compliance

The territorial authority named below is satisfied, to the best of its knowledge and belief and on reasonable grounds, that, insofar as it can ascertain, the building work described below complies with the building code:

#### Building Work Description:

Retaining Wall

The territorial authority was only able to inspect the following parts of the building work and this certificate is qualified as follows:

**Qualifications to Certificate:**

The retaining wall

Council was only able to inspect the completed retaining wall and this Certificate is therefore qualified as follows:

The retaining wall has been assessed as complying with Building Code Clause B1 Structure, and specifically B1.3.1, B1.3.3 (a) & (b), B1.3.4, and B1.3.7.

Building Code Clauses not mentioned above have been excluded, or, are not relevant.

This Certificate of Acceptance only applies to the building work listed under the "Building Work Description" that has been undertaken without building consent where a building consent was required.

This Certificate of Acceptance does not cover any building work that is, or was exempt from requiring building consent under Schedule 1 of the Building Act. Nor does it cover any other building work. For clarity this excludes any part of the retaining wall that is not surcharged, or any other structure, existing or otherwise.

If non-compliance with building code provisions is deemed to affect safety of building users, a Notice to Fix will likely be issued requiring the Owner to obtain building consent and undertake the work necessary to ensure safety of building users.

Nothing in this certificate limits the requirement that a person must not carry out building work except in accordance with a building consent, nor does it relieve any person from the requirement to obtain a building consent for building work.

**Attachments**

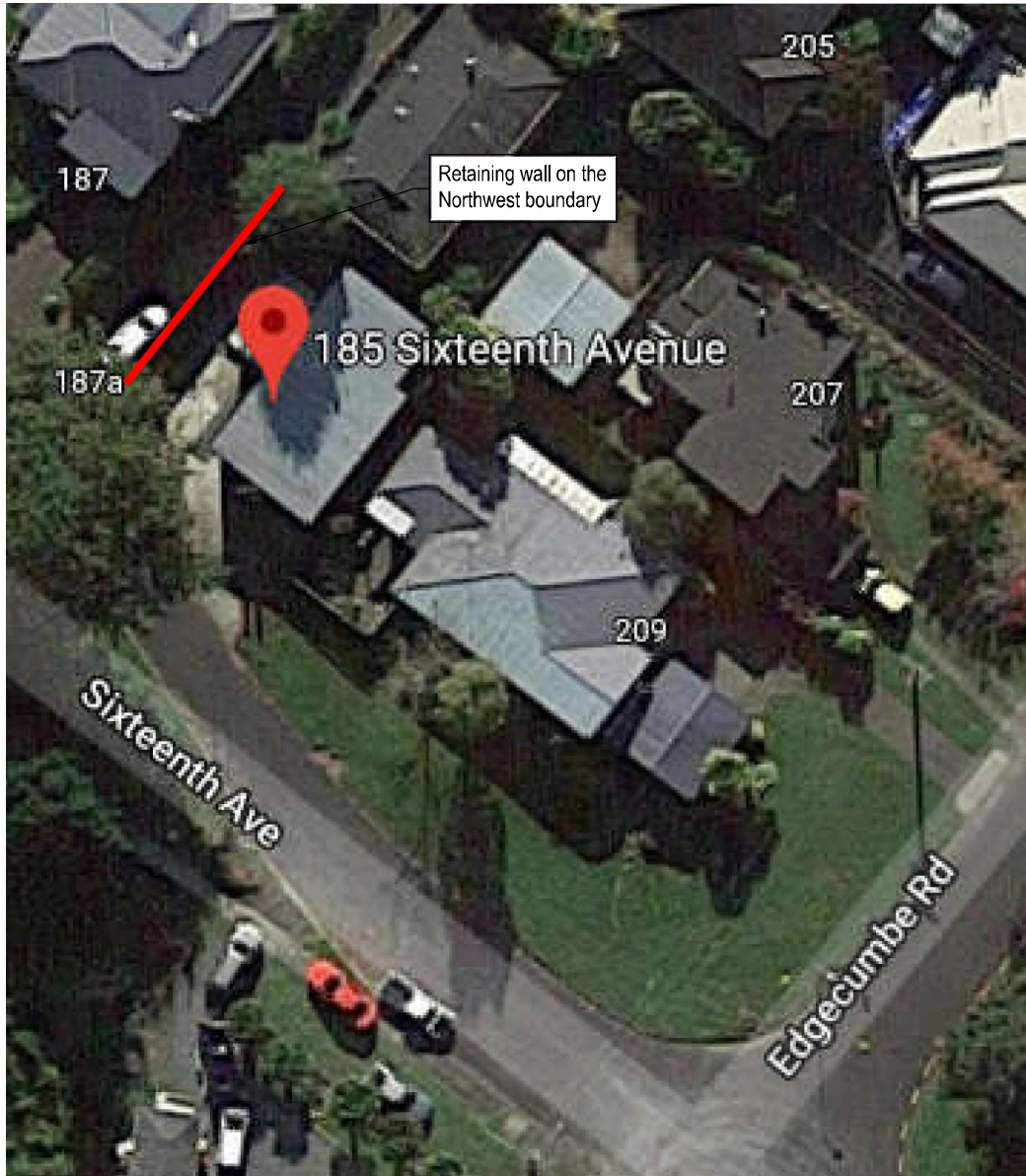
Copies of the following documents are attached to this certificate of acceptance:

- There are no additional attachments for this certificate of acceptance.

