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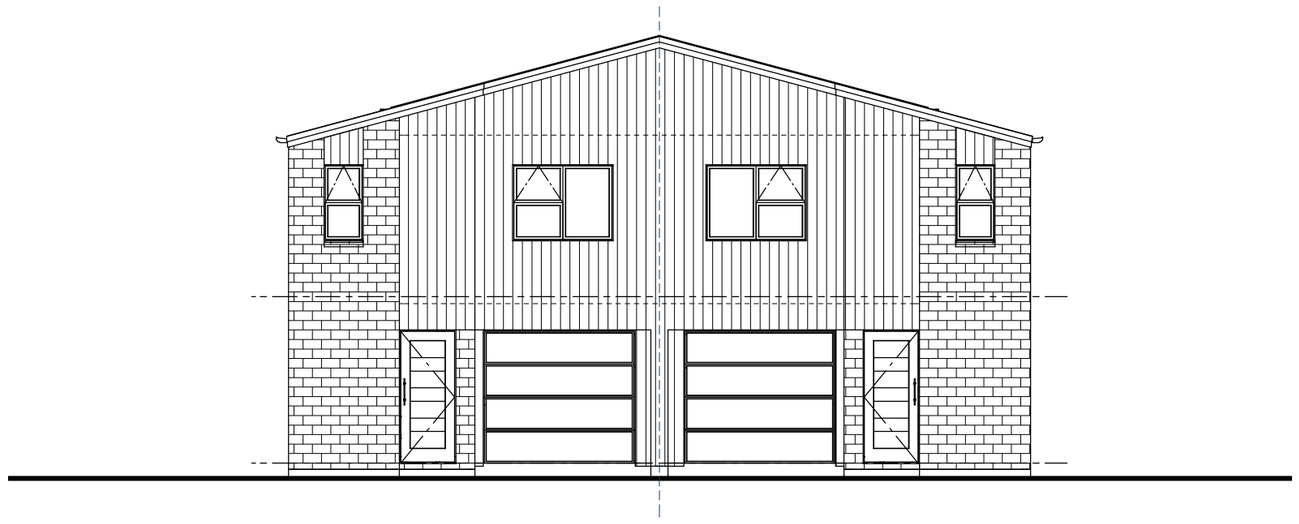
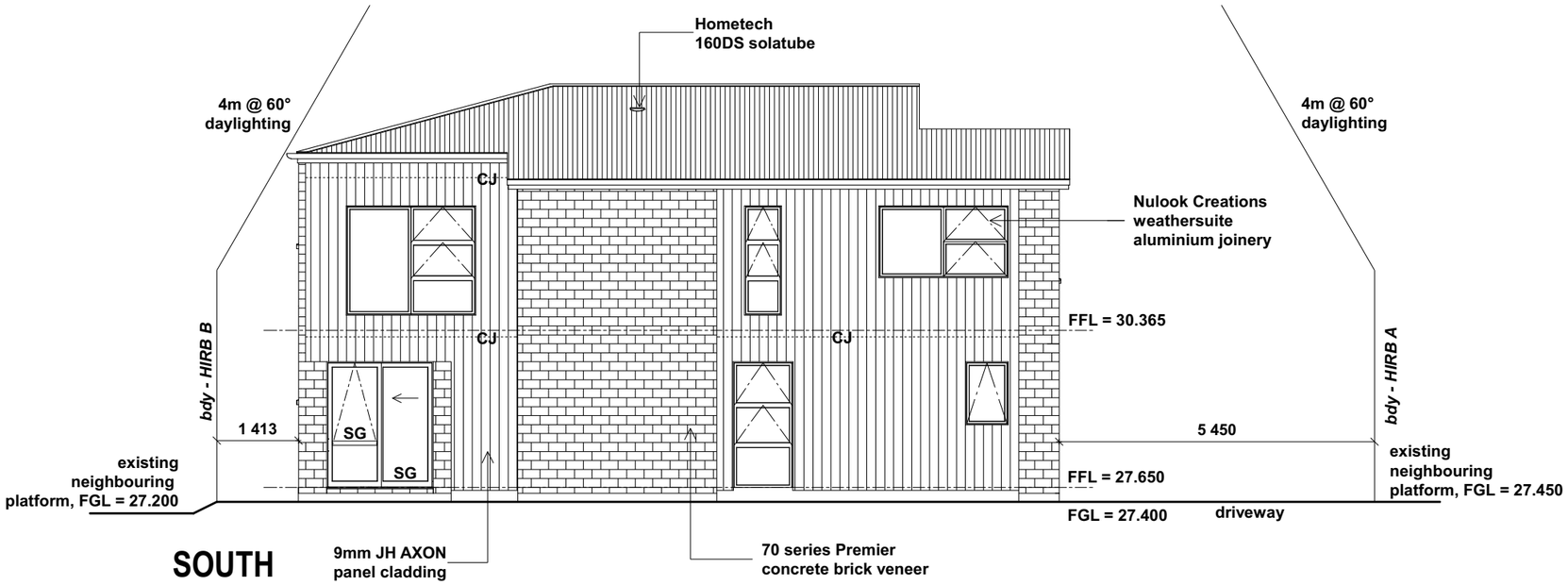


Abron Group
Lot 17, 38 Richardson Rd,
Omokoroa, Western Bay Of Plenty

Western Bay of Plenty District Council
BC98191
APPROVED
These plans must remain on site.

