



Draft Working Drawings
for pricing and not for construction

Sheet Index (A1)

- Cover
- 01 Site/Drainage & Roof Plan
- 02 Elevations
- 03 Elevations
- 04 Ground Presentation Plan
- 05 Upper Presentation Plan
- 06 Ground Floor Plan
- 07 Upper Floor Plan
- 08 Foundation Plan
- 09 Upper Floor Framing Plan
- 10 Upper Truss & Roof Framing Plan
- 11 Sections A-A - D-D

Specifications

Accompanying this set.

Structural Layout Plans

Refer to the Structural Engineers drawing set accompanying this set.



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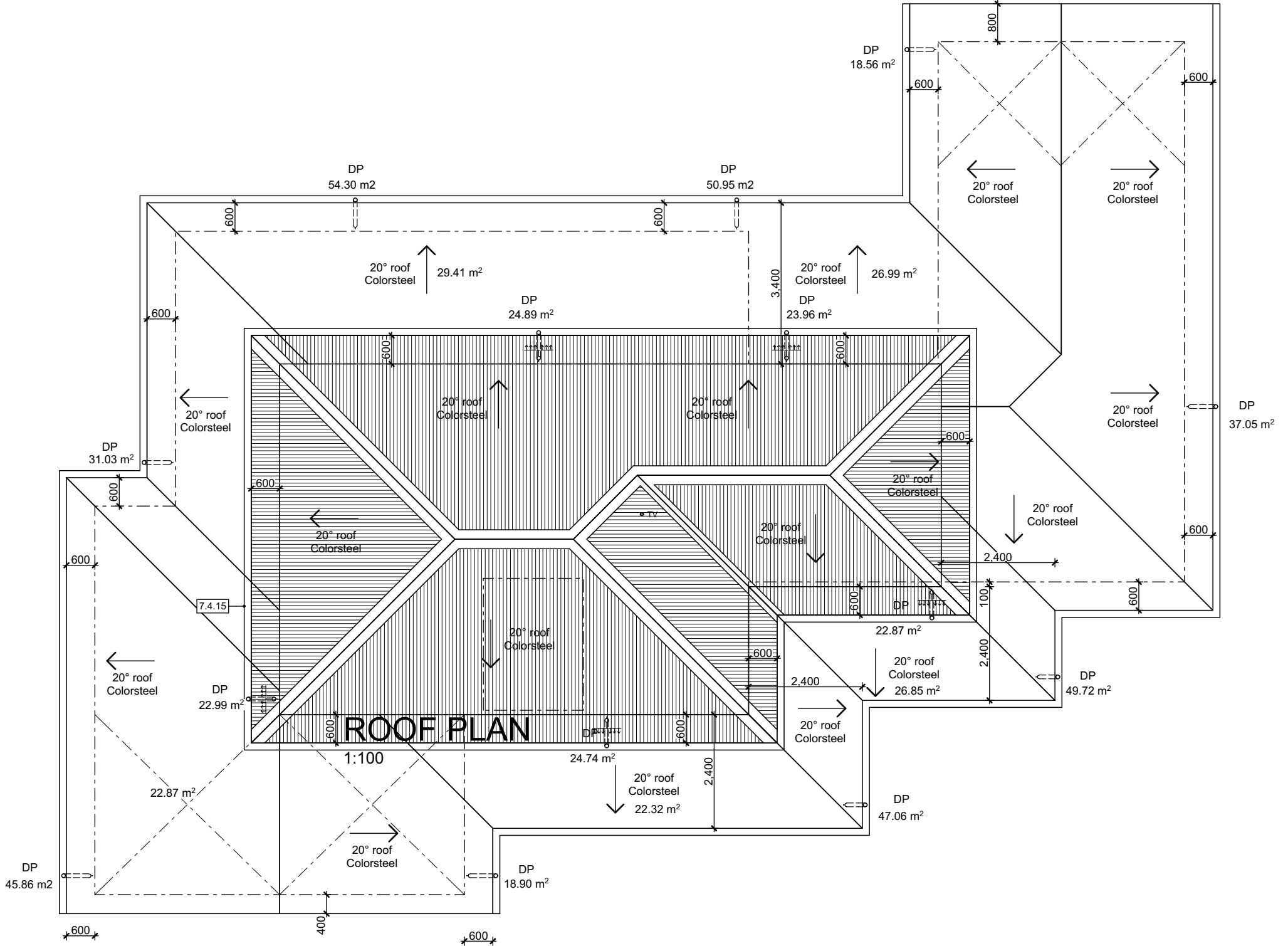
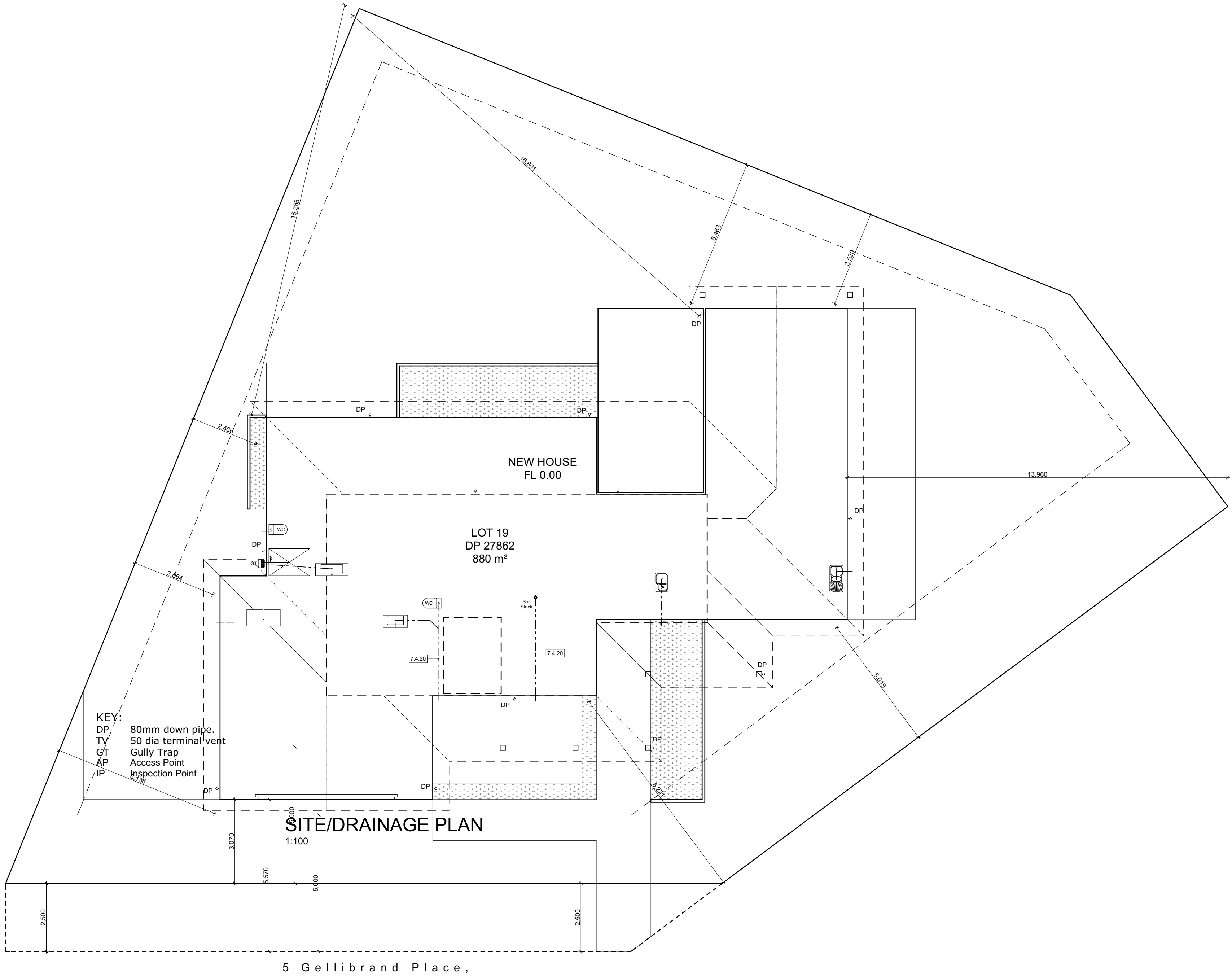
Sketch Drawings for the proposed

NEW HOUSE

for Hof House-Harwood Homes at 5
Gellibrand Place, Omokoroa, Tauranga

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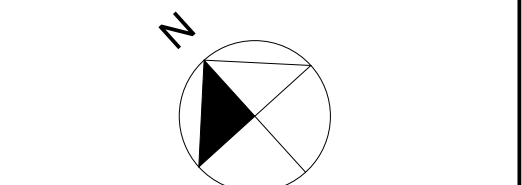
Project reference: 14-051-H



- General Notes**
- All building work shall be carried out in strict accordance with NZBC, NZS 3604:2011, all referenced standards & specified proprietary product specifications and details.
 - All restricted building work shall be carry out or supervised by licensed building practitioners in accordance with the Building Act 2004
 - All work is to be carried out by tradespeople experienced, competent and familiar with the materials and techniques specified to be trade practice.
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 - A-E Positions of significant daylighting considerations - see elevations
 - All levels shown are existing/original in terms of an assumed datum provided by TBC. The boundary heights have been extrapolated based on the levels & subject to confirmation before construction.
 - All levels shown are existing/original in terms of the Moturiki Datum provided by TBC. The boundary heights have been extrapolated based on the Surveyors levels & subject to Surveyors confirmation before construction.
 - Minimum F.L. 3.00. The floor level is to be confirmed by a licensed cadastral surveyor.
 - The responsibility of the setting out of the building is to be undertaken by the Main Contractor to meet council requirements.
 - All underpinning, excavations & propping are carried out in stages to best trade practises.
 - All excess excavation material to be disposed of in good trade practice.
 - Sediment and runoff control shall be designed and installed by the licensed building practitioner prior to or during the earthworks for the project. The sediment controls shall be installed in accordance with the requirements of Tauranga City Councils City Plan (Chapter 4C.2) and Small Site Erosion and Sediment Control for the City of Tauranga Guideline - Appendix 4N: Erosion and Sediment Control Measures.
 - All Plumbing and Drainage in accordance with AS/NZS 3500.2 / NZBC G13/AS1.
 - Views to South East

Site Information
LOT 19 DP 27862
Site Area 880 m²
Wind Zone: High
Exposure Zone: Zone D
Earthquake Zone: Zone 1