Steve Ferguson  
Environmental Protection

On behalf of: Tauranga City Council

Issue Date: 11 Mar 2019



**Site Plan**  
Scale: 1:250



**Location Plan**  
Scale: 1:5000

adding 'engineuity' to building projects




Providing the services of:

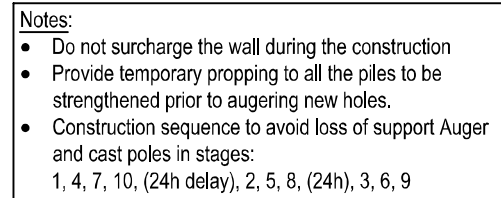
**Consulting Professional Engineers**

**Notes:**

1. Contractor shall check all dimensions on site before fabrication.
2. Dimensions shall not be obtained by scaling the structural drawings.
3. All dimensions are in millimetres unless noted otherwise.
4. These drawings shall be read in conjunction with all other consultants drawings and specifications and with such other written instructions as may be issued during the course of the contract. All discrepancies shall be referred to the Engineer for decision before proceeding with the work.
5. Setting out dimensions shown on the drawings shall be verified by the Contractor.
6. During the construction, the structure shall be maintained in a stable condition and no part shall be over-stressed. Temporary structures, formwork, falsework, temporary bracing, shoring and the like shall be the sole responsibility of the Contractor.
7. Substitutions are to be made only with the approval of the Engineer.
8. Where the Engineers are engaged for inspections and/or supervision, a minimum of 24 hours notice shall be given.

I	18/12/18	ED	Issue for Consent
Revision	Date	Drawn	Description
Client:			
Roberts and Co Developments			
Project:			
Strengthening of Retaining Wall			
185 Sixteenth Avenue, Tauranga			
Drawing Title:			
Site & Location Plans			
Engineer: Maurizio Sirena Drawn: Ed Decelo			
Date: December 2018 A3 Scale: As Indicated			
Project No. Drawing No. Revision			
I8242-I G01 I			
 <div> Redco NZ Ltd  Redco House  470 Otumoa Road  TAURANGA, 3110  Telephone: 07 571 7070  Facsimile: 07 571 7080  Email: tred@redco.co.nz  www.redco.co.nz </div>			
Consulting Professional Engineers			

