

WESTERN BAY OF PLENTY DISTRICT COUNCIL

Consent No: 96971

Building Category: R2

Site Address: 4 KINGSON COURT, OMOKOROA

Owner/Agent: KINGSON CONSTRUCTION LIMITED

Inspections

Please phone 07 579 6514 to book all inspections between 8am and 3pm.

You must quote the BC number and provide LBP numbers where relevant, when requesting an inspection and provide minimum of 3-5 working days notice.

There must be a full set of the approved plans, specifications and supporting documentation on site at all times.

FROM THE 1 OCTOBER 2019 IF YOUR BUILDING CONSENT CONTAINS RESTRICTED BUILDING WORK THE BUILDING INSPECTORS WILL BE ASKING FOR THE LBP LICENSES ON-SITE FOR INSPECTIONS WHERE RESTRICTED BUILDING WORK HAS BEEN CARRIED OUT. IF THE LICENSED LBP WHO CARRIED OUT THE BUILDING WORK CANNOT BE ON SITE FOR SOME REASON, A SIGNED PHOTOCOPY OF THE LBP LICENSE THAT HAS THE BUILDING CONSENT NUMBER WRITTEN ACROSS THE COPY OF THE LICENSE WILL BE ACCEPTABLE. IF NO PROOF OF THE LICENSE IS PROVIDED AT THE TIME OF THE INSPECTION, THE INSPECTION MAY FAIL UNTIL WE RECEIVE CONFIRMATION THAT THE RESTRICTED BUILDING WORK HAS BEEN CARRIED OUT/SUPERVISED BY A LBP.

The fees for this building consent allowed for an estimated number of inspection types to ensure construction work has been carried out in accordance with the approved consent and the building code. Any additional inspections carried out will be charged for and must be paid before the Code Compliance Certificate can be issued.

Please note: The first inspection for any project must be carried out by a Council Building Control Officer. This inspection may be carried out jointly with other third party members such as engineers, building surveyors, etc to establish responsibility for all future site inspections. A third party application form must be completed for all projects where an independent third party is to be involved.

This list is not intended to be an absolute and definitive list of inspections. It is guidance only for the owner, builder and relevant parties on possible areas of construction that need to be inspected and verified by council. Other independent parties (i.e. engineer, specialist, etc.) may also need to inspect specific parts of the construction work. This guide is intended to help all parties work toward gaining a Code Compliance Certificate. Depending on the scope and nature of building work, inspections may need discussion and engagement between the builder and inspector. The following types of inspection visits are required to inspect/verify before the work is covered/enclosed:

- | | |
|--------------------------------|--|
| 1 Siting | To check the position of the building relative to clearly identified boundaries; floor levels. A Surveyor's report may be required where the boundary, boundary markers and floor datum could not be identified. |
| 1 Ground Check/Clear Ground | Required for raft flooring system and slab on grade (pour in one) slab construction; before placement of the formwork and hardfill. To check the clear ground or the excavated ground and ground condition of the building platform. |
| 1 Underfloor Plumbing Drainage | Required before pipework is covered to check connections, fall, pipe size, venting, protection |

1 Concrete Foundation	of penetration of slab and test. To check the excavated ground, ground condition, any reinforcing before placing any concrete for foundation wall or footing; may include siting inspection.
1 Concrete Floor - ribraft pour in one	To check DPM, basecourse, steel reinforcing, slab thickening before placing any concrete for the concrete slab and any integral footing; all services under test; may include siting inspection.
1 R2 Framing	To check fixings of framing to the floor and subfloor for bracing panels, roof framing to walls, etc. before fitting of building wrap/RAB.
1 R2 Preclad	Prior to cladding being installed; or when cavity battens have been installed (for cavity construction) with flashing tape and sill tape completed, all required flashings installed; window installed and flashed. windows are installed and flashed.
1 Brick Veneer	To check the walls when they are about half height to inspect the cavity and wall ties.
1 Plumbing - pre-line stage	To check all plumbing work and water pipe work under test before fitting of any internal lining, before install of insulation.
1 R2 Preline - standard	To check insulation installed, timber moisture content, air seals completed with backing foam fitted around joinery; specific fixing requirements for substrate behind wet area membrane; before fitting of any internal lining. The cladding must have been completed and the building weathertight.
1 Postline - standard	To check sheet brace fixing before stopping
1 Drainage	To check all drainage work under test before back filling and before covering any drain. As-built plan to be provided at time of inspection.
1 Final Inspection - Standard	On completion of all building work following a formal application for Code Compliance Certificate as up loaded to the portal with all other required documentation. We are required to check water temperature, therefore please ensure the hot water cylinder has been switched on 24 hours prior to inspection.
13 Total Inspections	

Documentation

At the completion of building work, Council will carry out a final inspection; and if the work complies with the approved building consent and the building code Council can issue a Code Compliance Certificate. The owner/owner's agent is legally required to apply for Code Compliance Certificate at completion of the building work.