CONTENTS:



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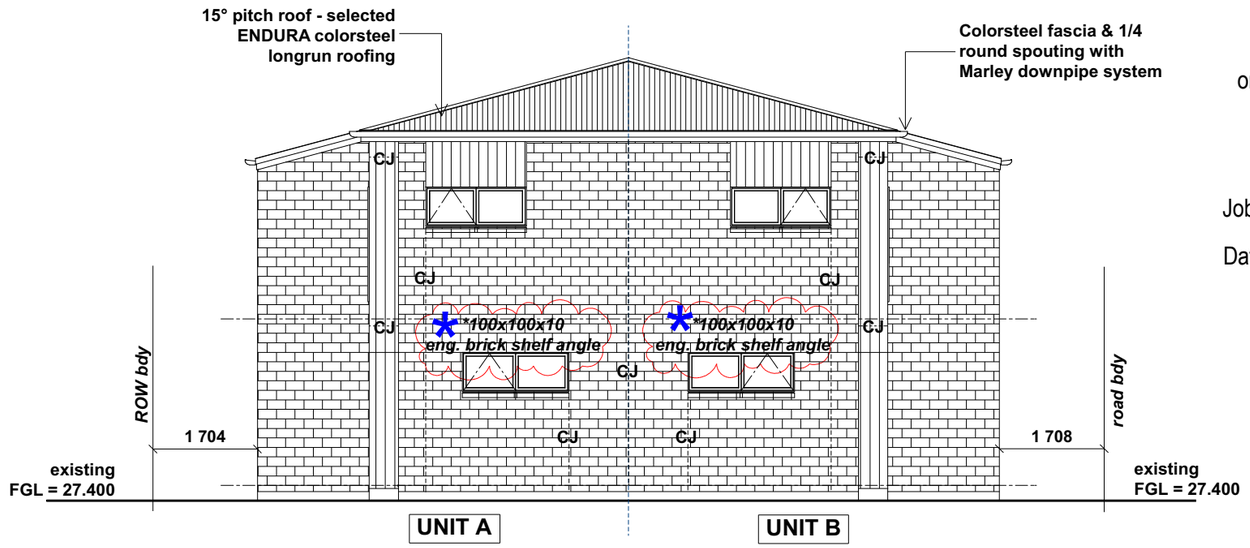

WEST

DESIGN ENGINEER

The structural elements designated * on this drawing have been designed by

KIRK ROBERTS CONSULTING

Job No. #2220420

Date 27/06/2024 Signed

NOTE:
'PREMIER 2-Storey Brick Cladding System – Design Note PG-B3' – no substitution.

BUILDING ENVELOPE RISK MATRIX

ALL ELEVATIONS		
RISK FACTOR	**RISK SEVERITY**	**RISK SCORE**
Wind zone (per NZS 3604)	High risk	1
Number of storeys	High risk	2
Roof/wall intersection design	Med risk	1
Eaves width	V/High risk	5
Envelope complexity	Medium risk	1
Deck design	Low risk	0
TOTAL RISK SCORE: 10		

AMENDED PLANS
Amendment No:1
BC98191.2
3/07/2024
APPROVED

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CONSTRUCTION NOTES:

Do not scale off plans or details, consult designer for further information if required.

Plans to be read in conjunction with the building specification, bracing calculations, truss design, Engineer design & manufacturers specs.

All building works in strict accordance with NZS.3604:2011, the New Zealand building code and all relevant Standards & codes. All works to satisfy the requirements of E2/AS1 External Moisture.

Contractor to confirm all dimensions, levels, boundary setbacks, service connections, locations and levels, daylighting and height restriction requirements prior to commencement of building works.

Minimum slip resistance to steps and landings in accordance with D1/AS1 access. Concrete or H5 timber step to all access points (owners care) min 150mm below FFL.

No building work to commence prior to receipt of approved plans from local territorial authority.

GLAZING NOTES:

Aluminium joinery head heights to be 2.150m, refer to floor plan for sizes. Joinery schedule & sizes to be confirmed on site prior to manufacture.