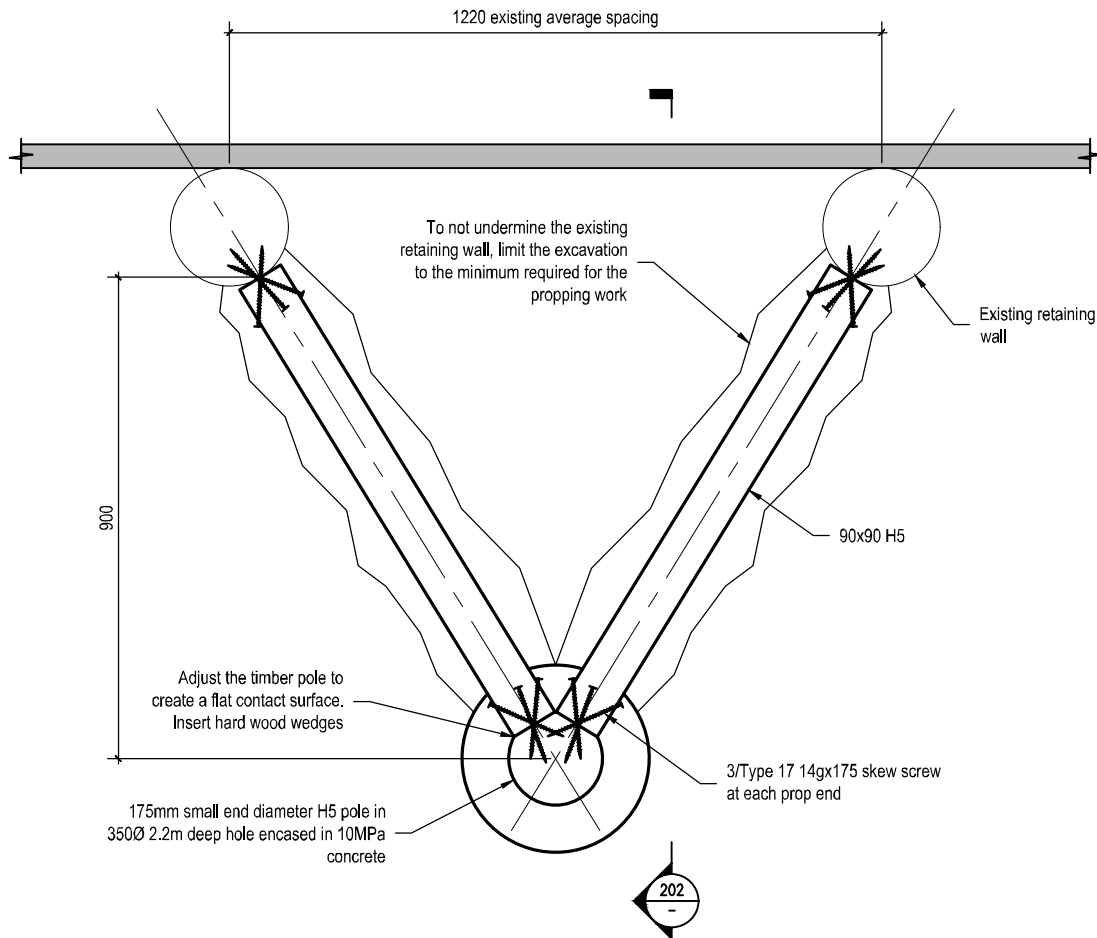
1. Contractor shall check all dimensions on site before fabrication.
2. Dimensions shall not be obtained by scaling the structural drawings.
3. All dimensions are in millimetres unless noted otherwise.
4. These drawings shall be read in conjunction with all other consultants drawings and specifications and with such other written instructions as may be issued during the course of the contract. All discrepancies shall be referred to the Engineer for decision before proceeding with the work.
5. Setting out dimensions shown on the drawings shall be verified by the Contractor.
6. During the erection, the structure shall be maintained in a stable condition and no part shall be over-stressed, over-extended, over-worked, subjected to temporary bracing, shoring and the like shall be the sole responsibility of the Contractor.
7. Substitutions are to be made only with the approval of the Engineer.
8. Where the Engineers are engaged for inspections and/or supervision, a minimum of 24 hours notice shall be given.