The following documents are required to be provided in support of the CCC application:

- 1 CCC application - Form 6 (can apply on-line)
- 1 Drainage Asbuilt - External-Sewer (G13)
- 1 Drainage Asbuilt - Stormwater (E1)
- 1 Electrical Certificate (BA 04)
- 1 Surveyors Height In Relation To Boundary Certificate (District Plan)

Licensed Building Practitioners

If the project involves Restricted Building Work (RBW) details of Licensed Building Practitioner who will be carrying out or supervising the RBW are to be supplied to council (i.e. names, licence numbers). This person/LBP may be a carpenter, roofer, external plasterer, bricklayer, block-layer or foundations specialist.

The following record of building work (or Memorandum) from each LBP is required to be submitted to council at completion of the building work:

- 1 Designer
- 1 Carpentry
- 1 Foundations
- 1 Brick & Blocklaying
- 1 Roofing

Advice Notes

This building consent has been issued on the basis of the information supplied with the application and no pre consent site inspection has been made.

This is restricted building work and NO inspections will be carried out unless an LBP number is provided at time of booking.

Construction works shall be performed in a manner that avoids the likelihood of causing danger or hazards to people or property on or off site. The unauthorised entry of children on site is to be prevented. Site safety is to comply with F5 of the NZBC.



**KINGSON
COURT**

in conjunction with



**Proposed New
Four Bedroom
Home**

at

**4 Kingdon Court
Omokoroa**

for

**Kingson
Construction Ltd**

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PROJECT STAGE	DATE
Plans for truss design	12.11.2021
Plans for truss design	17.11.2021
Plans for sw tank design	17.11.2021
Plans for Baseup design	14.12.2021
Owner Review	02.06.2022
Plans for Consent Application	04.07.2022
RFI 1	20.07.2022