Ground Floor Area 238.22 m²
Upper Floor Area 92.37 m²
Total Floor Area 330.59 m² (over framing)
Total Floor Area 337.53 m² (over cladding)



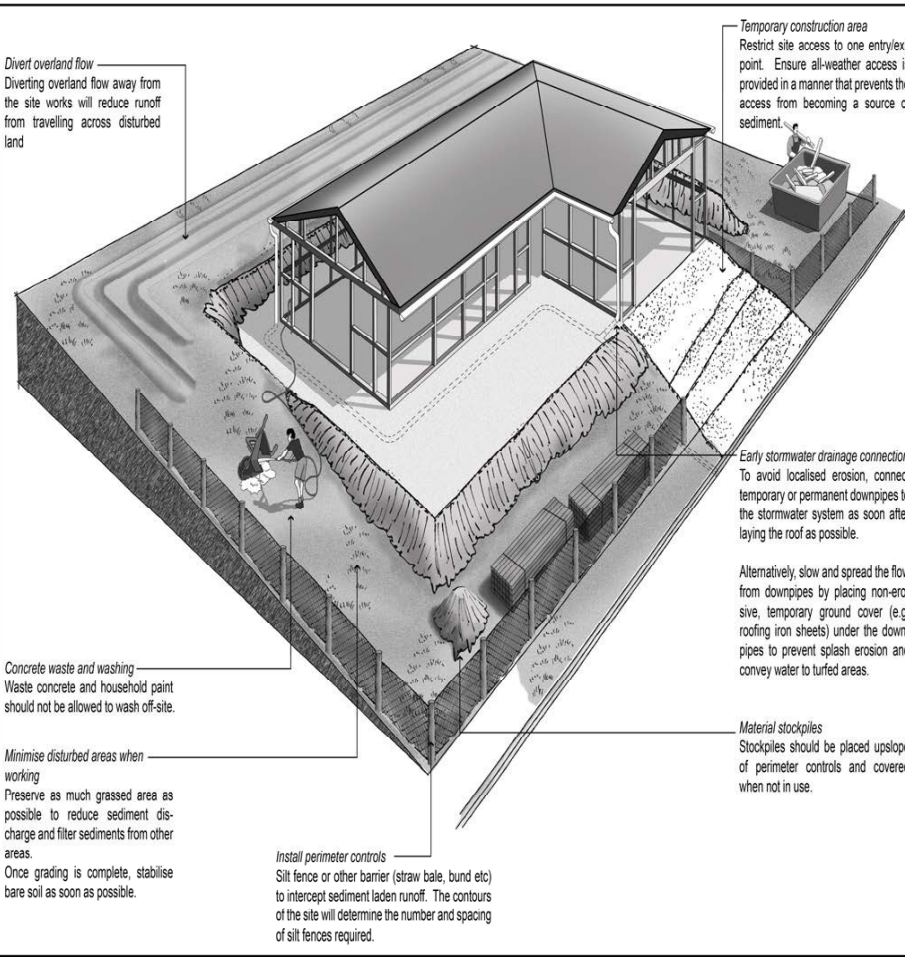
Rev	Revision	By	Date

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Appendix 4N: Erosion and Sediment Control Measures

Note: For further details on the design of erosion and sediment control measures please refer to Tauranga City Council's Managing Sediment Pollution on Small Earthwork Sites and the Bay of Plenty Regional Council's Erosion and Sediment Control Guidelines for Land Disturbing Activities.



PROJECT NAME AND ADDRESS:

Hof House
5 Gellibrand Place, Omokoroa,
Tauranga

SHEET TITLE:
**Site/Drainage &
Roof Plan**

SCALES
1:100, 1:200, 11/07/2016

PROJECT STATUS
Sketch Drawings

Presentation

DESIGNER JPH	SHEET #, REVISION #
DRAWN BY JPH	01
PROJECT # 14-051-H	ORIGINAL DRAWING SIZE: A1



Northwestern Elevation
1:50



Southwestern Elevation
1:50

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 - All roof claddings and associated flashings including all metal flashings are to be undertaken by a licensed applicator in strict accordance with the NZBC E2/AS1 and NZ Metal Roof and Wall Cladding Code of Practice.
 - Provide producer statements to cover the design and application of the cladding system including all flashings & sealants, warranted weathertight.
 - Polypropylene tape at 300mm crs horizontally to support building wrap and insulation for studs at 450mm+centers
 - The aluminium joinery is to be fabricated and installed weathertight in accordance with NZS 4211 & 4223
 - Install Protecwrap Sill system to window & door opens in accordance with NZBC E2/AS1 & WANZ
 - WIS window installation sill supports for cavity construction weather-tight.
 - All dimensions to joinery and joinery sizes are to the framed openings.
 - Provide integrated restrictor stays to all awning windows throughout
 - Grey tinted glazing to all exterior joinery
 - Opalucet laminated glass to all Bathroom & Ensuite windows.
 - Joinery colour 'PalladiumSilver' (TBC).

KEY:
hh head height
th transom height
sh sill height
a awning (top hung)
f fixed
sl sliding
op Opalucet laminated glass

Site Information
LOT 19 DP 27862
Site Area 880 m²
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Exposure Zone: Zone D
Earthquake Zone: Zone 1

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PROJECT NAME AND ADDRESS:
Hof House
5 Gellibrand Place, Omokoroa,
Tauranga

SHEET TITLE:
Elevations

SCALES
1:50

ISSUE DATE
11/07/2016

PROJECT STATUS

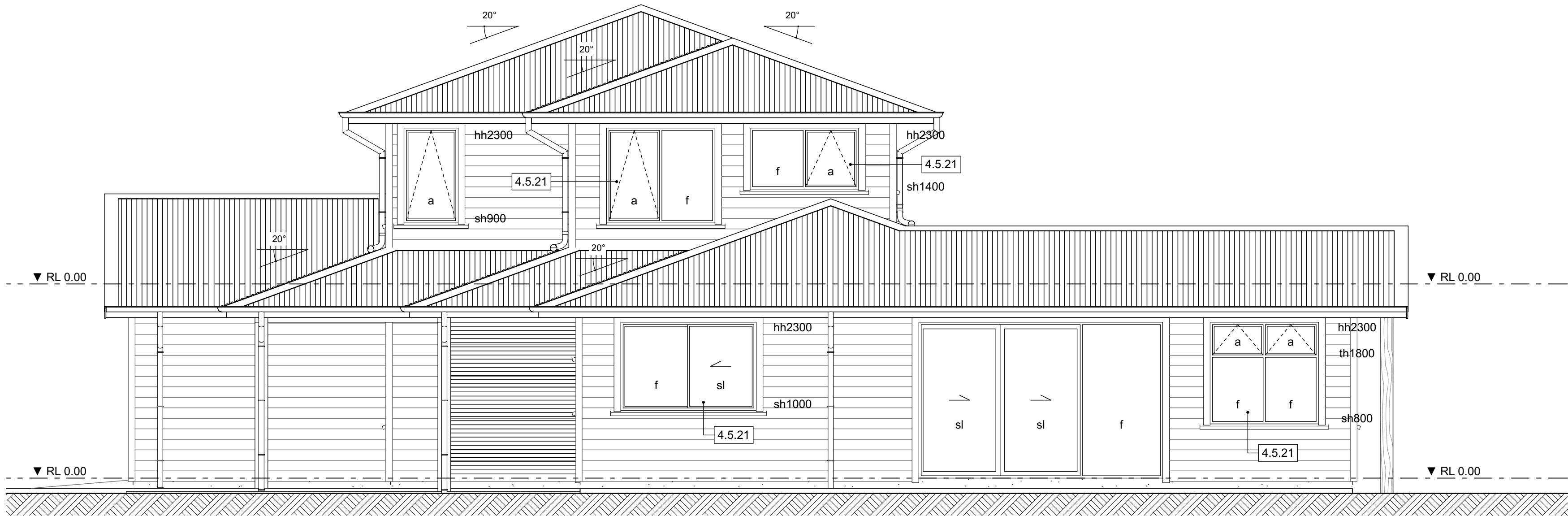
Sketch Drawings

Presentation

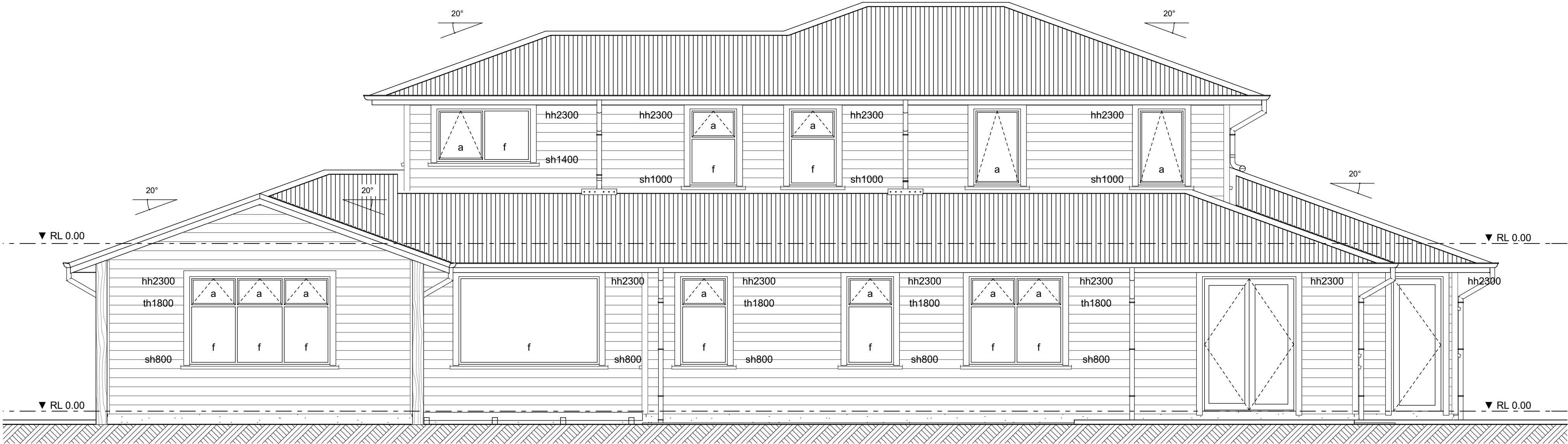
DESIGNER JPH	SHEET #, REVISION #
DRAWN BY JPH	02
PROJECT # 14-051-H	
ORIGINAL DRAWING SIZE: A1	

Draft Working Drawings
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Southeastern Elevation
1:50

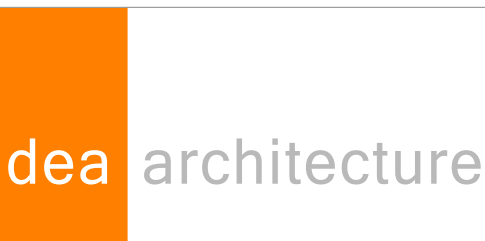


Northeastern Elevation
1:50

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 - Provide producer statements to cover the design and application of the cladding system including all flashings & sealants, warranted weathertight.
 - Polypropylene tape at 300mm crs horizontally to support building wrap and insulation for studs at 450mm+centers
 - The aluminium joinery is to be fabricated and installed weathertight in accordance with NZS 4211 & 4223
 - Install Protectowrap Sill system to window & door opens in accordance with NZBC E2/AS1 & WANZ
 - WIS window installation sill supports for cavity construction weather-light.
 - All dimensions to joinery and joinery sizes are to the framed openings.
 - Provide integrated restrictor stays to all awning windows throughout
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 - Joinery colour 'PalladiumSilver' (TBC).