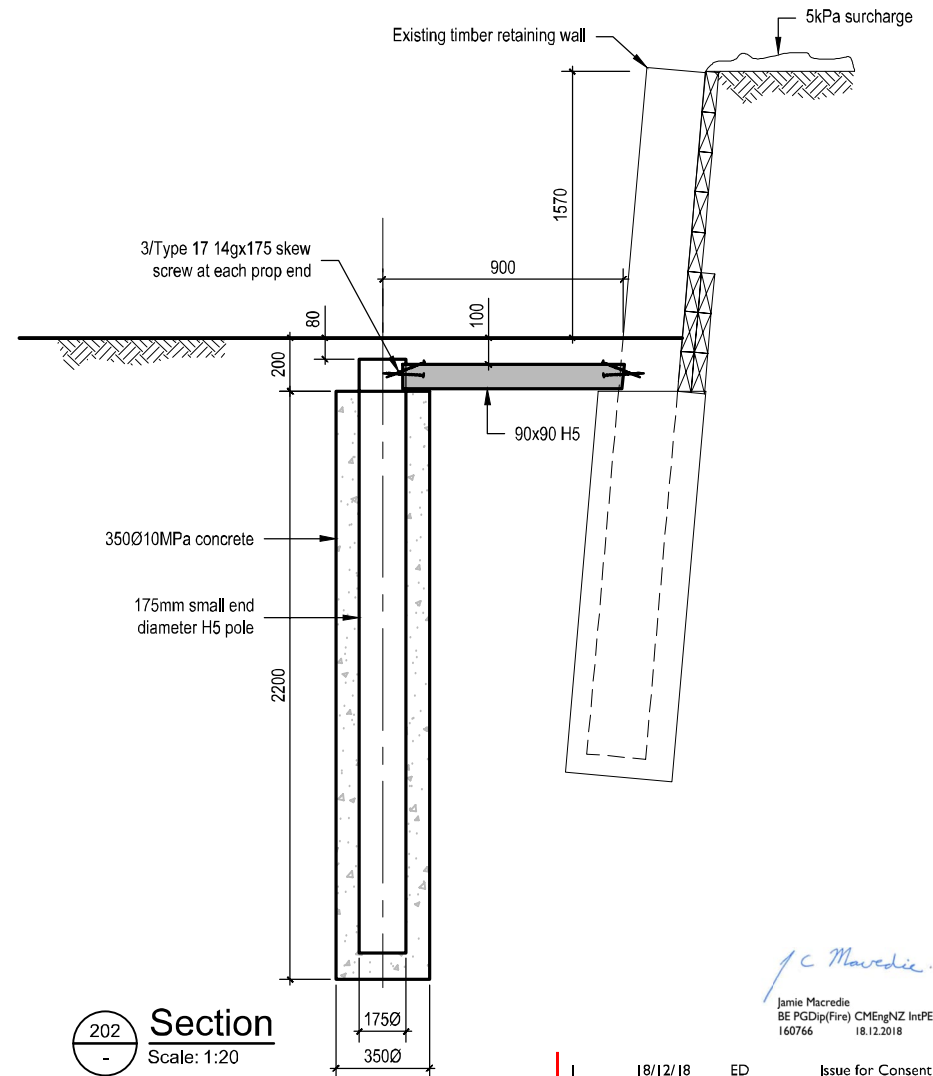
Scale: 1:50

J C Macredie.  
 Jamie Macredie  
 BE PGDip(Fire) CMEngNZ IntPE  
 160766 18.12.2018

Client:		Project:		Drawing Title:		<div><div></div><div>Redco NZ Ltd Redco House 470 Oramoetua Road TAURANGA, 3110 Telephone: 07 571 7070 Facsimile: 07 571 7080 Email:red@redco.co.nz www.redco.co.nz</div></div> <div>Consulting Professional Engineers</div>		I 18/12/18 ED Issue for Consent			
Roberts and Co Developments		Strengthening of Retaining Wall 185 Sixteenth Avenue, Tauranga		Proposed Retaining Wall Strengthening Plan				Revision	Date	Drawn	Description
								Engineer:	Maurizio Sirena	Drawn:	Ed Decelo
								Date:	December 2018	A3 Scale:	1:50
								Project No.	18242-I	Drawing No.	S01
											I



**201 Plan Detail**  
Scale: 1:10



**202 Section**  
Scale: 1:20

#### Notes:

1. Contractor shall check all dimensions on site before fabrication.
2. Dimensions shall not be obtained by scaling the structural drawings.
3. All dimensions are in millimetres unless noted otherwise.
4. These drawings shall be read in conjunction with all other consultants drawings and specifications and with such other written instructions as may be issued during the course of the contract. All discrepancies shall be referred to the Engineer for decision before proceeding with the work.
5. Setting out dimensions shown on the drawings shall be verified by the Contractor.
6. During the construction, the structure shall be maintained in a stable condition and no part shall be over-stressed. Temporary structures, formwork, falsework, temporary bracing, shoring and the like shall be the sole responsibility of the Contractor.
7. Substitutions are to be made only with the approval of the Engineer.
8. Where the Engineers are engaged for inspections and/or supervision, a minimum of 24 hours notice shall be given.

*JC Macredie*  
Jamie Macredie  
BE PGDip(Fire) CMEngNZ IntPE  
160766 18.12.2018

Client:  
**Roberts and Co Developments**

Project:  
**Strengthening of Retaining Wall  
185 Sixteenth Avenue, Tauranga**

Drawing Title:  
**Details**



Redco NZ Ltd  
Redco House  
470 Ocumotai Road  
TAURANGA, 3110  
Telephone: 07 571 7070  
Facsimile: 07 571 7080  
Email: red@redco.co.nz  
www.redco.co.nz

**Consulting Professional Engineers**

Revision	Date	Drawn	Description
1	18/12/18	ED	Issue for Consent
Engineer:	Maurizio Sirena	Drawn:	Ed Decelo
Date:	December 2018	A3 Scale:	As Indicated
Project No:	18242-I	Drawing No:	S02
		Revision:	1

## **General Description of Land Form within Tauranga District**

The land form and geology within Tauranga District have some features which demand particular attention.

### **(a) Minimum Building Platform Levels**

Significant areas of Tauranga District are at risk of flooding through sea level rise, tidal surges within the harbour, storm-wave runup on the ocean coastline and the flooding of streams, sewer drains, ponding areas and overland flow paths in extreme climatic conditions. Council has some “broadbrush” information on many possibly flood prone areas. More detailed investigations by appropriately qualified people may be required to be submitted in support of Resource and Building consents. Building Platforms should be constructed with adequate freeboard above flood levels. Council has adopted a minimum floor level policy. This level is available from Council on request from Council’s Development Engineer. However due to the dynamic nature of the environment and the ongoing investigative work these levels may be reviewed at any time. For the purposes of this clause, a “building platform” is defined as the area of ground within a line 1.0m outside the perimeter of the building proper.