CONSENT PLAN
-RFI 1-

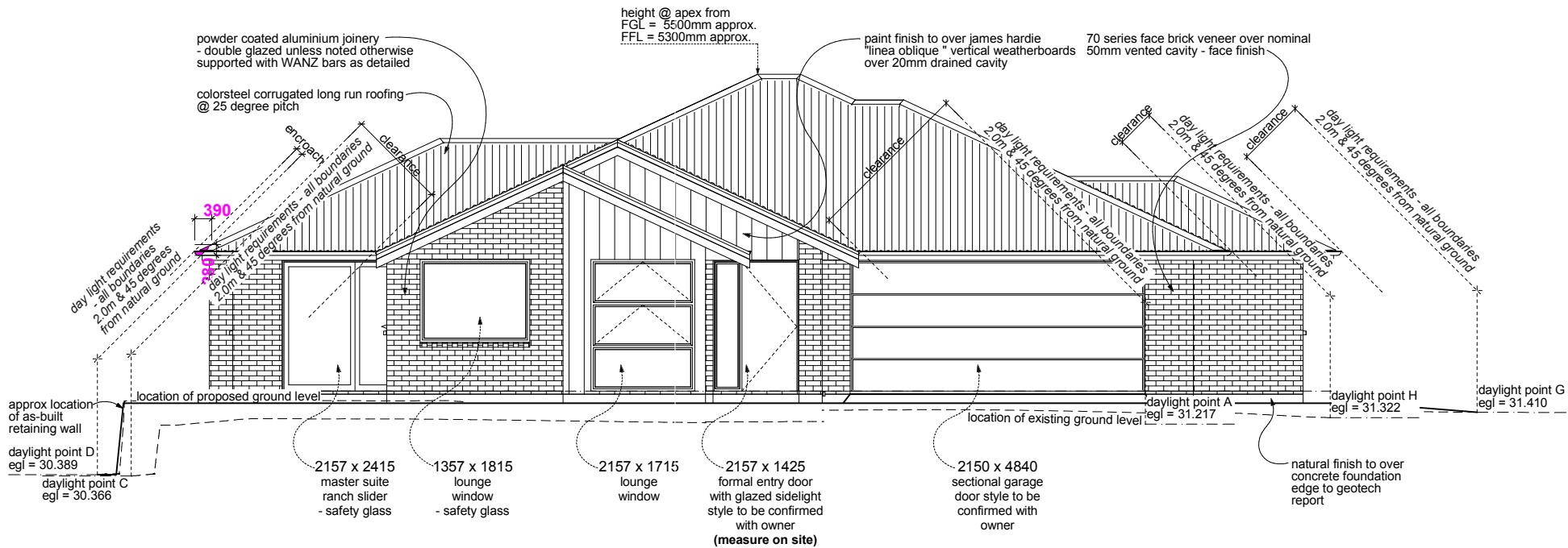
job number: 2019-143

total pages: 30

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note:
builder to discuss and confirm type of obscured glazing with Owner prior to joinery manufacturer



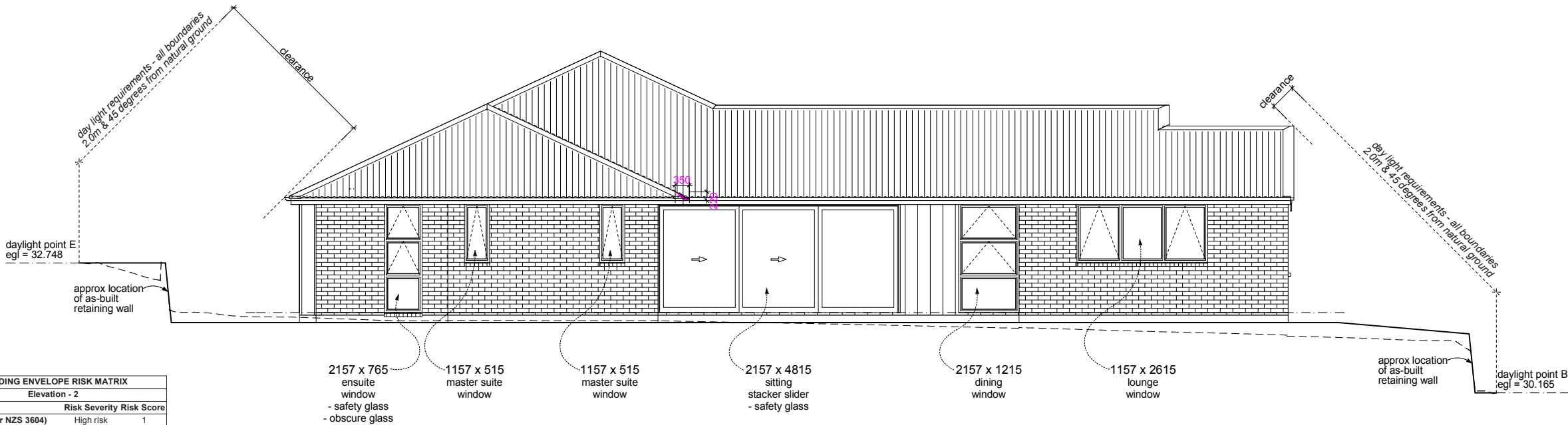
BUILDING ENVELOPE RISK MATRIX			
Elevation - 1			
Risk Factor	Risk Severity	Risk Score	
Wind zone (per NZS 3604)	High risk	1	
Number of storeys	Low risk	0	
Roof/wall intersection design	Very high risk	5	
Eaves width	High risk	2	
Envelope complexity	Medium risk	1	
Deck design	Low risk	0	
Total Risk Score:		9	

elevation - 1

scale = 1 : 50 @ A1 1:100 @ A3

proposed new dwelling

FFL = 31.760 to Moruriki Datum
as per Maven As Built Contour Plan



BUILDING ENVELOPE RISK MATRIX			
Elevation - 2			
Risk Factor	Risk Severity	Risk Score	
Wind zone (per NZS 3604)	High risk	1	
Number of storeys	Low risk	0	
Roof/wall intersection design	Very high risk	5	
Eaves width	High risk	2	
Envelope complexity	Medium risk	1	
Deck design	Low risk	0	
Total Risk Score:		9	

elevation - 2

scale = 1 : 50 @ A1 1:100 @ A3



JOB DETAILS:

Proposed New
Four Bedroom
Home
at
4 Kingson Court
Omokoroa
for
Kingson
Construction Ltd

GENERAL DESIGN NOTES:

Do not scale from plans or details, consult with designer for confirmation if required