All glazing to comply with NZS 4223. and the code of practice for glazing. Double glazing to all window & door joinery (double pane alu. frame, thermally improved spacer, Low E4/ Argon)

All glazing to be clear float, excluding entry door (obscure glass)
SG = safety glass, joinery manufacturer to confirm

CJ = cladding control joints
*confirm with manufacturers specs

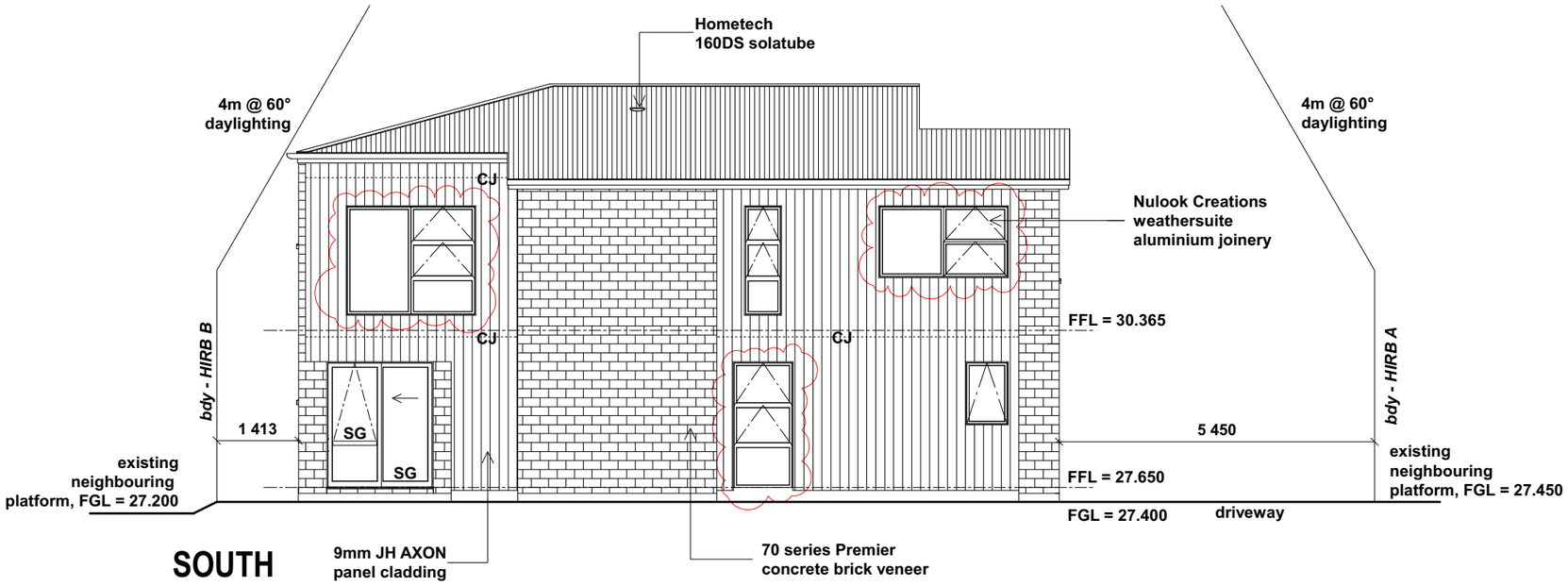
CONSENT PLAN

CLIENT DETAILS:
Abron Group
Lot 17, 38 Richardson Rd, Omokoroa, Western Bay

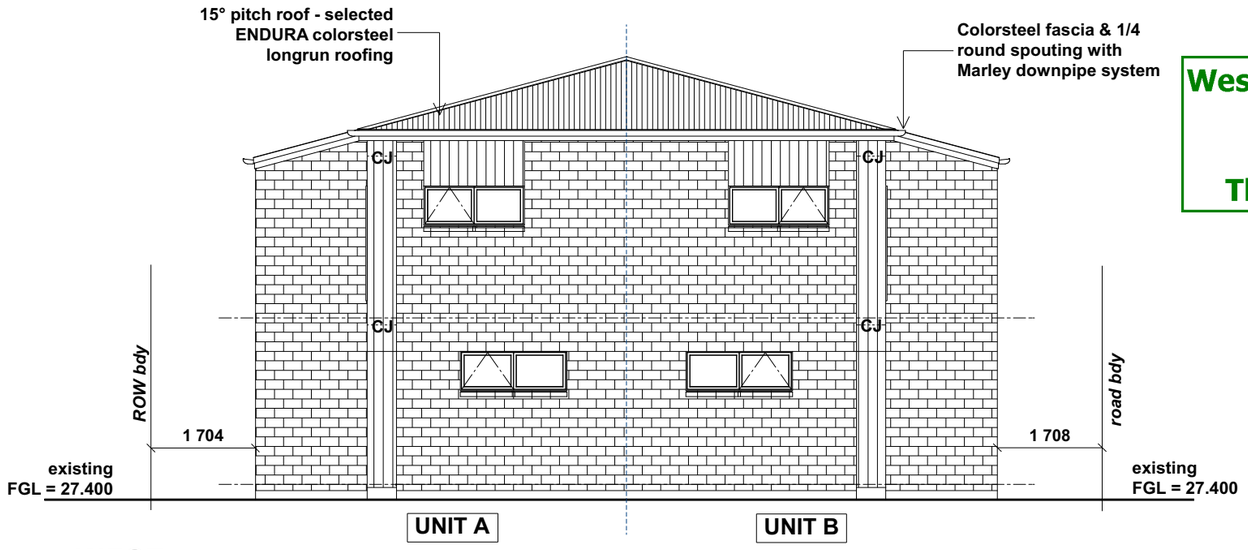
ELEVATIONS

WIND ZONE:	**high**	**SHEET NO:**
E/QUAKE:	**1**	**2**
EXPOSURE:	**D**	

SCALE:	DRAWN:	DATE:
1:100	NN	11/12/2023



SOUTH



WEST