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Site Information
LOT 19 DP 27862
Site Area 880 m²
Wind Zone: High
Exposure Zone: Zone D
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PROJECT NAME AND ADDRESS:

Hof House
5 Gellibrand Place, Omokoroa,
Tauranga

SHEET TITLE:

Elevations

SCALES
1:50

ISSUE DATE
11/07/2016

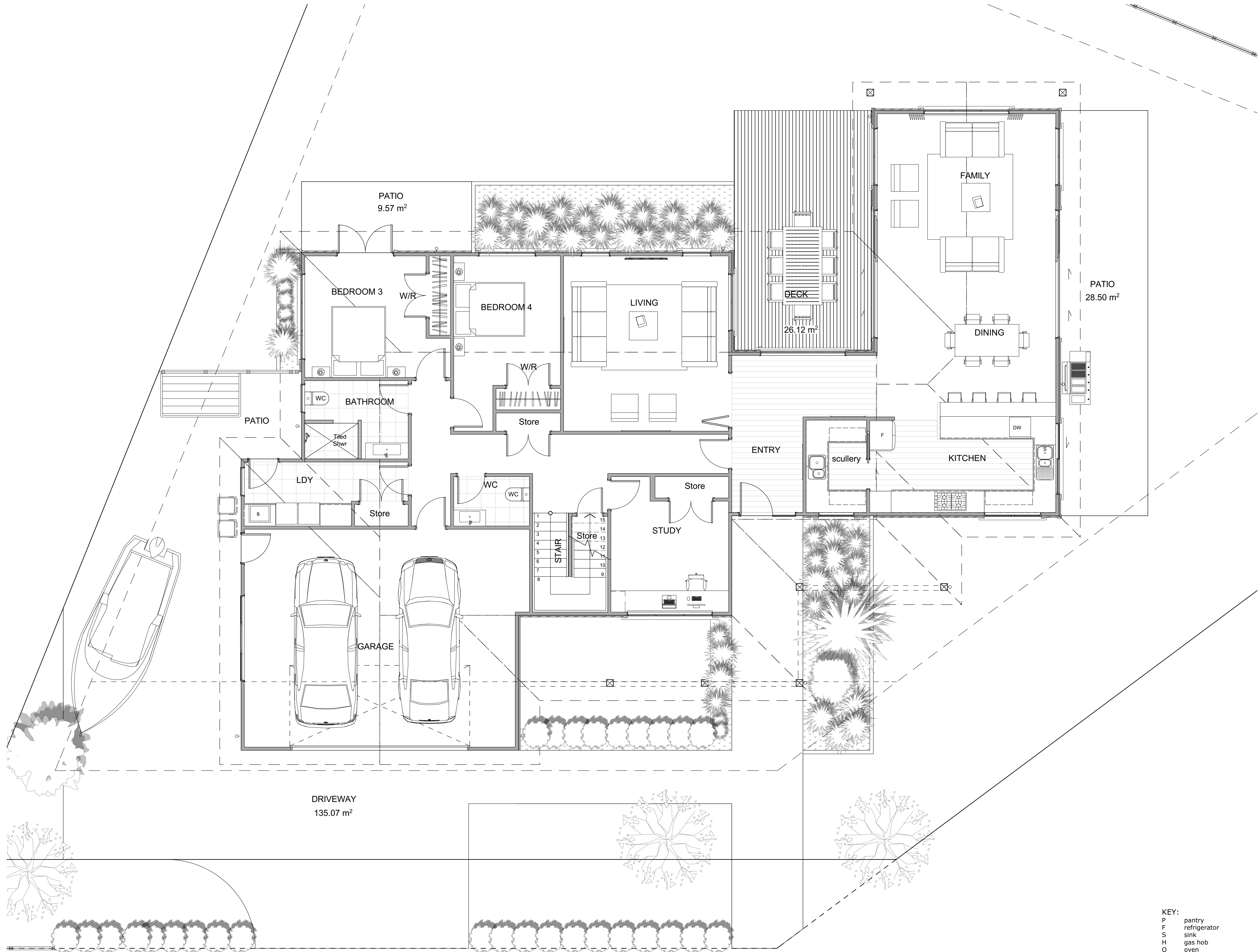
PROJECT STATUS

Sketch Drawings

Presentation

DESIGNER JPH	SHEET #, REVISION #
DRAWN BY JPH	03
PROJECT # 14-051-H	
ORIGINAL DRAWING SIZE: A1	

Draft Working Drawings
for pricing and not for construction. Please note these
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5 Gellibrand Place,

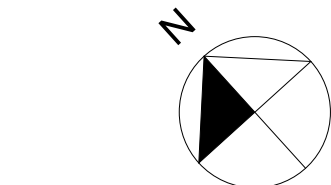
- KEY:
- P pantry
 - F refrigerator
 - S sink
 - H gas hob
 - O oven
 - MW microwave
 - DW dishwasher

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 - Selected floor tiles are to meet the anti-slip requirements of NZBC D1/AS1 Table 2.
 - All landscaping shown on presentation plan is indicative only and subject to Harwood Homes specification.

Site Information

LOT 19 DP 27862
Site Area 880 m²
Wind Zone: High
Exposure Zone: Zone D
Earthquake Zone: Zone 1

Ground Floor Area 238.22 m²
Upper Floor Area 92.37 m²
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Total Floor Area 337.53 m² (over cladding)



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PROJECT NAME AND ADDRESS:

Hof House
5 Gellibrand Place, Omokoroa,
Tauranga

SHEET TITLE:

**Ground
Presentation Plan**

SCALES 1:50
ISSUE DATE 11/07/2016

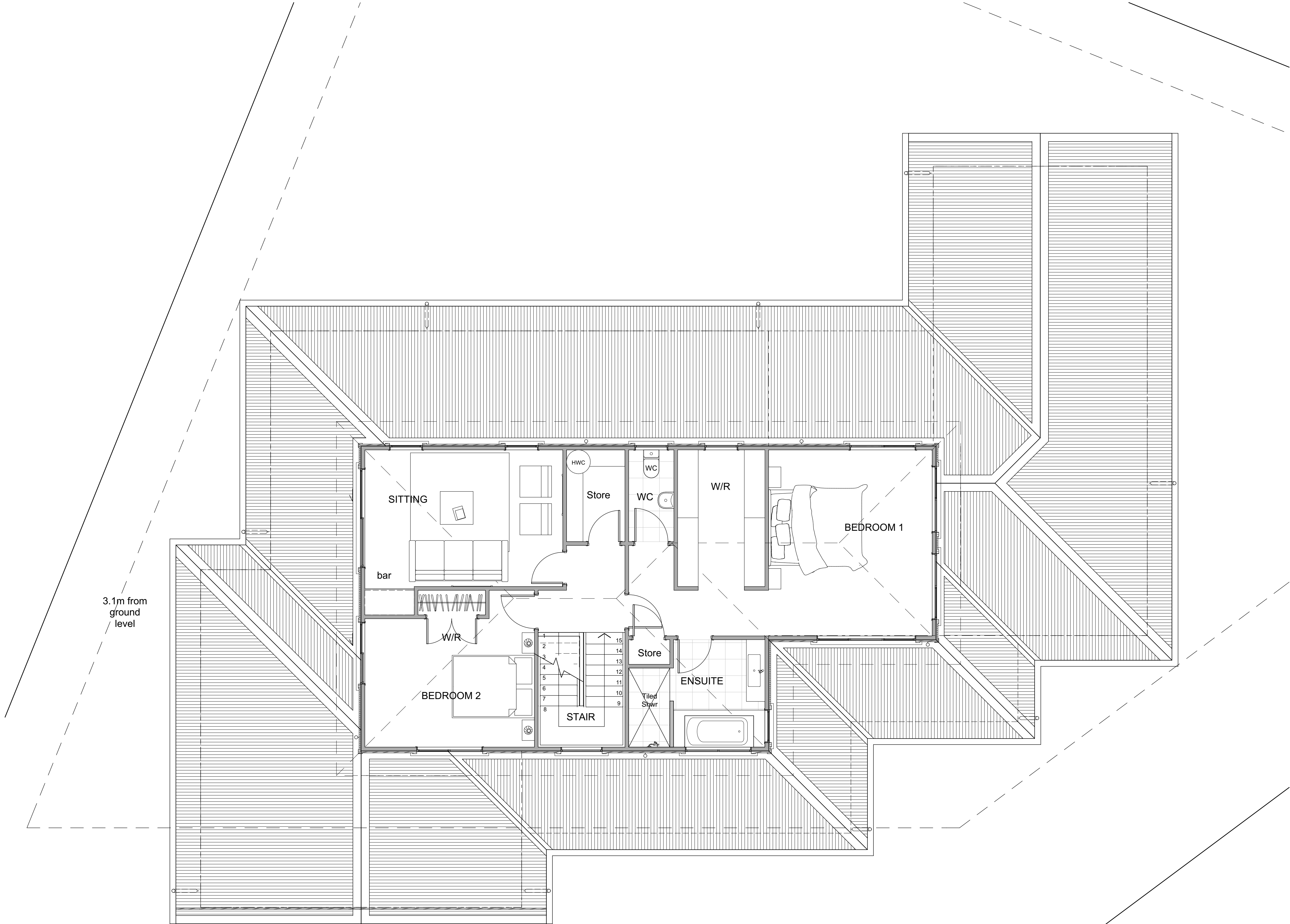
PROJECT STATUS

Sketch Drawings

Presentation

DESIGNER JPH	SHEET #, REVISION # <
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Draft Working Drawings
for pricing and not for construction. Please note these
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3.1m from
ground
level