Plans to be read in conjunction with the Building Specifications, Bracing Calculations, Truss Designs, Engineering Designs and Specification and Manufacturers Specifications

all building work shall be strictly in accordance with NZS 3604 and The New Zealand Building Code and all relevant Standards and Codes

All works shall satisfy the requirements of E2-AS1 External Moisture

All Changes or Amendments to the Plans or Specifications to be Consulted with Insignia Design & Architecture Ltd prior to commencement

Contractor to confirm all Dimensions, Levels, Boundary Setbacks and Setouts, Service Connections, Locations and Levels, Daylighting and Height Restriction Requirements prior to commencement of works

Consult with Plumbing, Drainage, Electrical and All Required Sub Contractors prior to commencement of construction stages to ensure all applicable works have been completed accordingly and as required.

All Construction Materials and Systems shall be stored, handled and installed strictly to manufacturers specifications and details

Timber and Wood Based Products and Timber Treatment for use in the Building to comply with NZS 3602

All Framing Shall be min. H1.2 treatment and strength grade or SG8 or higher unless specified, refer to the plans for all timber strengths as required.

All Glazing shall comply with NZS 4223 and the Code of Practice for Glazing in Buildings.

Provide WANZ support bars under all Full Height Openings strictly to WANZ WIS Details.

Concrete to be min. 20.0 mPa as per engineers design ready mixed to as per engineers design

Concrete Construction to as per engineers design

Reinforcing Bars and Welded Reinforcing Mesh to as per engineers design

Construct Floor Slabs, DPM, Reinforcing and Saw Cuts to as per engineers design

DRAWING STAGE:

CONSENT PLAN

CONTENTS:

proposed elevations
risk matrix

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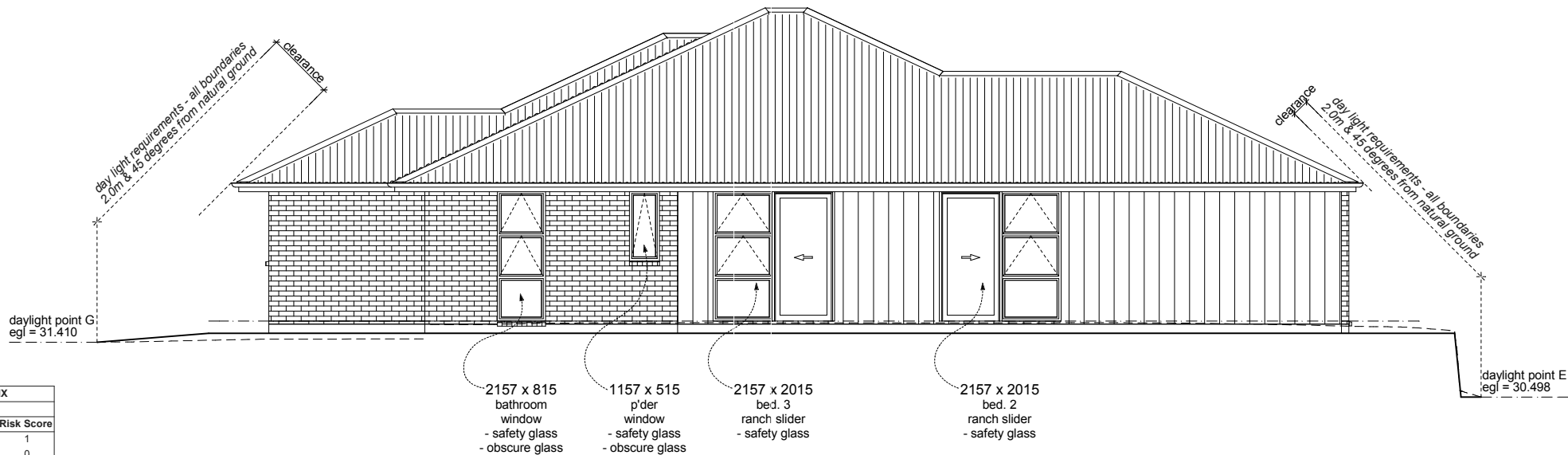
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SCALE: refer drawing title		
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2019-143	01 of 30	A3