Western Bay of Plenty District Council
BC98191
APPROVED
These plans must remain on site.

NOTE:
'PREMIER 2-Storey Brick Cladding System – Design Note PG-B3' – no substitution.

BUILDING ENVELOPE RISK MATRIX

ALL ELEVATIONS		
RISK FACTOR	**RISK SEVERITY**	**RISK SCORE**
Wind zone (per NZS 3604)	High risk	1
Number of storeys	High risk	2
Roof/wall intersection design	Med risk	1
Eaves width	V/High risk	5
Envelope complexity	Medium risk	1
Deck design	Low risk	0
TOTAL RISK SCORE: 10		

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SG = safety glass, joinery manufacturer to confirm

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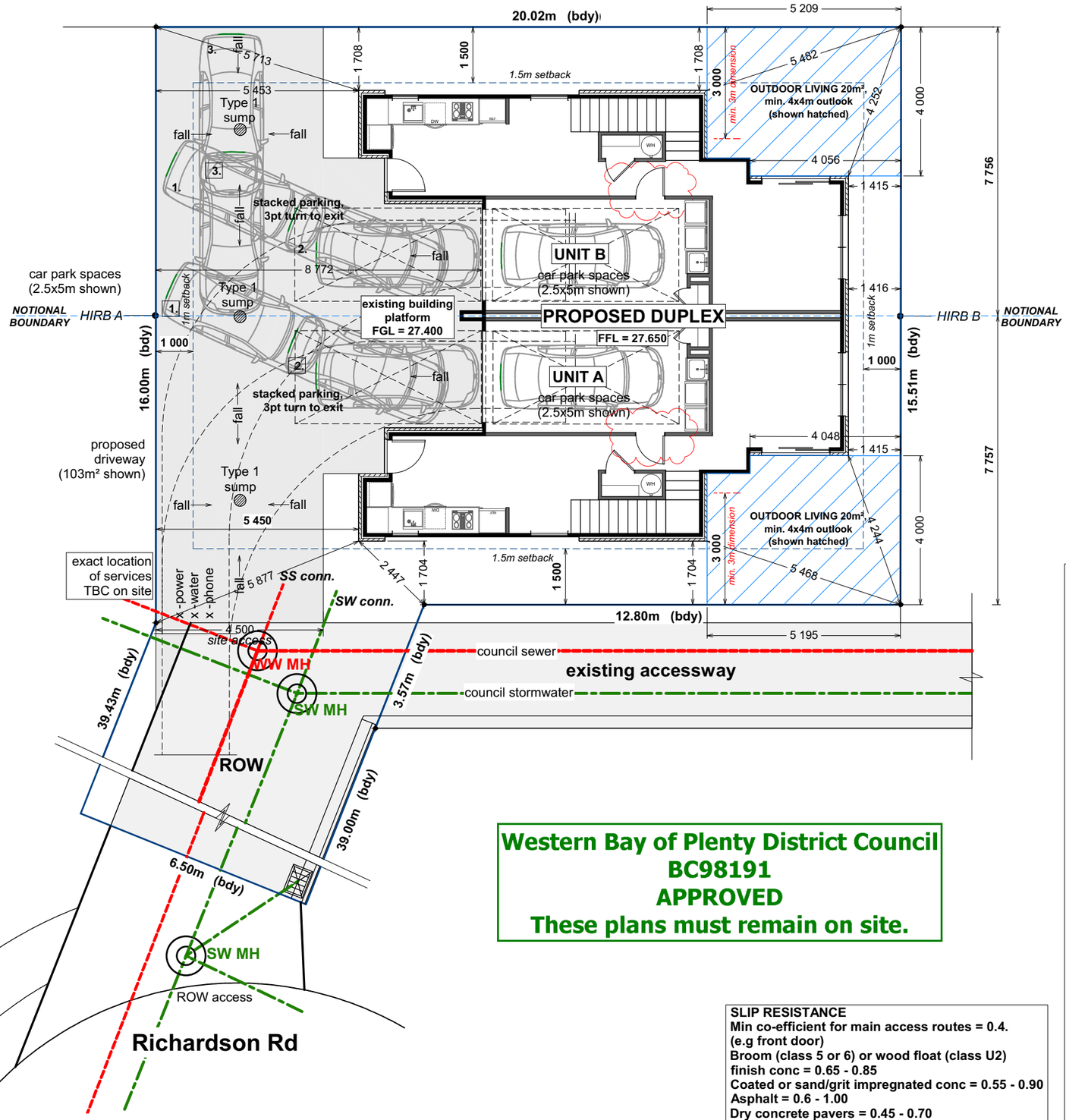
*confirm with manufacturers specs