KEY:
P pantry
F refrigerator
S sink
H gas hob
O oven
MW microwave over
DW dishwasher

Draft Working Drawings

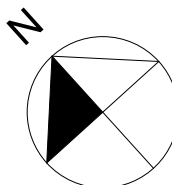
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PROJECT NAME AND ADDRESS:

Hof House
5 Gellibrand Place, Omokoroa,
Tauranga

SHEET TITLE:

**Upper Presentation
Plan**

SCALES

1:50

ISSUE DATE

11/07/2016

PROJECT STATUS

Sketch Drawings

Presentation

DESIGNER SHEET #, REVISION #

JPH

DRAWN BY

JPH

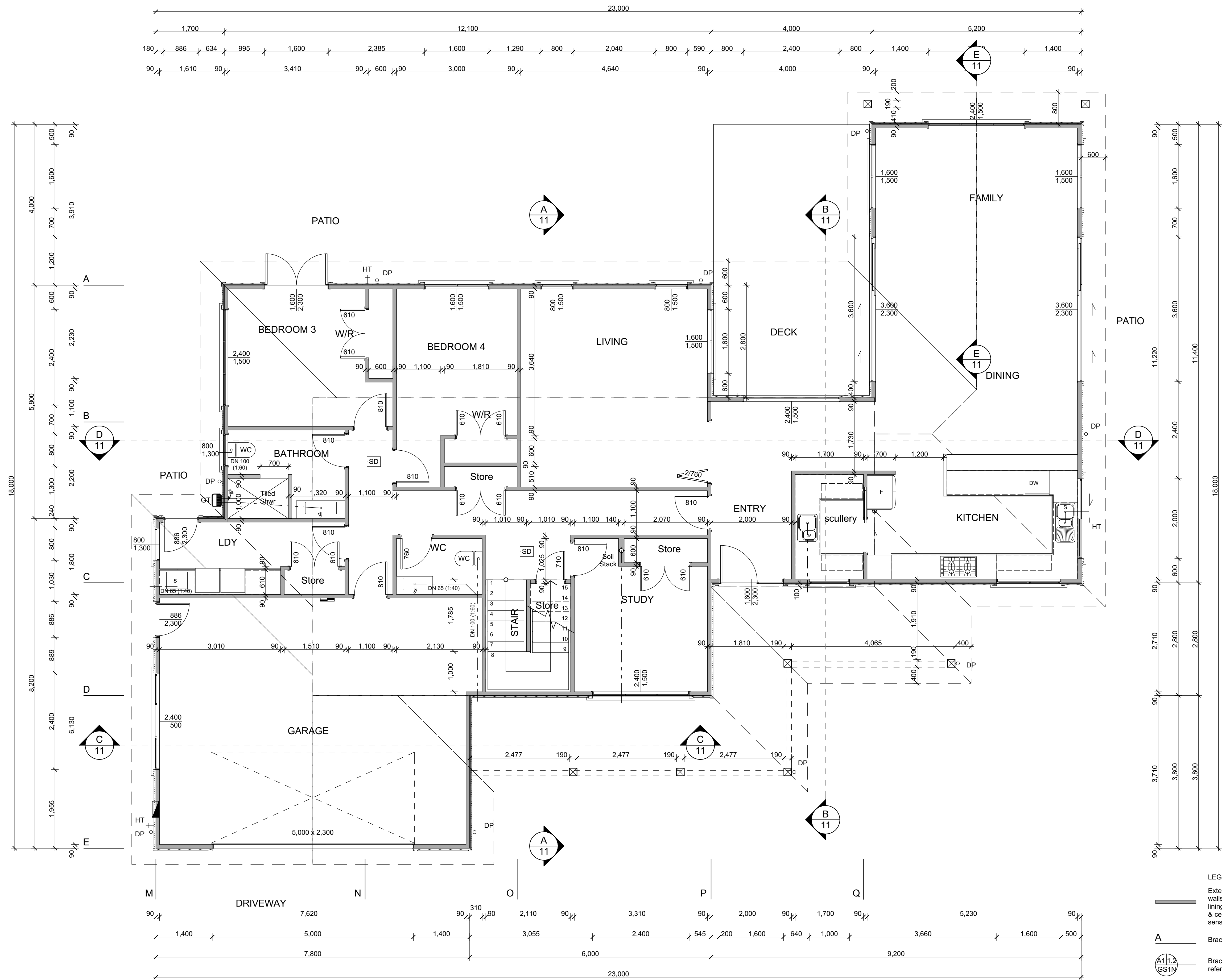
PROJECT #

14-051-H

05

ORIGINAL DRAWING SIZE: A1

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- LEGEND:
- Exterior/interior 90x45 H1.2 Boron treated pre-nail timber framed walls with studs at 600c/s and horizontally fixed 10mm Gib board lining throughout. Provide Gib Aqualine to bathroom/ensuite walls & ceilings. Gib square stop with level 4/5 finish. Level 5 to light sensitive areas for paint finish throughout.
- A Bracing lines.
- A11.2 GS1N Bracing Label number. For Type and length of bracing panel - refer to the bracing schedule in the specification appendix.

- KEY:
- P pantry
F refrigerator
S sink
H gas hob
O oven
MW microwave over
DW dishwasher
DP 80mm down pipe.
TV 50 dia terminal vent
FWG Floor waste gully
GT Gully Trap
SD Smoke Detector
HT Hose Tap
- Pink®Batts® thermal building insulation R2.2 (90mm) to walls, R3.2 (170mm) to all ceilings except garage. Insulate interior walls to garage/insulated spaces (no insulation to garage exterior).
• Provide 10x60mm high painted pine skirtings throughout.

Draft Working Drawings
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 - All underpinning, excavations & propping are carried out in stages to best trade practices
 - All dimensions to joinery and joinery sizes are to the framed openings.
 - All structural timber framing to be SG8 minimum & H1.2 Boron Treated unless specified otherwise.
 - For window lintel sizes and Lumberlok fixing types refer to Truss Plan
 - Provide stainless steel steel fixings to exposed elements in accordance with NZS 3604: 2011 Table 4.1.
 - Provide fixings to all elements not specifically designed in accordance with NZS 3604: 2011
 - Provide Lumberlok bottom plate anchor in accordance with manufactures specification and NZS 3604 7.5.12.2-4
 - HY90 & hySPAN LVL lintels (H1.2 Boron min.) beams to be fixed in accordance with NZS 3604 & CHH Futurebuild specifications.
 - Polypropylene tape at 300mm c/s horizontally to support building wrap and insulation for studs at 450mm+centers
 - Insulation requirements are in accordance with NZBC H1/AS1 Climate zone 2, NZS 4218: 2009 Calculation Method.
 - Gas fire place to be installed by certified installer and must meet or exceed all of the requirements of G11 of the New Zealand Building.

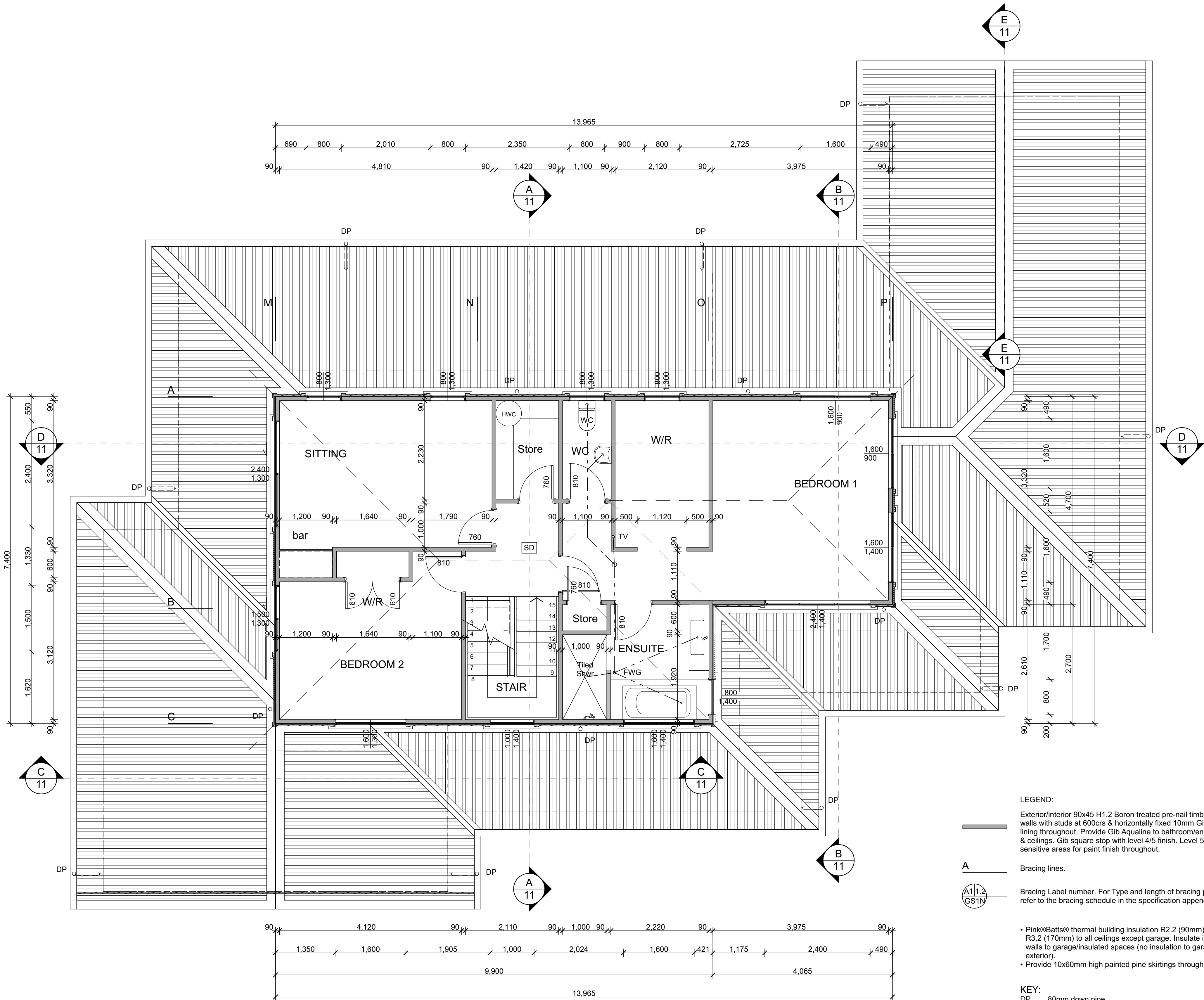
Site Information		
LOT 19 DP 27862		
Site Area 880 m²		
Wind Zone: High		
Exposure Zone: Zone D		
Earthquake Zone: Zone 1		
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Upper Floor Area 82.37 m²		
Total Floor Area 330.59 m² (over framing)		
Total Floor Area 337.53 m² (over cladding)		
Rev Revision By Date		



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HARWOOD HOMES+ Your family home. Our family name.™	
PROJECT NAME AND ADDRESS:	
Hof House 5 Gellibrand Place, Omokoroa, Tauranga	
SHEET TITLE:	
Ground Floor Plan	
SCALES 1:50	
ISSUE DATE 11/07/2016	
PROJECT STATUS	
Sketch Drawings	
Presentation	
DESIGNER JPH	SHEET #, REVISION #
DRAWN BY JPH	06
PROJECT # 14-051-H	

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- LEGEND:
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 - Bracing lines.
 - Bracing Label number. For Type and length of bracing panel - refer to the bracing schedule in the specification appendix.