### **(b) Low-lying Land**

There are many areas of low-lying land (often adjacent to the harbour) which comprise soft or very soft foundation conditions. These conditions are characterised by normally consolidated fine grained alluvial sediments (silts and clays) which have been deposited in marine or estuarine environments. In many areas they have been subject to random and non-engineered fillings. The materials are prone to settlement caused by consolidation under even minor loadings. These areas require particular care and appropriate geotechnical investigation and advice prior to development concepts being prepared. Whilst most of the Mount Maunganui/Papamoa area has an underlying sand formation, pockets of peat and “black sand” occur which exhibit poor foundation support qualities. These should be removed from building platforms and roading subgrades.

### **(c) Sloping Ground**

The foundation conditions of the low-lying areas in the District have been described in (b) above. The near surface geology of the higher ground within the District comprises a series of weathered fine grained rhyolitic ashes known locally as the Older Ashes. The Older Ashes consist of the Pahoia Tuffs overlain by the Hamilton Ash (the top of which is known locally as the “chocolate” layer).

Overlying the Older Ashes is a series of coarse friable silts, sands and pumice lapilli which tends to mantle the topography formed within the Older Ashes and are known locally as the Younger Ashes.

On some sloping ground, particularly the present and relic slips adjacent to the harbour, the ashes often have marginal stability and there are numerous examples of past and recent instability. Deep seated failures are generally confined to the steep banks which are or have in their history been subjected to active toe erosion. Development must be set back from the top of such steep banks, with the set back distance being determined by appropriate geotechnical investigations carried out by a Person who has pre-qualified with Council as a Specialist Geotechnical Advisor.

The majority of other failures on modest to steeply sloping ground are shallow failures (involving the top 1m to 3m of soil), but are nonetheless of serious consequence to any building development. Such failures are usually initiated by extreme climatic conditions. Any sloping ground greater than 15 degree gradient should be subject to appropriate geotechnical investigations to determine whether the ground is adequately stable for development.

p176-185-1

- 3 SEP 2003

RECEIVED

**ARNOLD & JOHNSTONE LTD**  
CONSULTING CIVIL & STRUCTURAL ENGINEERS

PHONE (07) 5780921

FAX: (07) 5780924

PO Box 933,

Tauranga

Email:

aje@clear.net.nz

ENTERED

TO: Roger Bruce

OF: Bay Building certifiers Ltd

FAX NO: auto

PAGES: 1 of 1

FROM:

Ismo Torvelainen

REF NO:

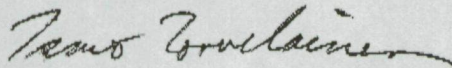
9218

DATE: 3/9/03

**SUBJECT: CLASSIC BUILDERS LTD**  
**185 SIXTEENTH AVE**  
**COMPACTED HARDFILL**

This is to confirm that I have visited the site at the above location on 1/9/03 and I have inspected the placement of the compacted sand hardfill to the underside of proposed concrete floor. Based on the scala penetrometer tests I am satisfied the hardfill has been compacted to my satisfaction and will be adequate to support the imposed design loads and satisfies the building consent requirements.

Yours faithfully



Ismo Torvelainen  
Registered Engineer  
ARNOLD & JOHNSTONE LTD



Copy to Classic Builders Ltd

**Producer Statement Received**From: Arnold + JohnstoneFor: Soil Compaction

Re Point #1 Council Letter dated 22/1/2018  
#1 24/10/2018



## Building Location Certificate

TCC Reference: (BC / RC)	Building Consent #11546		
Applicant/Owner:	DANIEL MORRIS		
Property Address:	185 16th Avenue, TAURANGA		
Legal Description: (Lot / DP)	LOT 2 DPS 87785	CT/CFR	SA696/487

**A. Floor Level** survey required by TCC? ☐ Yes ☐ No (go to Section B)

1. The following was surveyed: ☐ Completed Floor ☐ Other (specify)

2. Do the approved Building Consent plans have a specified minimum floor level? ☐ Yes ☐ No  
(If 'Yes' then complete Option A and Option B below)

3. Survey Date:

4. **Option A** *N/A* **Option B**

The Surveyed floor level is RL =  
☐ Moturiki Datum  
☐ Other (E.g. assumed Datum)

Origin of Levels:  
(E.g. consent notice requirement, approved BC plans, etc.)

5. Comments:

**B. Building Location** survey required by TCC? ☐ Yes ☐ No (go to Section C)

1. The following was surveyed: ☐ Completed Floor ☒ Other (please comment below)

2. Survey Date: 8/6/2018

3. The surveyed building footprint is in accordance with the setbacks shown on the approved Building Consent Plans.  
NB: where necessary the 'footprint' will factor in the exterior cladding projecting past the foundation. Walls and eaves must comply with C/AS1/5.1.1(a), 5.2. & Fig. 5.1. Attach drawings or photos with comments if you think there is an issue.

*The building was surveyed and found to be in excess of 1m from eastern boundary*

4. Comments: *This is in line with Plan 01 from Insight Architecture.*

**C. Overshadowing** survey required by TCC? ☐ Yes ☐ No (go to Section D)

1. The building was surveyed and complies with the City Plan rules for overshadowing or relevant Resource Consent.  
NB: Where overshadowing is allowed by permitted intrusions, written approval, or Resource Consent, illustrations are required.