CONSENT PLAN

CLIENT DETAILS:
Abron Group
Lot 17, 38 Richardson Rd, Omokoroa, Western Bay

ELEVATIONS

WIND ZONE:	**high**	**SHEET NO:**
E/QUAKE:	**1**	**2**
EXPOSURE:	**D**	
SCALE:	**DRAWN:**	**DATE:**
1:100	**NN**	**25/10/2023**



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SLIP RESISTANCE
Min co-efficient for main access routes = 0.4.
(e.g front door)
Broom (class 5 or 6) or wood float (class U2)
finish conc = 0.65 - 0.85
Coated or sand/grit impregnated conc = 0.55 - 0.90
Asphalt = 0.6 - 1.00
Dry concrete pavers = 0.45 - 0.70
Profiled timber (across profile) = 0.35 - 0.60

N

LOT 17, DP509984
SITE AREA = 579m² (including ROW)
COUNCIL - Western Bay
ZONE - Residential

SITE COVERAGE
max 50% MDRS (including eaves over 1m wide)

120.01m² total duplex / 579m² site area = 20.72%

60.00m² per Unit / 155.22m² approx. split site (excluding ROW) = 38.89%

SEDIMENT CONTROL:
Sediment control & runoff shall be designed and installed by the contractor prior to or during the earthworks for the project. The sediments controls shall be installed in accordance with the requirements of the Council's City Plan and Erosion and Sediment Control Guideline for the Council.

Contractor to install galvanised chainlink netting or hoarding barrier, 2.0m min ht to site to comply with F5 Construction & Demolition Hazards, prior to commencing construction.

Note:
Two car parking spaces for each dwelling.
One may be "stacked" where it does not interfere with shared access.
All activities shall provide manoeuvring space on-site so that all vehicles can enter and exit without reversing on to or off the road. Such manoeuvring shall be able to be executed in no more than a three-point turn.

MDRS COMPLIANCE RULES:

RULE 14A.4.1 (A) - NUMBER OF RESIDENTIAL UNITS
= x2 Units provided, as shown

RULE 14A.4.1 (B) - BUILDING AND STRUCTURE HEIGHT
= approx. 7.22m building height (refer to elevations)

RULE 14A.4.1 (C) - HEIGHT IN RELATION TO BOUNDARY
= 4m@60° daylighting (refer to site plan & elevations)

RULE 14A.4.1 (D) - SETBACKS
= 1.5m from front boundaries and 1m from side and rear boundaries (refer to site plan, 1.5m Omokoroa road bdy setback shown)

RULE 14A.4.1 (E) - BUILDING COVERAGE
= max. 50%, refer to site coverage above

RULE 14A.4.1 (F) - OUTDOOR LIVING SPACE
= min. 20m² shown, refer to site plan

RULE 14A.4.1 (G) - OUTLOOK SPACE (PER UNIT)
= min. 4x4m outlook from main living, min, 1x1m outlook from all other habitable rooms, refer to site plan & elevations for dimensions

RULE 14A.4.1 (H) - WINDOWS TO STREET
= min. 20% of the street facing facade in glazing
SOUTH ELEVATION (facing Omokoroa Rd)
CALC: 72.65m² / 5 (20%) = 14.53 min. glazing req'd.
Total window glazing area achieved = 14.57% glazing

RULE 14A.4.1 (I) - LANDSCAPED AREA
= Landscaping on-site in the form of grass, plants, or trees.
Each residential unit to have a landscaped area of 20% of the development site, refer to site plan
CALC: 155.22m² total site area / 5 = 31.04m² (20%)
110.35m² dwelling & driveway, 44.89m² to remainder

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CONSTRUCTION NOTES:
Contractor to confirm all site location pegs, dimensions, bearings, setbacks, site levels, daylighting and height restriction requirements prior to commencement of building works.