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- Provide 10x60mm high painted pine skirtings throughout.

- KEY:
- DP 80mm down pipe.
 - TV 50 dia terminal vent
 - FWG Floor waste gully
 - SD Smoke Detector
 - HT Hose Tap

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Rev		Revision	By	Date



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PROJECT NAME AND ADDRESS:

Hof House
5 Gellibrand Place, Omokoroa,
Tauranga

SHEET TITLE:

Upper Floor Plan

SCALES

1:50

ISSUE DATE

11/07/2016

PROJECT STATUS

Sketch Drawings
Presentation

DESIGNER	SHEET #, REVISION #
JPH	
DRAWN BY	
JPH	
PROJECT #	07
14-051-H	ORIGINAL DRAWING SIZE: A1

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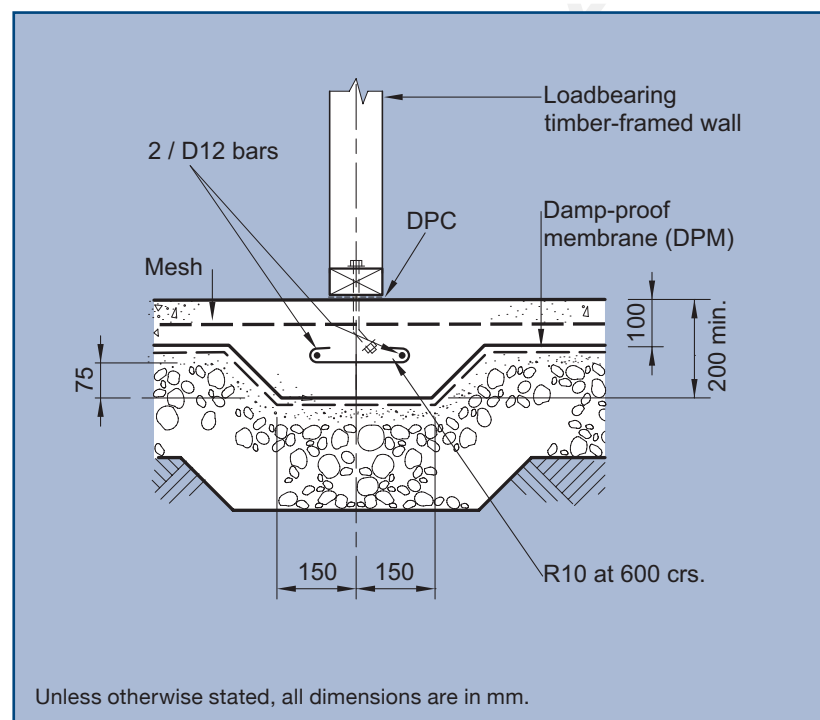
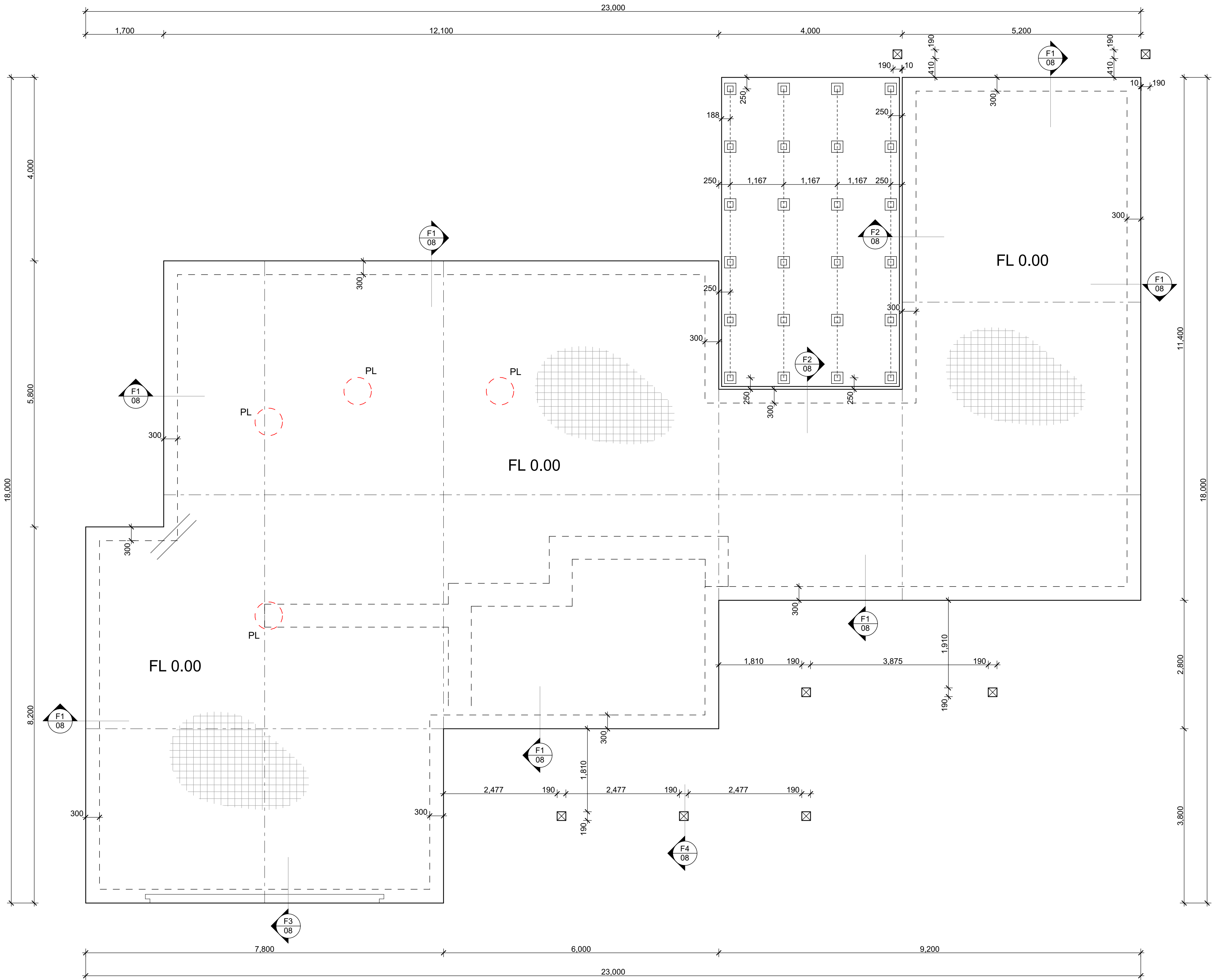
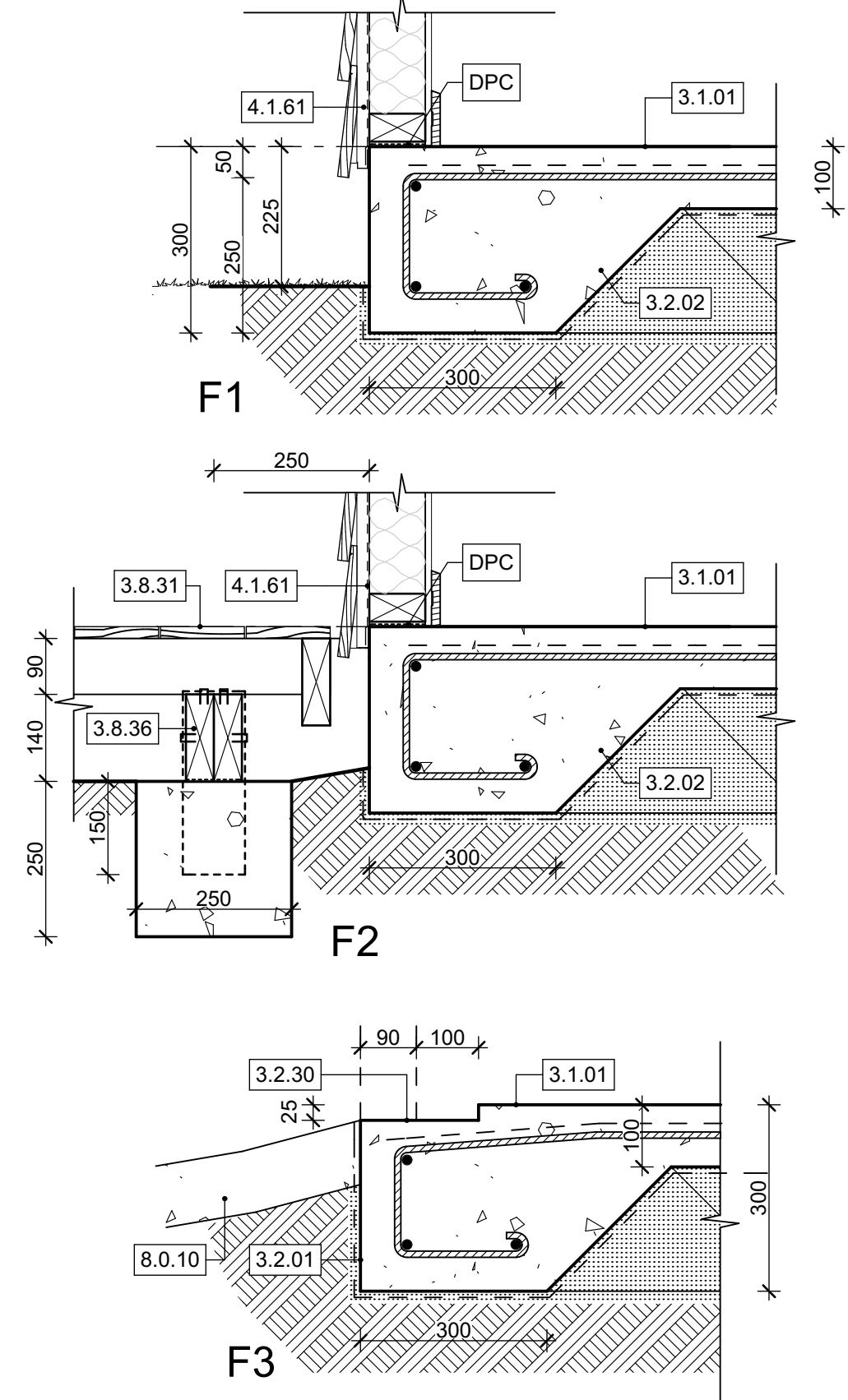