☒ Yes ☐ No ☐ See attached plan/photos (as/if required)

2. Survey Date: 8/6/2018

3. Comments (including boundaries specified): *The building complies with daylighting along the eastern boundary.*

**D. Survey Firm Declaration**

1. We have been engaged by the applicant stated above and have carried out the necessary field survey(s) to confirm the items detailed above and believe on reasonable grounds that the information provided is true and accurate within acceptable survey tolerances.

2. Survey Firm: Tauranga Land Surveying

3. Survey Firm Contact Details:

Postal Address: P.O. Box 13305 TOA 3141

Email: survey@tauranga.co.nz

Phone: 027 44370527

4. Licensed Cadastral Surveyor (delete as appropriate)  
Registered Professional Surveyor (signed on behalf of Survey Firm)

Print Name: K. R. Lister

Signature: *K. R. Lister*

License No: 2018621

RPSurv No:

Date: 12/11/2018

Tauranga Land Surveying Ltd

PO Box 13305

Tauranga 3141

027 44 37 527

12/11/2018

## PRODUCER STATEMENT – PS4 – CONSTRUCTION REVIEW

(Guidance on use of Producer Statements (formerly page 2) is available at [www.engineeringnz.org](http://www.engineeringnz.org) )

ISSUED BY: Redco NZ Ltd  
(Construction Review Firm)

TO: Daniel Morris  
(Owner/Developer)

TO BE SUPPLIED TO: Tauranga City Council  
(Building Consent Authority)

IN RESPECT OF: Construction Monitoring at 185 Sixteenth Avenue (Redco Project No. 18242-cm)  
(Description of Building Work)

AT: 185 Sixteenth Avenue  
(Address)

Town/City: Tauranga LOT 2 DP 87785 SO  
(Address)

We Redco NZ Ltd  
(Construction Review Firm) have been engaged by Megan Benson - Mike Pero Real Estate

To provide ☐ CM1 ☒ CM2 ☐ CM3 ☐ CM4 ☐ CM5 (Engineering Categories) or ☐ observation as per agreement with owner/developer.

or ☒ other .....services  
(Extent of Engagement)

in respect of clause(s) **B1** ..... of the Building Code for the building work described in documents relating to Building Consent No. **N/A** ..... and those relating to

Building Consent Amendment(s) Nos. .... issued during the course of the works. We have sighted these Building Consents and the conditions of attached to them.

Authorised instructions/variation(s) No. .... (copies attached) or by the attached Schedule ☐ have been issued during the course of the works.

On the basis of ☒ this review ☐ these review(s) and information supplied by the contractor during the course of the works and **on behalf of the firm** undertaking this Construction Review, **I believe on reasonable grounds** that ☐ All or ☒ Part only of the building works have been completed in accordance with the relevant requirements of the

Building Consent and Building Consent Amendments identified above, with respect to Clause(s) **B1** ..... of the Building Code. I also believe on reasonable grounds that the persons who have undertaken this construction review have the necessary competency to do so.

I, Jamie Macredie ..... am: ☒ CPEng 160766 # ☐ Reg Arch ..... #  
(Name of Construction Review Professional)

I am a member of: ☒ Engineering New Zealand ☐ NZIA and hold the following qualifications **BE PGDip(Fire) CMEngNZ CPEng IntF**  
The Construction Review Firm issuing this statement holds a current policy of Professional Indemnity Insurance no less than \$200,000\*.

The Construction Review Firm is a member of ACENZ: ☐

SIGNED BY: Jamie Macredie ..... (Signature) .....  
(Name of Construction Review Professional)

ON BEHALF OF Redco NZ Ltd ..... Date 25/01/2019  
(Construction Review Firm)

*Note: This statement shall only be relied upon by the Building Consent Authority named above. Liability under this statement accrues to the Design Firm only. The total maximum amount of damages payable arising from this statement and all other statements provided to the Building Consent Authority in relation to this building work, whether in contract, tort or otherwise (including negligence), is limited to the sum of \$200,000\*.*

This form is to accompany **Forms 6 or 8 of the Building (Form) Regulations 2004** for the issue of a Code Compliance Certificate.