Contractor to confirm all service connections, public drains, pipe invert and manhole levels and all plumbing routes and fixture positions on site prior to commencement of building works. If any discrepancies occur, the contractor must contact the main contractor before proceeding with any further works.

Before building is erected on site, all rubbish, noxious matter and organic matter shall be removed from the area to be covered by the building. Ensure final building platform & finished ground have an even fall away from building to ensure water not be allowed to accumulate in buildings subfloor (min. 1:100 fall away from building platform).

Any fill to be dry & approved by engineer & compacted down in accordance with NZS.3604:2011. Contractor to confirm ground has adequate bearing to comply with NZS.3604:2011

All dimensions on this plan are to the foundation

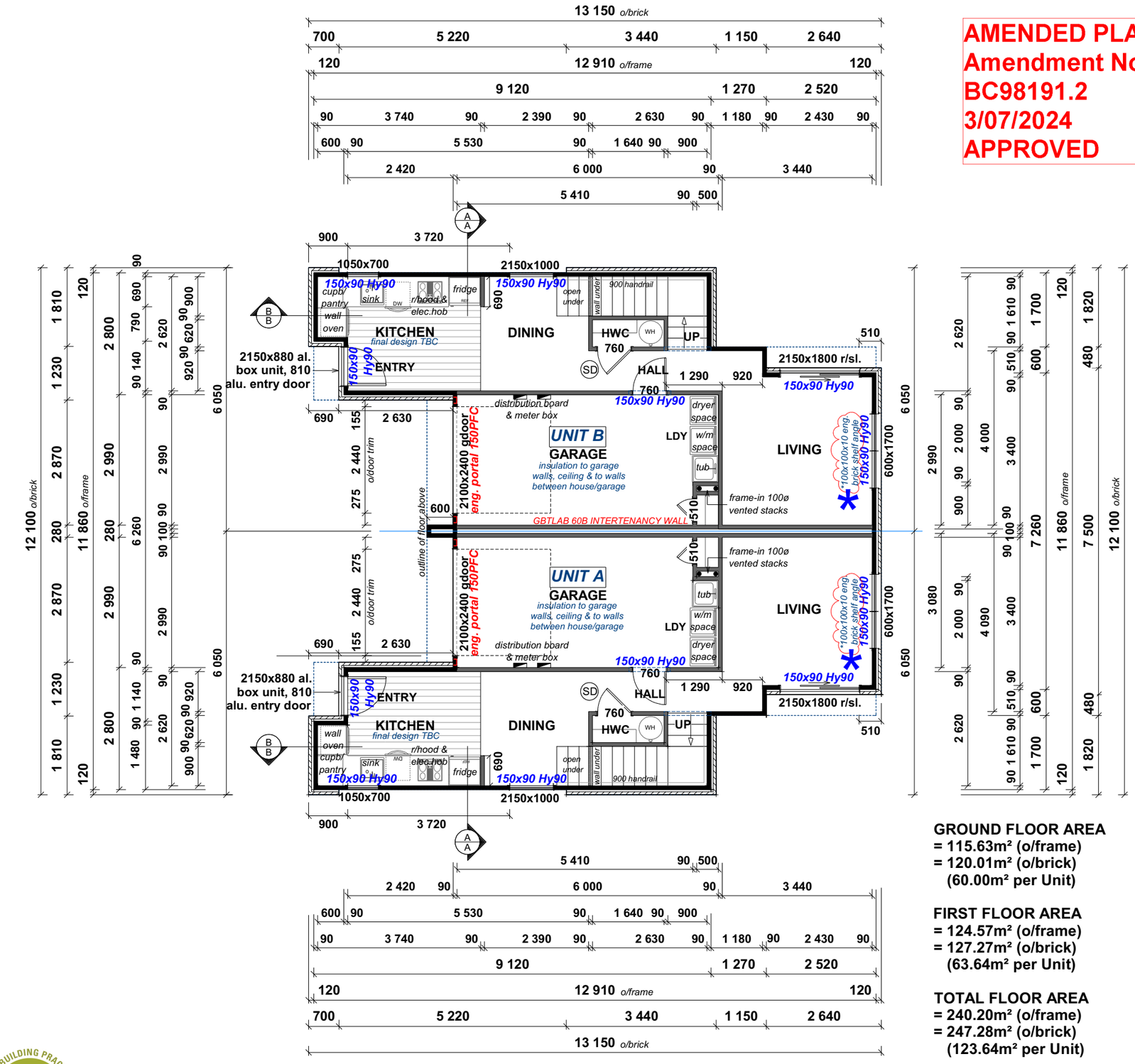
Site levels in relation to Moturiki Datum