Figure 7.20 – Ground slabs beneath internal loadbearing walls (see 7.5.11.2)



Foundation Details
1:10

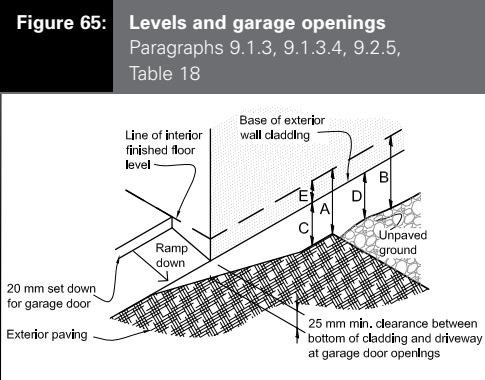


Table 18: Minimum clearances
Paragraphs 9.1.3, 9.1.3.1, 9.1.3.2, 9.1.3.3, 9.1.3.4, 9.1.3.5 and 9.2.7

Minimum clearances (mm)	Masonry veneer			Other claddings				
	A	B	C	A	B	C	D	E
Concrete slab	100	150	150	225	100	175	50	
Timber floor	Refer Note 1)					100	175	500

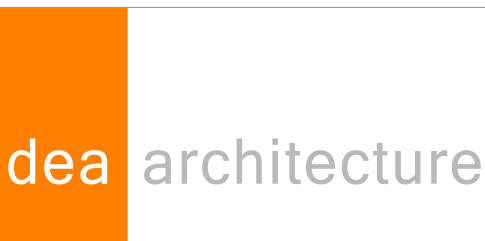
NOTE: 1) Refer to NZS 3604 for requirements.
2) Cladding to extend minimum 50 mm below bearer or lowest part of timber floor framing.

- General Notes**
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 - All work is to be carried out by tradespeople experienced, competent and familiar with the materials and techniques specified to be trade practice.
 - Verify all dimensions, boundary setout, levels, & service connections on site prior to construction
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 - All underpinning, excavations & propping are carried out in stages to best trade practices.
 - Provide Lumberlok bottom plate anchor in accordance with manufactures specification and NZS 3604 7.5.12.2.4

Site Information
LOT 19 DP 27862
Site Area 880 m²
Wind Zone: High
Exposure Zone: Zone D
Earthquake Zone: Zone 1

Ground Floor Area 238.22 m²
Upper Floor Area 92.37 m²
Total Floor Area 330.59 m² (over framing)
Total Floor Area 337.53 m² (over cladding)

Rev	Revision	By	Date



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PROJECT NAME AND ADDRESS:
Hof House
5 Gellibrand Place, Omokoroa, Tauranga

SHEET TITLE:
Foundation Plan

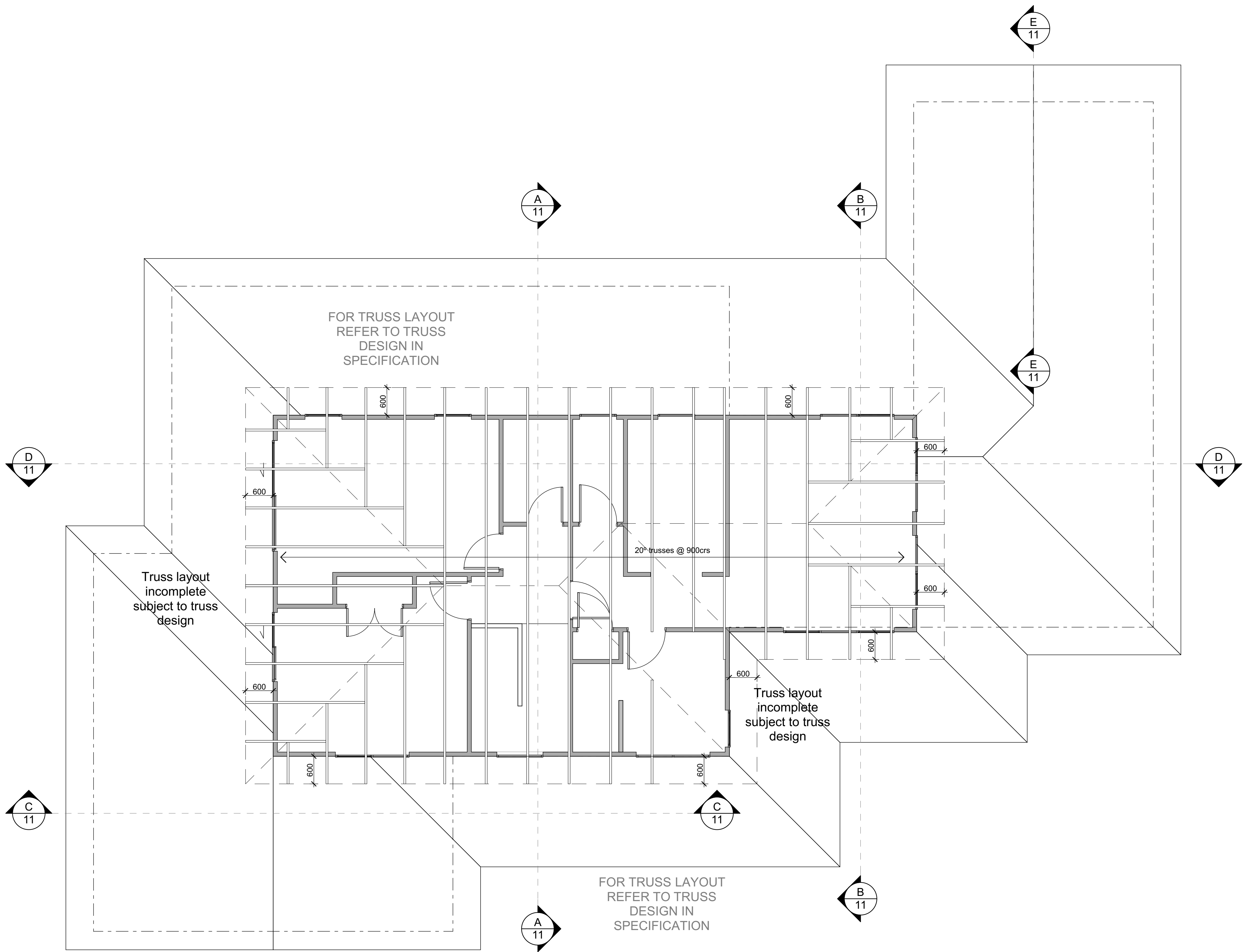
SCALES
1:50, 1:10,
ISSUE DATE
11/07/2016

PROJECT STATUS
Sketch Drawings

Presentation

DESIGNER JPH	SHEET #, REVISION #
DRAWN BY JPH	
PROJECT # 14-051-H	08 ORIGINAL DRAWING SIZE: A1

Draft Working Drawings
for pricing and not for construction. Please note these drawings are not complete and subject to change



Lumberlok stud to top plate fixing schedule

FIXING TYPE A
0.7 kN

2 x 90mm x 3.15 dia. plain steel wire nails driven vertically into stud.

FIXING TYPE B
4.7 kN

CHOOSE ANY OF THE 3 OPTIONS BELOW

2 x 90mm x 3.15 dia. plain steel wire nails driven vertically into stud.

2 x 90mm x 3.15 dia. plain steel wire nails driven vertically into stud.

Plus LUMBERLOK 6kN Stud Anchor (CPC80)

2 x LUMBERLOK CPC40

Recommended for internal wall options to avoid lining issues

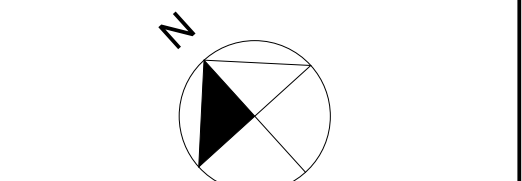
2 x 90mm x 3.15 dia. plain steel wire nails driven vertically into stud.

Plus LUMBERLOK Stud Strap (one face only)

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 - For steel beam layout / fixing / connection details refer to Upper Floor Framing Plan, Upper Truss & Roof Framing Plan & Structural Engineers details.
 - Prepare all steel with appropriate Alex Protective Coating System as specified.
 - All underpinning, excavations & propping are carried out in stages to best trade practises.
 - All structural timber framing to be SGR minimum & H1.2 Boron Treated unless specified otherwise.
 - For window lintel sizes and Lumberlok fixing types refer to Truss Plan
 - Provide stainless steel fixings to exposed elements in accordance with NZS 3604: 2011 Table 4.1.
 - Provide fixings to all elements not specifically designed in accordance with NZS 3604: 2011
 - Provide Lumberlok bottom plate anchor in accordance with manufactures specification and NZS 3604 7.5.12.2-4
 - HYBO & hySPAN LVL lintels (H1.2 Boron min.) beams to be fixed in accordance with NZS 3604 & CHH Futurebuild specifications.

Site Information
LOT 19 DP 27862
Site Area 880 m²
Wind Zone: High
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Earthquake Zone: Zone 1

Ground Floor Area 238.22 m²
Upper Floor Area 82.37 m²
Total Floor Area 330.59 m² (over framing)
Total Floor Area 337.53 m² (over cladding)



Rev	Revision	By	Date
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PROJECT NAME AND ADDRESS:

Hof House
5 Gellibrand Place, Omokoroa, Tauranga

SHEET TITLE:

Upper Truss & Roof Framing Plan

SCALES 1:50
ISSUE DATE 11/07/2016

PROJECT STATUS

Sketch Drawings

Presentation

DESIGNER JPH	SHEET #, REVISION #
DRAWN BY JPH	10
PROJECT # 14-051-H	ORIGINAL DRAWING SIZE: A1

Lumberlok lintel fixing schedule

TYPE E
1.4 kN

For fixing of jack studs to lintel & top plate, refer to Stud to Top Plate Fixing Schedule.