**THIS FORM AND ITS CONDITIONS ARE COPYRIGHT TO ACENZ, ENGINEERING NEW ZEALAND AND NZIA**



Providing the services of:

Consulting Professional Engineers

adding 'engineuity' to building projects

Redco NZ Ltd  
Redco House  
470 Otumoaetai Road  
TAURANGA 3110  
Telephone: 07 571 7070  
Facsimile: 07 571 7080  
Email: red@redco.co.nz  
www.redco.co.nz

## SITE VISIT REPORT

Page

Client: **Roberts and Co Developments**

14 Jan '19

Project: **Construction Monitoring at 185 Sixteenth Avenue**

Project No. **18242-cm**

Site Address: **185 Sixteenth Avenue, Tauranga**

<b>Site Visit by:</b>	<b>Maurizio Sirena</b>	<b>Accompanied by:</b>	<b>Building Consent #:</b>
<b>Office Departure time:</b> 1.15pm	<b>Site Arrival Time:</b> 1.30pm	<b>Total Travel Time:</b> 30min	<b>Distance there:(km)</b> 7
<b>Site Departure Time:</b> 2.05pm	<b>Office Arrival Time:</b> 2.20pm	<b>Total Time on Site:</b> 35min	<b>Distance Back:</b> 7

<b>Weather conditons:</b>	Fine	Overcast				
<b>Ground/site conditions:</b>	Clear	Dry	Damp	Wet	Saturated	

<b>Contractors on site:</b>	<b>Men:</b>	<b>Progress:</b>
Tom - Meridian Building	phone number: 021 247 7171	
	email: meridianbuilding@xtra.co.nz	

<b>Construction Monitoring Carried Out: - In support of Producer Statement - Construction Review (PS4)</b>	<b>Consent Documents sighted:</b>	<b>Yes/No</b>
<b>Elements of Construction Observed:</b>	<b>Corrective actions required:</b>	<b>Completed by:</b>
1) Depth and dia. of drilled holes	1)	
2) Length and diameter of timber piles	2)	
3) Distance centre of the hole to retaining wall is 900mm as required	3)	
4)	4)	
5)	5)	
6)	6)	

**Contractor:** Corrective actions required have been completed, and construction is in accordance with

Consent documents. Signed ..... Date: .....

Return signed copy to REDCO by fax/email on completion of corrective actions.

<b>Contractors queries:</b>	<b>Response:</b>

Bored piles depth was measured from the excavated level which is about 250mm below finished level.

Pole 1 depth 2400mm	
Pole 4 depth 2250mm	
Pole 7 depth 2150mm	
Pole 10 depth 2100mm	

<b>Site Instructions:</b>	<b>Issued by:</b>	<b>Date:</b>

### Comments/Events:

At the time of the inspection there was nothing surcharging the wall on the boundary property as required

The recommendation on S02 to limit the excavation to the minimum required was not followed as all the ground in front of the wall has been excavated

The timber pile that are on site have a diameter between 170mm and 185mm which is in some cases less than 175mm as indicated on the drawing

The length of the timber piles is 1800mm to 2100mm less the required length of 2220mm therefore, these piles are not acceptable.

We recommend the builder to place the top of the piles at a level of 1650mm below the top of the retaining wall

Bored piles dia. is 350mm or grater - OK

We recommend the builder to increase pole No.10 depth as indicated on the drawing

Visit confirmed: .....

Site Representative

Signed: .....

Redco NZ Ltd Representative



adding 'engineuity' to building projects

Redco NZ Ltd  
Redco House  
470 Otumoetai Road  
TAURANGA 3110  
Telephone: 07 571 7070  
Facsimile: 07 571 7080  
Email: red@redco.co.nz  
www.redco.co.nz

Providing the services of:

Consulting Professional Engineers

## SITE VISIT REPORT

Page

Client: **Roberts and Co Developments**

23 Jan '19

Project: **Construction Monitoring at 185 Sixteenth Avenue**

Project No. **18242-cm**

Site Address: **185 Sixteenth Avenue, Tauranga**

Site Visit by: **Maurizio Sirena**

Accompanied by:

Building Consent #:

Office Departure time: 1.15pm

Site Arrival Time:

1.30pm

Total Travel Time: 30min

Distance there:(km)

Site Departure Time: 2.15pm

Office Arrival Time:

2.30pm

Total Time on Site: 45min

Distance Back:

Weather conditons: Fine Overcast

Ground/site conditions: Clear Dry Damp Wet Saturated

Contractors on site:

Men:

Progress:

Tom Vanstone

Construction Monitoring Carried Out: - In support of Producer Statement - Construction Review (PS4)

Consent Documents sighted:

Yes/No

Elements of Construction Observed:

Corrective actions required:

Completed by:

Date:

1) Retaining wall timber props - including: Level, fixings and size

1)

2)

2)

3)

3)

4)

4)

5)

5)

6)

6)

**Contractor:** Corrective actions required have been completed, and construction is in accordance with

Consent documents. Signed ..... Date: .....

Return signed copy to REDCO by fax/email on completion of corrective actions.

Contractors queries:

Response:

To follow up:

Actioned by:

Date:

Site Instructions:

Issued by:

Date:

Comments/Events:

The level of the props was found to be 1750mm below top rail instead of 1670mm

Corrective action is required. Props shall be uplifted to the right level.