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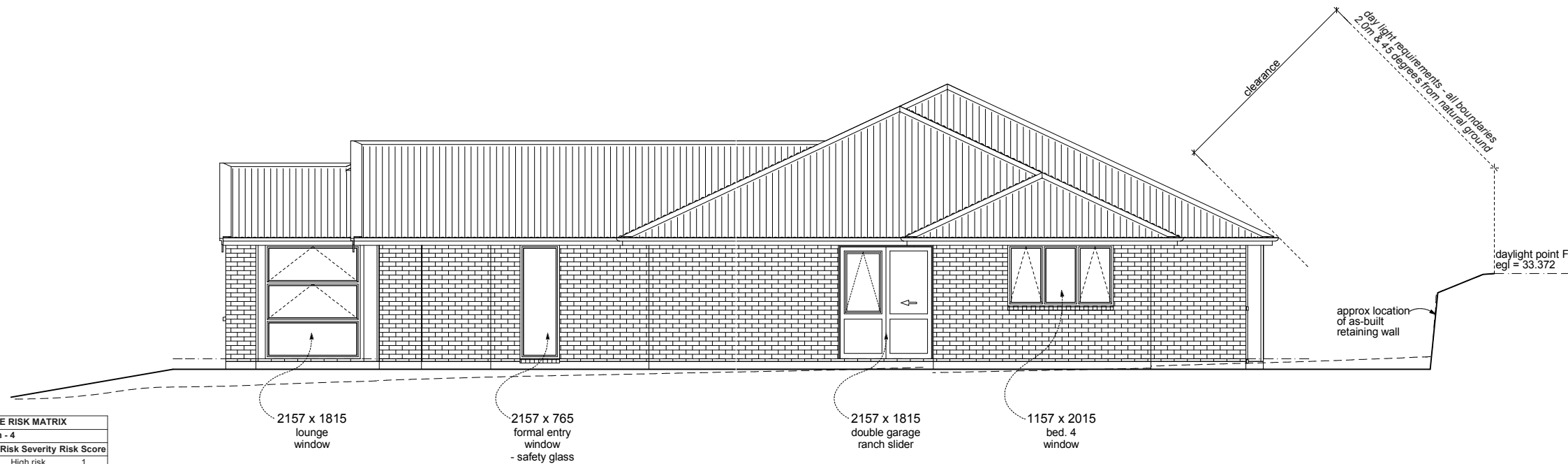
note:
builder to discuss and confirm type of obscured glazing with Owner prior to joinery manufacturer



BUILDING ENVELOPE RISK MATRIX		
Elevation - 3		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	High risk	1
Number of storeys	Low risk	0
Roof/wall intersection design	Very high risk	5
Eaves width	High risk	2
Envelope complexity	Medium risk	1
Deck design	Low risk	0
Total Risk Score:		9

elevation - 3
scale = 1 : 50 @ A1 1:100 @ A3

proposed new dwelling
FFL = 31.760 to Moruriki Datum
as per Maven As Built Contour Plan



BUILDING ENVELOPE RISK MATRIX		
Elevation - 4		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	High risk	1
Number of storeys	Low risk	0
Roof/wall intersection design	Very high risk	5
Eaves width	High risk	2
Envelope complexity	Medium risk	1
Deck design	Low risk	0
Total Risk Score:		9

elevation - 4
scale = 1 : 50 @ A1 1:100 @ A3



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for
Kingson Construction Ltd

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CONSENT PLAN
- PLANNING RFI -

CONTENTS:

site plan layout

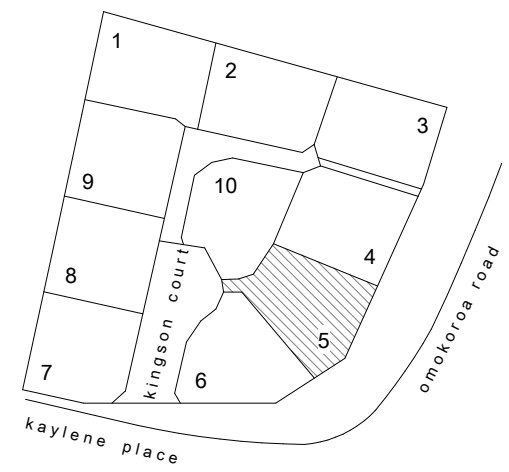
PROJECT STAGE	DATE
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RFI 1	20.07.2022
Planning RFI	05.08.2022

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NOTE: all sewer and stormwater service connections to be uncovered and depth to be determined **PRIOR TO ANY WORKS COMMENCEMENT** to ensure adequate fall can be achieved from house services



subdivision scheme plan
scale = n.t.s

PLANNING RFI

NOTE: all setback dimensions to be checked and confirmed on site prior to commencement of foundations - if any discrepancies contact designer immediately

NOTE: ensure all finished ground levels comply with E2-AS1 as detailed once final landscaping requirements have been determined with owner during construction.

