



KINGSON
COURT

in conjunction with



Proposed New
Four Bedroom
Home

at

4 Kingdon Court
Omokoroa

for

Kingson
Construction Ltd

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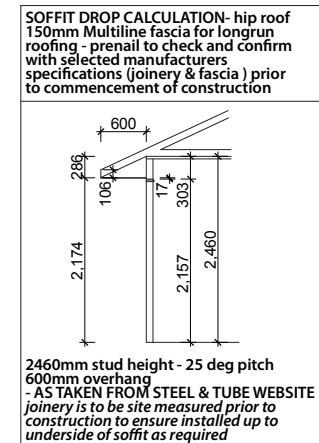
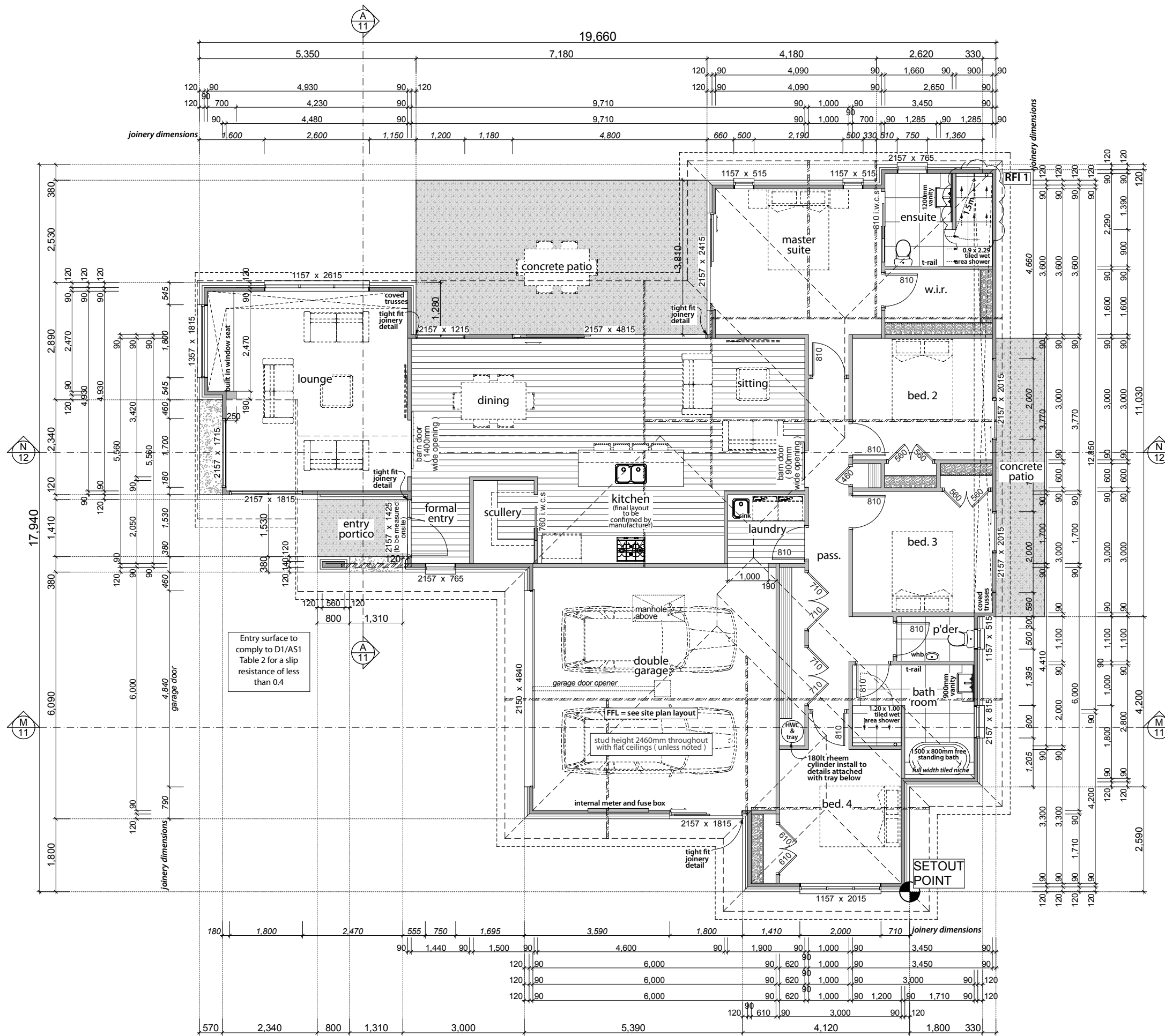


PROJECT STAGE	DATE
Plans for truss design	12.11.2021
Plans for truss design	17.11.2021
Plans for sw tank design	17.11.2021
Plans for Baseup design	14.12.2021
Owner Review	02.06.2022
Plans for Consent Application	04.07.2022
RFI 1	20.07.2022

CONSENT PLAN
-RFI 1-

job number: 2019-143

total pages: 30



in conjunction with

JOB DETAILS:

Proposed New Four Bedroom Home
at
4 Kingson Court Omokoroa
for
Kingson Construction Ltd

GENERAL DESIGN NOTES:

Do not scale from plans or details, consult with designer for confirmation if required
Plans to be read in conjunction with the Building Specifications, Bracing Calculations, Truss Designs, Engineering Designs and Specification and Manufacturers Specifications
all building work shall be strictly in accordance with NZS 3604 and The New Zealand Building Code and all relevant Standards and Codes
All works shall satisfy the requirements of E2-AS1 External Moisture
All Changes or Amendments to the Plans or Specifications to be Consulted with Insignia Design & Architecture Ltd prior to commencement
Contractor to confirm all Dimensions, Levels, Boundary Setbacks and Setouts, Service Connections, Locations and Levels, Daylighting and Height Restriction Requirements prior to commencement of works
Consult with Plumbing, Drainage, Electrical and All Required Sub Contractors prior to commencement of construction stages to ensure all applicable works have been completed accordingly and as required.
All Construction Materials and Systems shall be stored, handled and installed strictly to manufacturers specifications and details
Timber and Wood Based Products and Timber Treatment for use in the Building to comply with NZS 3602
All Framing Shall be min. H1.2 treatment and strength grade or SGB or higher unless specified, refer to the plans for all timber strengths as required.
All Glazing shall comply with NZS 4223 and the Code of Practice for Glazing in Buildings.
Provide WAZ support bars under all Full Height Openings strictly to WAZ WIS Details.
Concrete to be min. 20.0 mPa as per engineers design ready mixed to as per engineers design
Concrete Construction to as per engineers design
Reinforcing Bars and Welded Reinforcing Mesh to as per engineers design
Construct Floor Slabs, DPM, Reinforcing and Saw Cuts to as per engineers design

DRAWING STAGE:

CONSENT PLAN
-RFI 1-

CONTENTS:

ground floor plan layout - dimensioned

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SCALE: refer drawing title

JOB NO:	SHEET:	DRAWING:
2019-143	05 of 30	A3

ground floor plan layout - dimensioned
scale = 1 : 50 @ A1 1:100 @ A3

SINGLE LEVEL DWELLING AREA'S : (to outside of framing)	
house floor plan area	= 168.12 sq. meters
garage plan area	= 40.36 sq. meters
total floor plan area	= 208.48sq. meters
outside of foundation plan area	= 214.72 sq. meters
covered entry plan area	= 3.95 sq. meters



Western Bay of Plenty District Council, BC96971. APPROVED. THESE PLANS MUST REMAIN ONSITE.