CONSENT PLAN

CLIENT DETAILS:
Abron Group
Lot 17, 38 Richardson Rd,
Omokoroa, Western Bay

SITE PLAN

WIND ZONE: high E/QUAKE: 1 EXPOSURE: D		SHEET NO: 3
SCALE: 1:125	DRAWN: NN	DATE: 8/11/2023



AMENDED PLANS
Amendment No:1
BC98191.2
3/07/2024
APPROVED

S
E W
N

ELEVATION KEY

DESIGN ENGINEER

The structural elements designated * on this drawing have been designed by

KIRK ROBERTS CONSULTING

Job No. **#2220420**

Date **27/06/2024** Signed _____

ENGINEER NOTES:
Kirk Roberts Job Ref #2220420
Plans to be read in conjunction with Engineers design & details
- If any discrepancies occur, Engineer design to take precedence

NOTES:
STAIRS CONSTRUCTION:
Stairs to comply with NZBC:D1 access
- Main private, max. 190 rise, min. 280 tread
- Floor to floor 2715mm / 15 risers = 181mm max. riser ht.
- Wall mounted grab rail @900ht. from tread nosing
- Stairs detailed front-of-nosing

MECHANICAL VENTILATION AS PER G4/AS1:

LAUNDRY - Fan flow rate min = 20 Litres/Sec or 90 m3/hr
- Extractor fan to soffit to be operated by light switch

GROUND FLOOR AREA
= 115.63m² (o/frame)
= 120.01m² (o/brick)
(60.00m² per Unit)

FIRST FLOOR AREA
= 124.57m² (o/frame)
= 127.27m² (o/brick)
(63.64m² per Unit)

TOTAL FLOOR AREA
= 240.20m² (o/frame)
= 247.28m² (o/brick)
(123.64m² per Unit)

DESIGN NOTES:
Seperation between hob and Gib lined wall:
Cut out for hob: min. 55mm from back of bench top.
Overhead clearance: Not less than 650mm from hob surface to range hood
Side clearances: Where dimension to any vertical combustible surface is less than 150mm, surface shall be protected to a min. height of 150mm above hob for full dimension (or width) of cooking surface. Protection of combustible surfaces: 5mm ceramic tiles or graphic glass is suitable to protect 10mm Gib board.

G3/AS1
1.1.3 Food preparation surfaces shall be easily maintained in a hygenic condition. Stainless steel, decorative high pressure laminate and tiles are examples of suitable materials for these surfaces.
1.6 Wall linings:
Wall linings adjacent to appliances and facilities shall have surfaces that can be easily maintained in a hygenic condition. Stainless steel, decorative high pressure laminate, tiles, wallboards with painted or applied impervious coatings or films, are examples of suitable materials for these surfaces.

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CONSTRUCTION NOTES:
Do not scale off plans or details, consult designer for information if required

Cross reference the floor plan with the foundation plan prior to setting out. Confirm layout & fittings of kitchen & bathrooms etc prior to commencement of foundations

CONTRACTOR TO READ DRAWINGS IN CONJUNCTION WITH TRUSS MANUFACTURERS DESIGN & DOCUMENTATION

2455mm frame height throughout
All framing shall be a min. H1.2 treatment and a strength grade of SG8 or higher, unless otherwise specified.

All internal access doors offset 120mm, unless dimensioned.

Tapered edge joints in ceilings
To reduce the risk of cracks caused by substrate movement, back-blocking of tapered edge joints is required in the following situations.
Steel ceiling battens:
Any area containing 6 or more tapered joints

Joinery sizes shown are the box size & are preliminary only.
Site measure & confirm all joinery sizes, report to designer any changes prior to ordering joinery.
No liability shall be held by the designer for incorrect supply of joinery.

Mains pressure 180L elec. HWC with tempering valve & seismic restraint in accordance with NZBC:2004 section G12. Polybutylene water supply pipes. Hot water supply pipes shall be thermally insulated to comply with H1/AS1 5.0. Electric cooking with vented rangehood.