Stud numbers indicative only, Refer Table 8.5 NZS 3604:2011

TYPE F
4.0 kN

For fixing of jack studs to lintel & top plate, refer to Stud to Top Plate Fixing Schedule.

Stud numbers indicative only, Refer Table 8.5 NZS 3604:2011

TYPE G
7.5 kN

For fixing of jack studs to lintel & top plate, refer to Stud to Top Plate Fixing Schedule.

Stud numbers indicative only, Refer Table 8.5 NZS 3604:2011

6 x 90mm x 3.15 dia. nails
400mm Sheet Brace Strap to one side
2 x 90mm x 3.15 dia. nails directly below lintel (typical)
6 x 30mm x 3.15 dia. nails each end
90mm x 3.15 dia. nails at 250 c/s (trimmer to understud (typical))
Max. 100mm (typical)
Min. 75mm into concrete
(6kN Stud Anchor (CPC80))
M12 proprietary concrete fixing bolt with 50x50x3mm square washer or M12 x 150mm coach screw with 50x50x3mm square washer into timber post/bearer

OR

6 x 90mm x 3.15 dia. nails
Tylok 10T10 to one side
60mm (Two rows of teeth into understud)

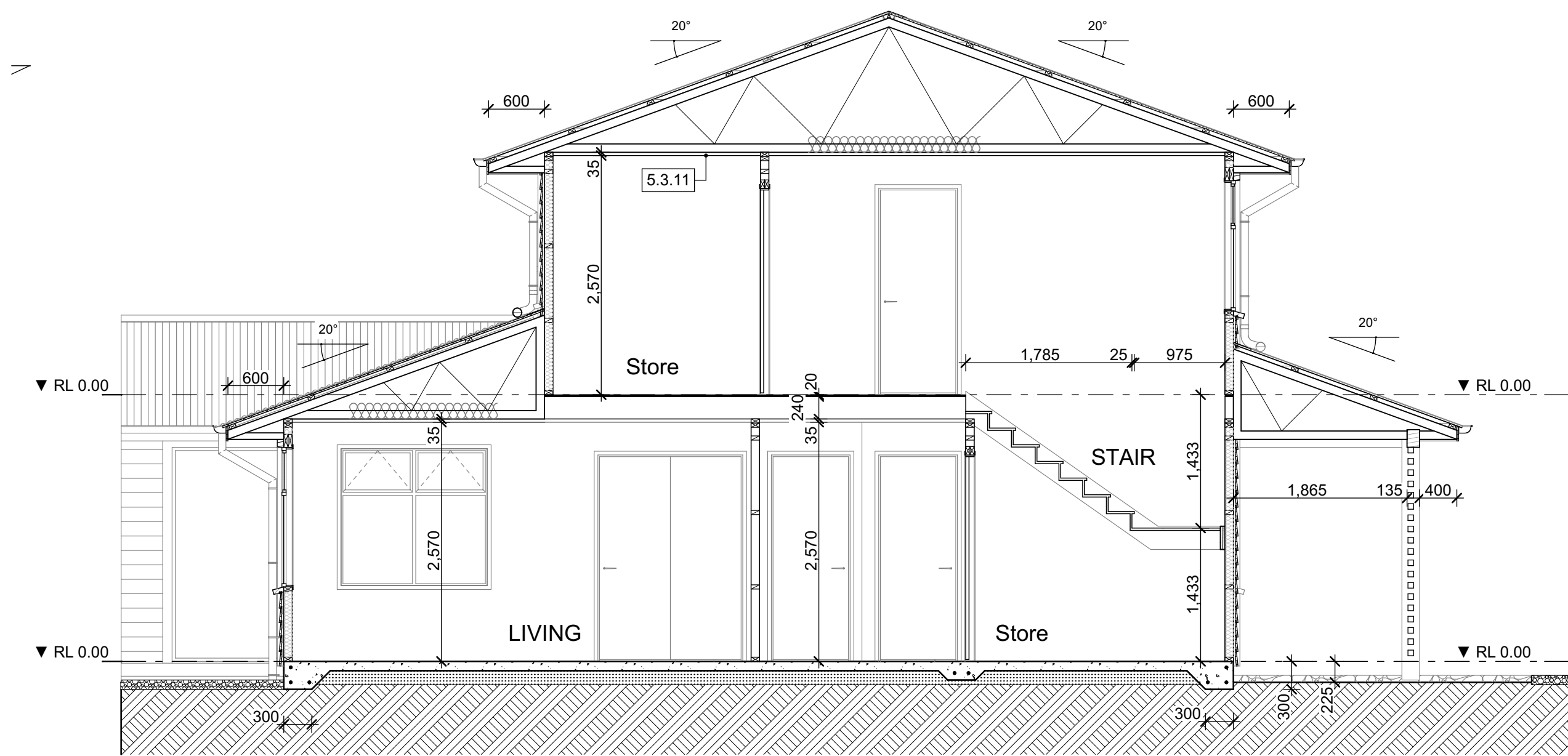
OR

2 x Tylok 2T4 to both sides for Radiata Pine
2 x Strap Nail to both sides for Douglas Fir

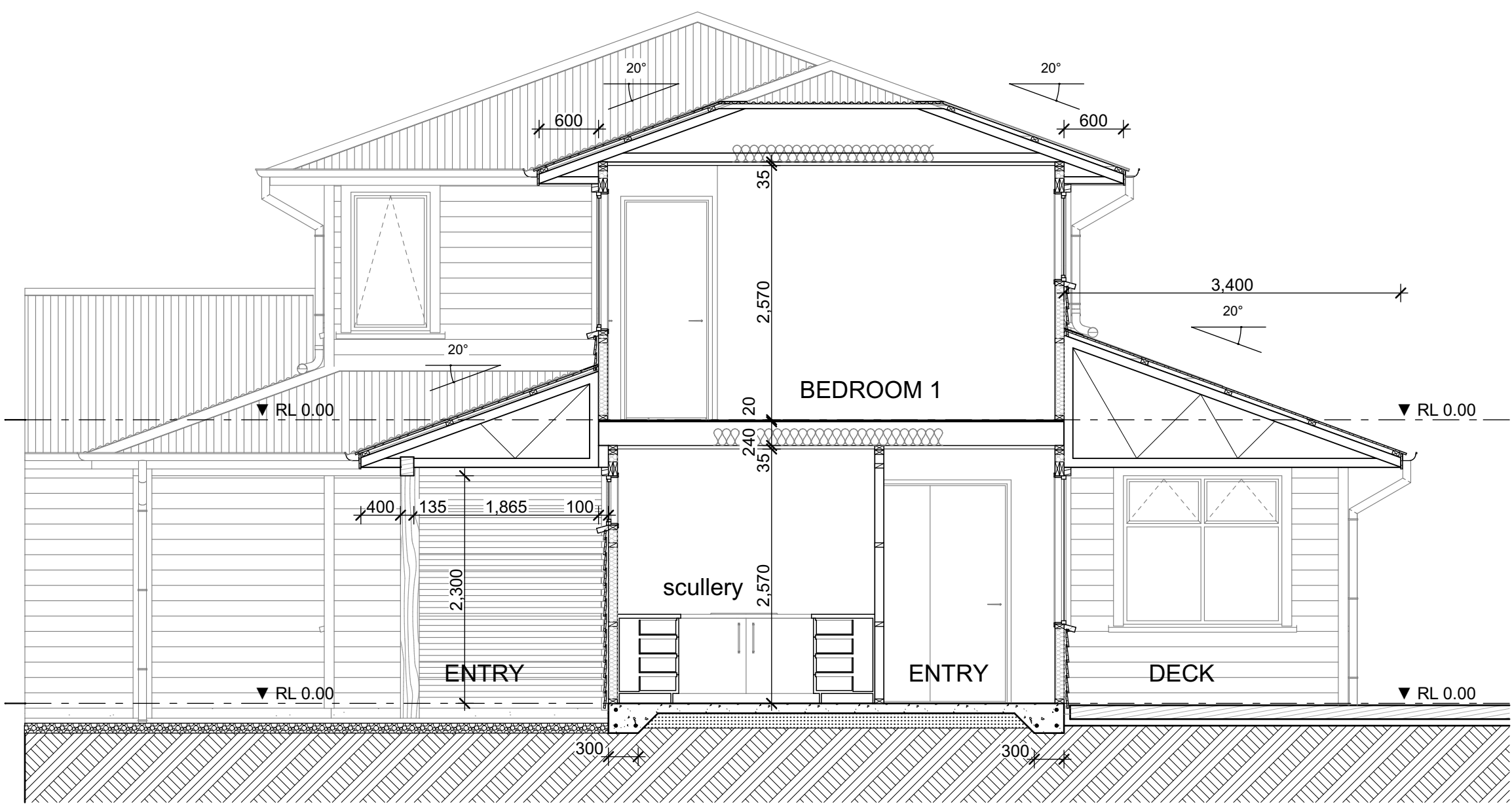
OR

400mm Sheet Brace Strap to one side
6 x 30mm x 3.15 dia. nails to stud
2 x 30mm x 3.15 dia. nails to bottom plate
Proprietary screw bolt
6 x 30mm x 3.15 dia. nails to timber post/bearer