NOTE: ensure all finished ground levels comply with E2-AS1 as detailed once final landscaping requirements have been determined with owner during construction

- min FFL to paving 150mm
- min FFL to natural ground 225mm
- ensure fall away from building as required

NOTE: Water supplied by way of Town Supply

NOTE: site levels taken from Maven BOP Ltd As Built site contours

FFL provided by Maven BOP Ltd

NOTE: As-Built stormwater, sewer, water connection taken from Maven As-Built Plans project ref: J000165 and J000028

- please check and confirm on site prior to commencement of foundations and drainage works

- service connections to be located and uncovered to confirm depth to ensure plumbing falls can be achieved

LEGAL DESCRIPTION:

Address: 4 Kingson Court, Omokoroa
Lot no: 5
D.P. 541996
Area: 610sq.m.
Zone: Residential
Site Cover: 40%
Day lighting: 2.0m and 45degrees from natural ground level - all boundaries
Height Restriction: 8.0m council above natural ground contours
Setbacks: 1.5m side and rear yards to house roof
4.0m roadside to house roof
5.0m roadside to garage roof
Wind Zone: High
Earth Quake Zone: Zone 1
Corrosion Zone: Zone C
Sea Spray Zone: No
Rainfall Intensity: 90 - 100mm

SETOUT & SETBACK NOTES:

all setbacks and setouts are to the face of the foundation edge

ensure clearance as noted is maintained to all property boundaries

if council sewer and stormwater lines are located on site or are closer than those shown on the plans consult designer immediately

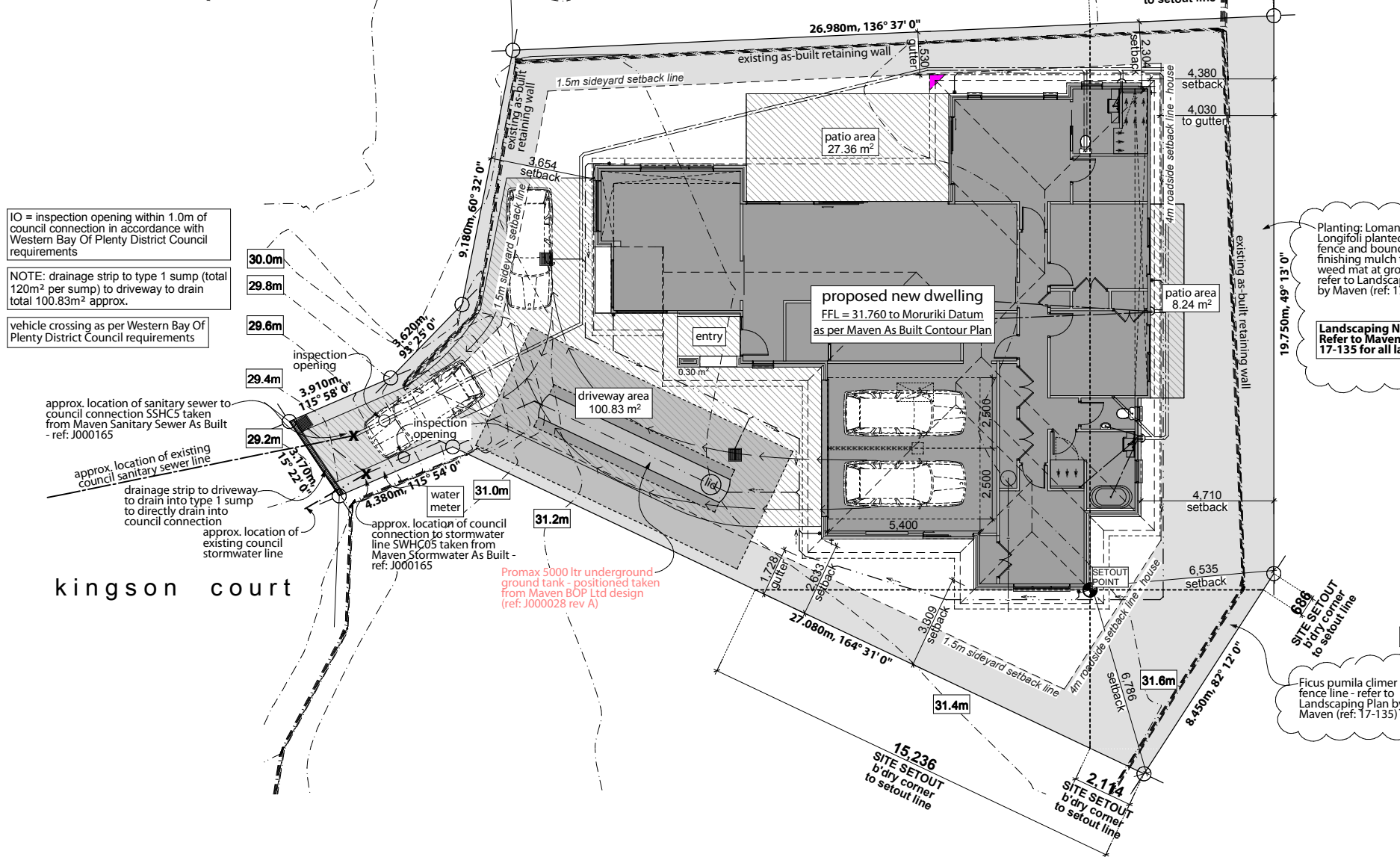
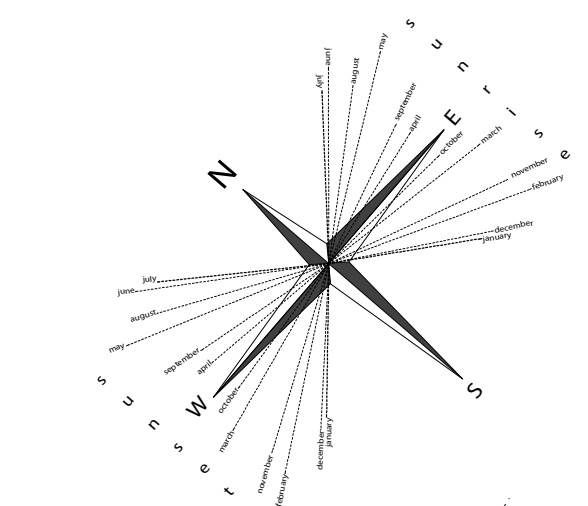
Planting: Lomandra Longifolia planted between fence and boundary with finishing mulch to cover weed mat at ground level - refer to Landscaping Plan by Maven (ref: 17-135)