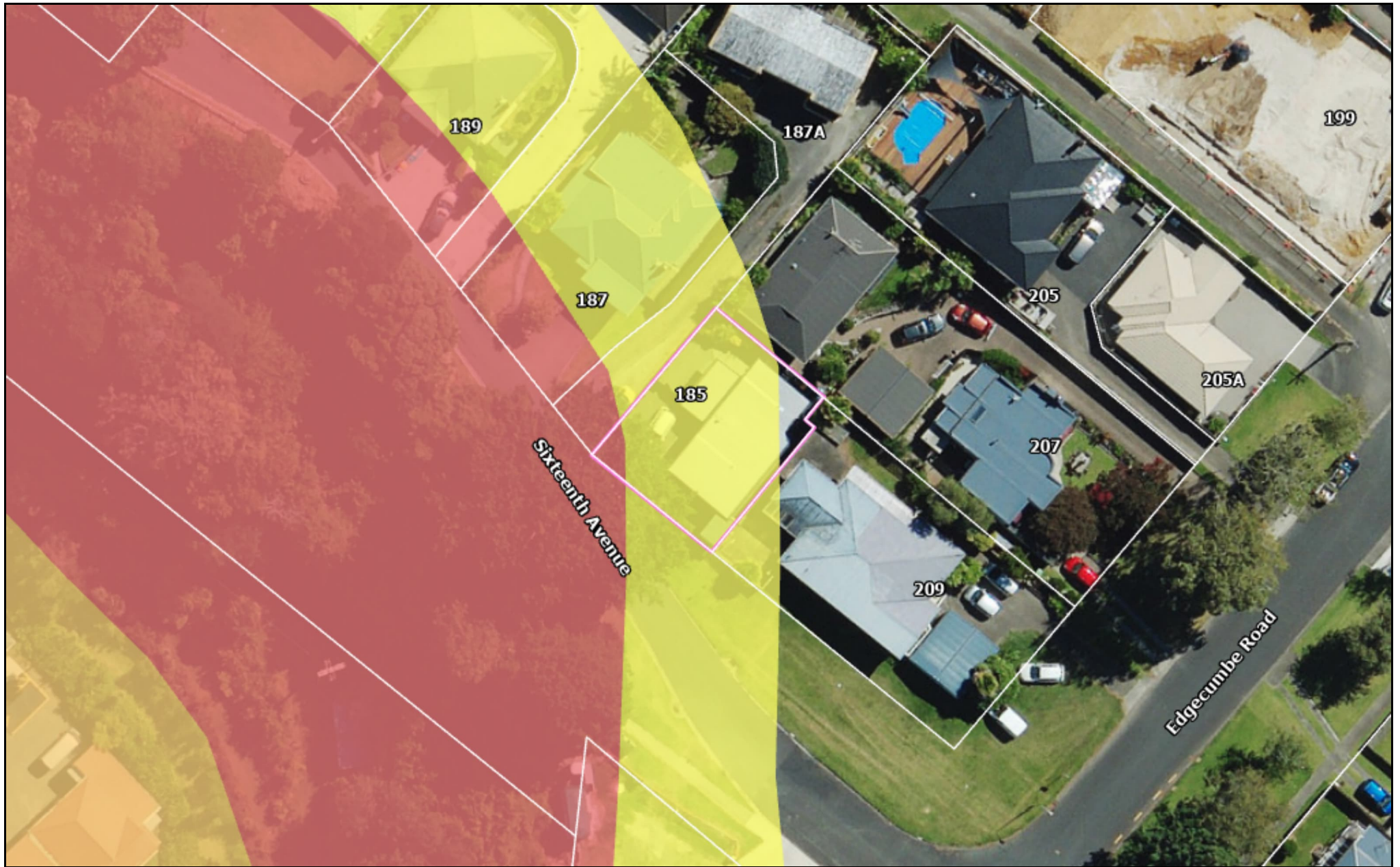
Props size and fixing are fine.

Visit confirmed: .....

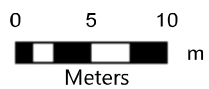
Site Representative

Signed: 

Redco NZ Ltd Representative



## Land Features - Slope Hazard Zones Plan



Scale 1: 500 @A4



Information shown on this plan is indicative only. The Council accepts no liability for its accuracy and it is your responsibility to ensure that the data contained herein is appropriate and applicable to the end use intended.



# SmartZoom Natural Hazards Key



## Slope Hazard Zones



Failure Zone 2:1



Regression Zone 3:1



Runout Zone 4:1

## Land Features

### Relic Slip



1. Slope debris lobe showing evidence of recent or current activity



2. Possible slope debris lobe



3. Probable slope debris lobe



4. Interpreted head scarp with poorly defined morphology



5. Interpreted head scarp with clearly defined morphology