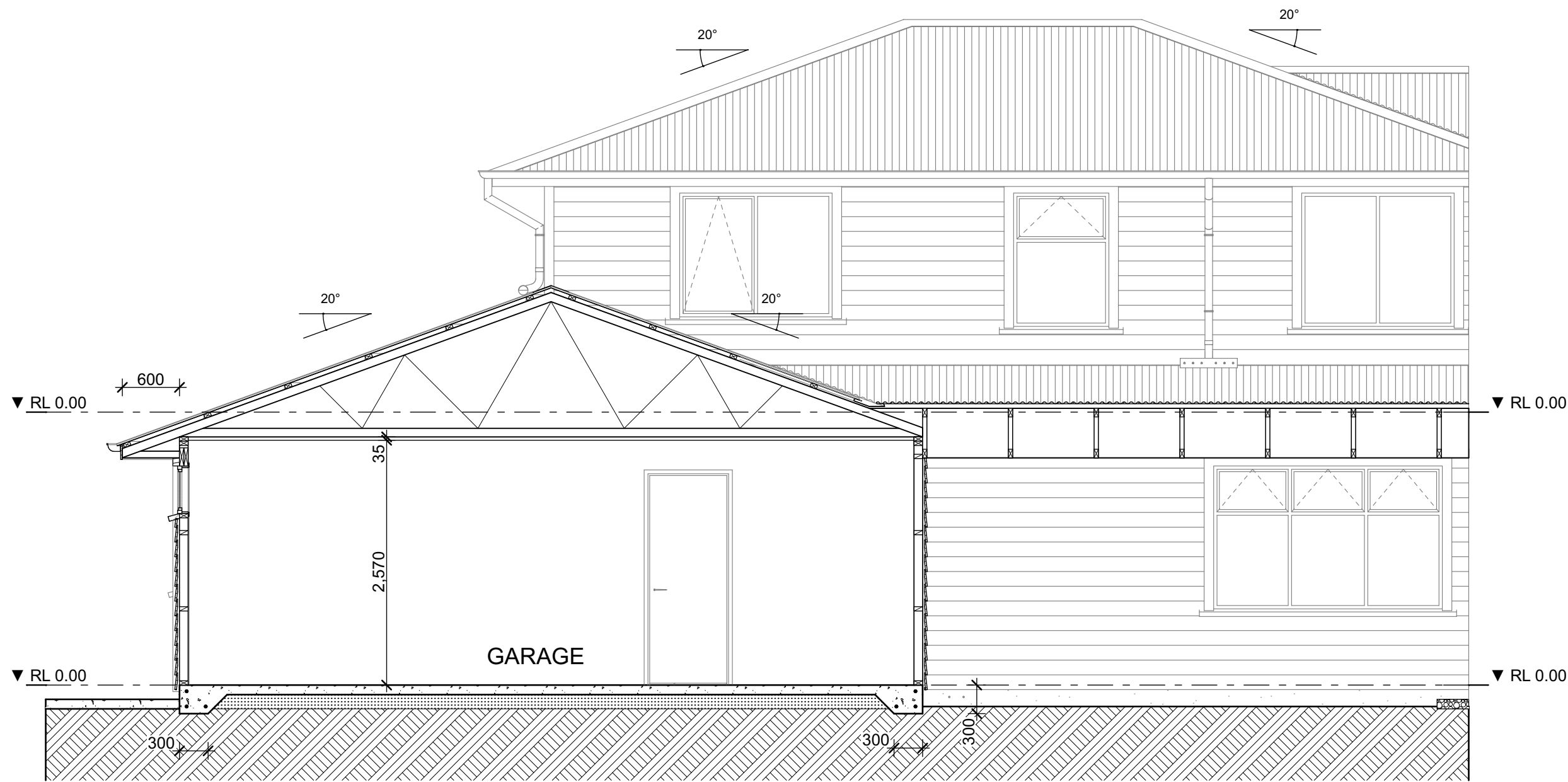
Draft Working Drawings
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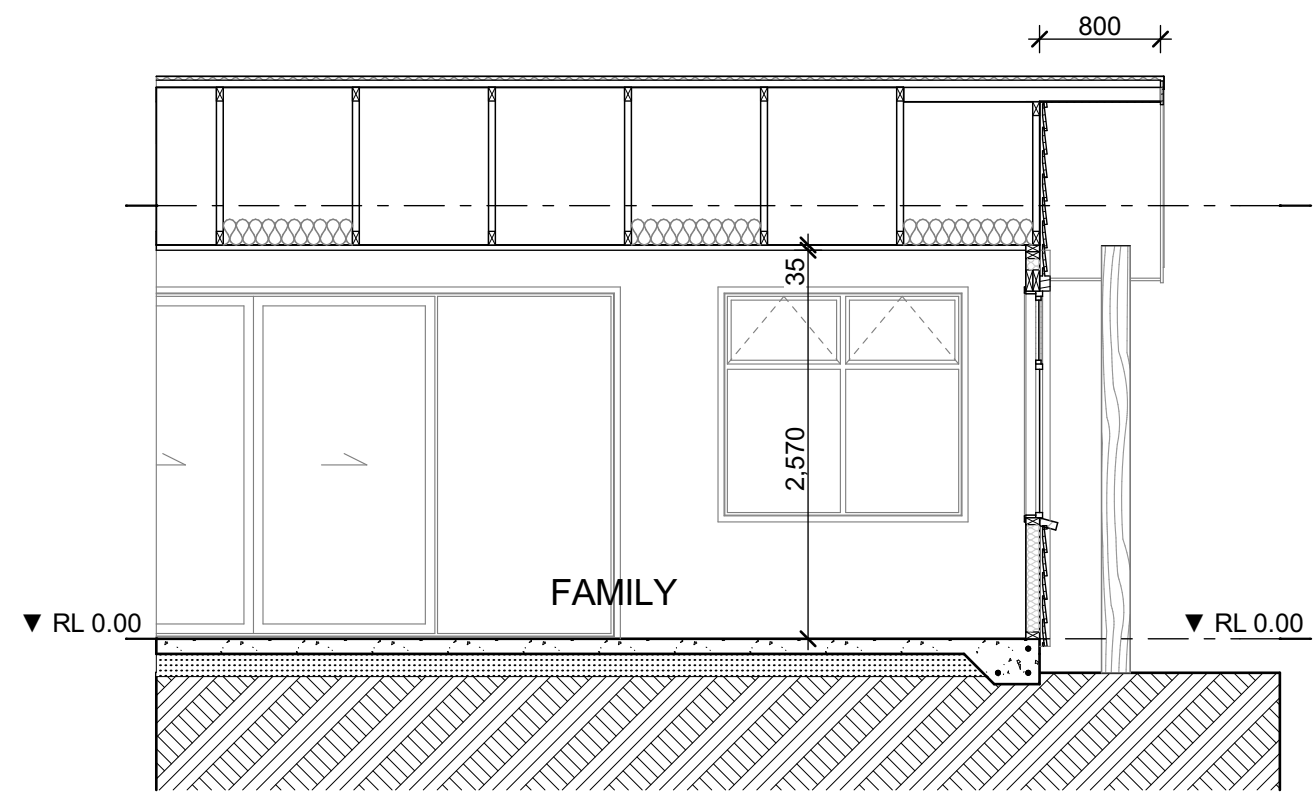
Section A-A
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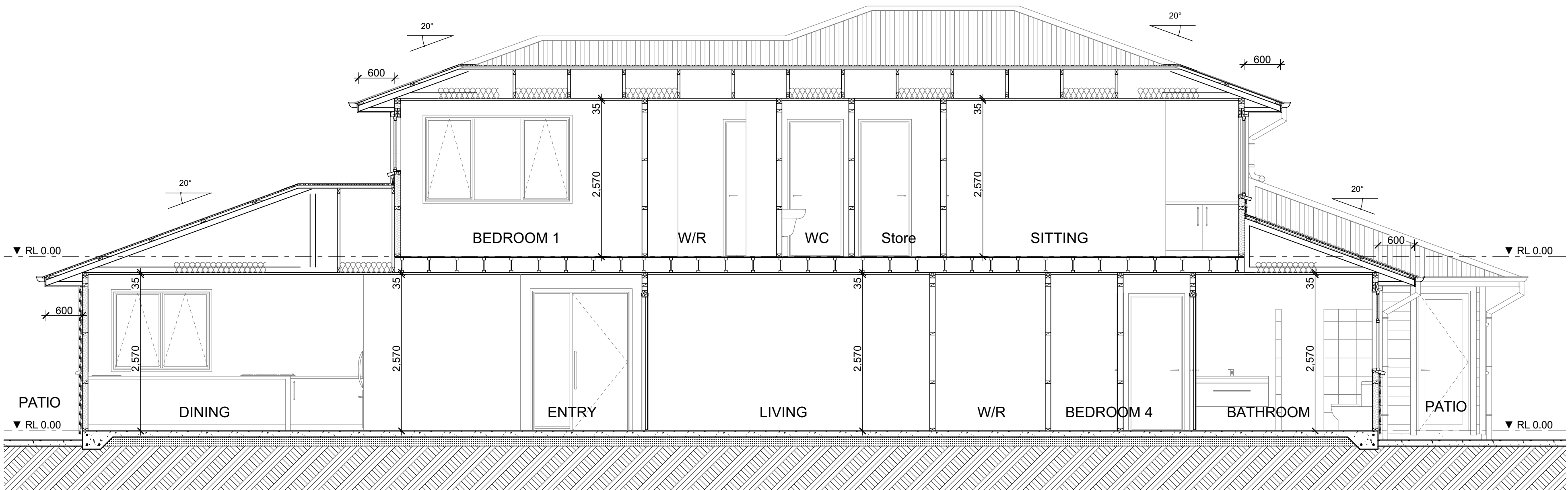
Section B-B
1:50



Section C-C
1:50



Section E-E
1:50



Section D-D
1:50

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 - Idea Architecture Ltd is not liable for any claim, damage, liability, loss or expense incurred by the client as a consequence of any change that the client or any other person makes to the approved building consent documents.
 - Regular maintenance is to be undertaken in strict accordance with the maintenance schedule and each respective product specified on this building in strict accordance with the manufacturers specification. It is the responsibility of the main contractor to provide a maintenance schedule to the building owner and ensure they are informed of their own responsibility to maintain the performance of their property in accordance with the NZBC E2/AS1 2.5 and 2.5.1
 - All underpinning, excavations & propping are carried out in stages to best trade practices
 - All exterior & interior wall construction is to be 90x45 H1.2 BORON treated at 600hrs
 - Provide fixings to all elements not specifically designed in accordance with NZS 3604: 2011.
 - Provide Lumberlok bottom plate anchor / header block anchor in accordance with manufactures specification and NZS 3604 7.5.12.2-4
 - All roof claddings and associated flashings including all parapet, saddle, valley, barge, ridge and apron flashings are to be undertaken by a licensed applicator in strict accordance with the NZBC E2/AS1 and NZ Metal Roof and Wall Cladding Code of Practice.
 - Provide producer statements to cover the design and application of the cladding system including all flashings & sealants, warranted weathertight.
 - Polypropylene tape at 300mm crs horizontally to support building wrap and insulation for studs at 450mm+centers
 - Excavate topsoil/subgrade materials to new building platform. Allow to supply additional approved fill, mix and re-compact in 150mm layers in strict accordance with NZS 3604.
 - The area of compacted hard fill shown is to the existing ground line only. The compaction is to be tested/certified by the Structural engineer to the required bearing. The extent and depth of top soil to be removed is to be established on site.

Site Information
LOT 19 DP 27862
Site Area 880 m²
Wind Zone: High
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Earthquake Zone: Zone 1

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Tauranga

SHEET TITLE:
Sections A-A - D-D

SCALES
1:50

ISSUE DATE
11/07/2016

PROJECT STATUS
Sketch Drawings

Presentation

DESIGNER JPH	SHEET #, REVISION #
DRAWN BY JPH	11
PROJECT # 14-051-H	ORIGINAL DRAWING SIZE: A1

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