Glass door & surround to all showers

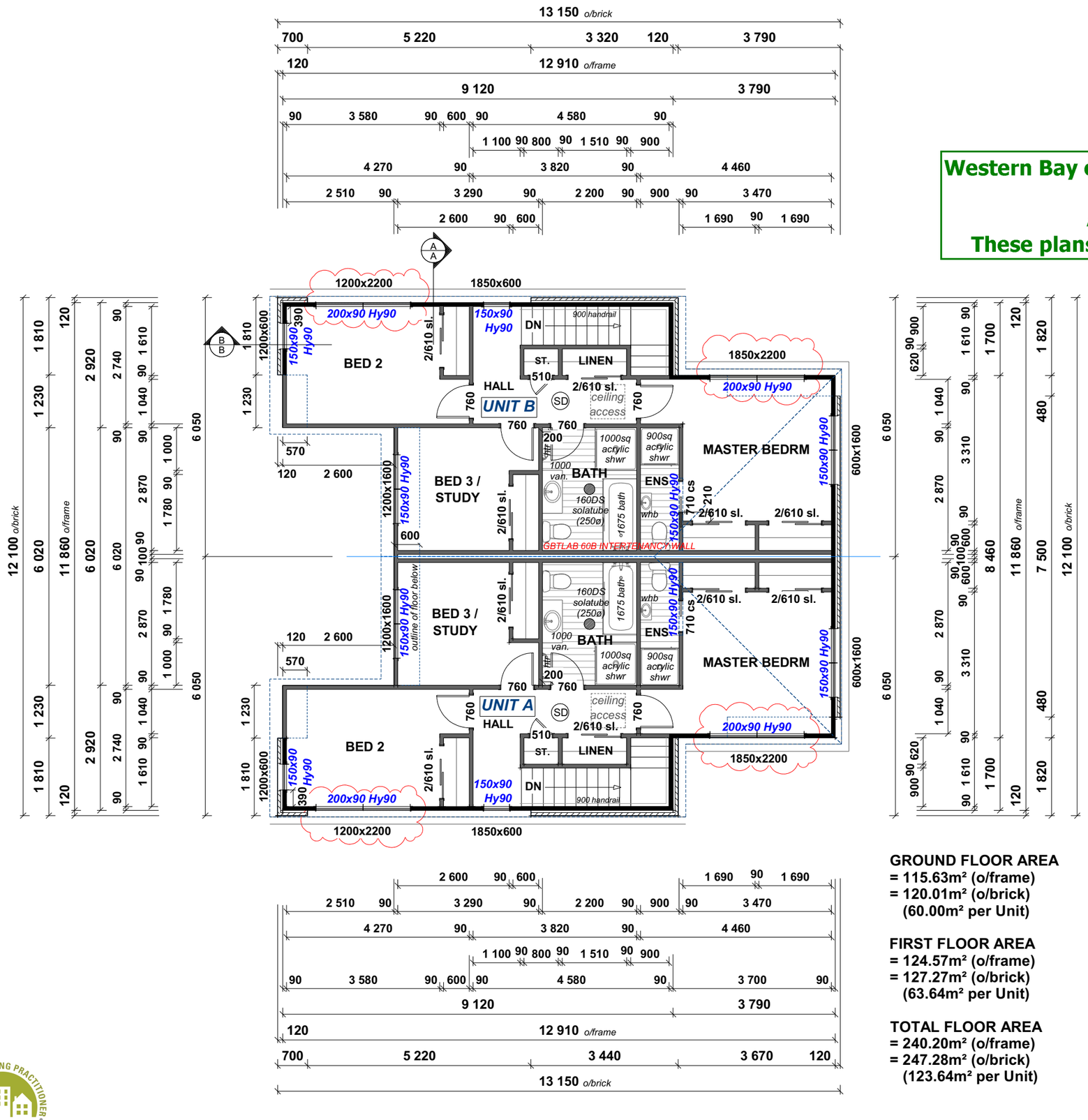
CONSENT PLAN

CLIENT DETAILS:
Abron Group
Lot 17, 38 Richardson Rd, Omokoroa, Western Bay

GROUND FLOOR PLAN

WIND ZONE:	**high**	**SHEET NO:**
E/QUAKE:	**1**	**7**
EXPOSURE:	**D**	
SCALE:	**DRAWN:**	**DATE:**
1:100	**NN**	**11/12/2023**

LICENSED BUILDING PRACTITIONER
BUILDING CONFIDENCE



ELEVATION KEY

Western Bay of Plenty District Council
BC98191
APPROVED
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MECHANICAL VENTILATION AS PER G4/AS1:

BATHROOMS - Fan flow rate min = 25 Litres/Sec or 90 m3/hr
KITCHEN - Fan flow rate min = 50 Litres/Sec min flow rate

- Extractor fan to soffit to be operated by light switch
- Bathrm/Ens doors undercut by 20mm

DESIGN NOTES:
Seperation between hob and Gib lined wall:
Cut out for hob: min. 55mm from back of bench top.
Overhead clearance: Not less than 650mm from hob surface to range hood
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LICENSED BUILDING PRACTITIONER
BUILDING CONFIDENCE

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CONSENT PLAN

CLIENT DETAILS:
Abron Group
Lot 17, 38 Richardson Rd,
Omokoroa, Western Bay

FIRST FLOOR PLAN

WIND ZONE:	**high**	**SHEET NO:**
E/QUAKE:	**1**	**8**
EXPOSURE:	**D**	
SCALE:	**DRAWN:**	**DATE:**
1:100	**NN**	**25/10/2023**