Landscaping Note:
Refer to Maven Landscaping Plan ref: 17-135 for all landscaping requirements

PLANNING RFI

Ficus pumila climber along fence line - refer to Landscaping Plan by Maven (ref: 17-135)

BOUNDARY PEGS TO BE LOCATED FOR FIRST INSPECTION OR A SURVEYORS CERTIFICATE TO CONFIRM SITING



IO = inspection opening within 1.0m of council connection in accordance with Western Bay Of Plenty District Council requirements

NOTE: drainage strip to type 1 sump (total 120m² per sump) to driveway to drain total 100.83m² approx.

vehicle crossing as per Western Bay Of Plenty District Council requirements

approx. location of sanitary sewer to council connection S5HC5 taken from Maven Sanitary Sewer As Built - ref: J000165

approx. location of existing council sanitary sewer line

drainage strip to driveway to drain into type 1 sump to directly drain into council connection

approx. location of existing council stormwater line

water meter

approx. location of council connection to stormwater line SWHC05 taken from Maven Stormwater As Built - ref: J000165

Promax 5000 ltr underground ground tank - positioned taken from Maven BOP Ltd design (ref: J000028 rev A)

sealed driveway to specified depth

underground tank

1:12 slope

1:6 slope

boundary

clears

GL = 29.3 approx

GL = 29.8 approx

LL = 31.40 approx

FFL = 31.760

driveway cross section

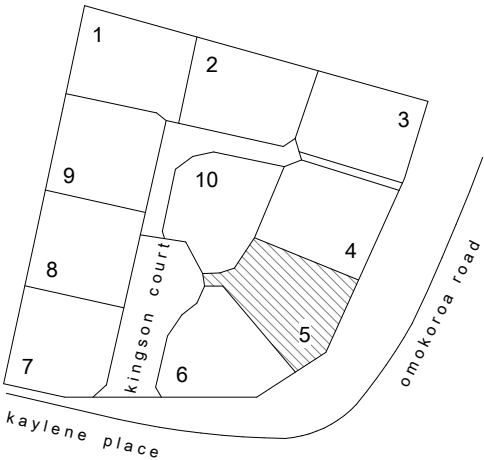
to be constructed in accordance with WBOP District Council vehicle crossing requirements and NZS:2890 not to scale

site plan layout
scale = 1 : 100 @ A1 1:200 @ A3



BOUNDARY PEGS TO BE LOCATED
FOR FIRST INSPECTION OR A
SURVEYORS CERTIFICATE TO
CONFIRM SITING

NOTE: all sewer and stormwater service connections to be
uncovered and depth to be determined **PRIOR TO ANY WORKS
COMMENCEMENT** to ensure adequate fall can be achieved from
house services



subdivision scheme plan
scale = n.t.s



in conjunction with
insignia DESIGN & ARCHITECTURE LTD

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3604 and The New Zealand Building Code and all relevant
Standards and Codes

All works shall satisfy the requirements of E2-AS1 External
Moisture

All Changes or Amendments to the Plans or Specifications
to be Consulted with Insignia Design & Architecture Ltd
prior to commencement

Contractor to confirm all Dimensions, Levels, Boundary
Setbacks and Setouts, Service Connections, Locations and
Levels, Daylighting and Height Restriction Requirements
prior to commencement of works

Consult with Plumbing, Drainage, Electrical and All Required
Sub Contractors prior to commencement of construction
stages to ensure all applicable works have been completed
accordingly and as required.

All Construction Materials and Systems shall be stored,
handled and installed strictly to manufacturers specifications and
details

Timber and Wood Based Products and Timber Treatment for
use in the Building to comply with NZS 3602

All Framing Shall be min. H1.2 treatment and strength grade
or SG8 or higher unless specified, refer to the plans for all
timber strengths as required.

All Glazing shall comply with NZS 4223 and the Code of
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Provide WANS support bars under all Full Height Openings
strictly to WANS WIS Details.

Concrete to be min. 20.0 mPa as per engineers design
ready mixed to as per engineers design

Concrete Construction to as per engineers design

Reinforcing Bars and Welded Reinforcing Mesh to as per
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Construct Floor Slabs, DPM, Reinforcing and Saw Cuts to
as per engineers design

DRAWING STAGE:

CONSENT PLAN

CONTENTS:

site plan layout

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	A3

IO = inspection opening within 1.0m of
council connection in accordance with
Western Bay Of Plenty District Council
requirements

NOTE: drainage strip to type 1 sump (total
120m² per sump) to driveway to drain
total 100.83m² approx.

vehicle crossing as per Western Bay Of
Plenty District Council requirements

approx. location of sanitary sewer to
council connection S5HC5 taken
from Maven Sanitary Sewer As Built
- ref: J000165

approx. location of existing
council sanitary sewer line

drainage strip to driveway
to drain into type 1 sump
to directly drain into
council connection

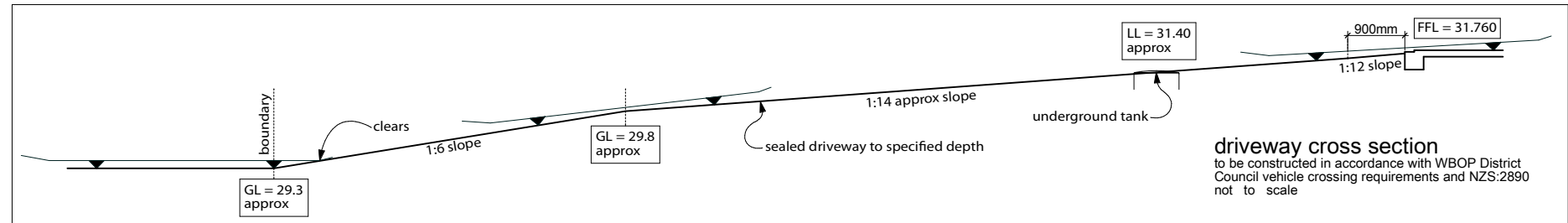
approx. location of
existing council
stormwater line

approx. location of council
connection to stormwater
line SWHC05 taken from
Maven Stormwater As Built -
ref: J000165

Promax 5000 ltr underground
ground tank - positioned taken
from Maven BOP Ltd design
(ref: J000028 rev A)

kingson court

SUPERSEDED



site plan layout
scale = 1 : 100 @ A1 1:200 @ A3



NOTE: all setout dimensions to be checked
and confirmed on site prior to commencement
of foundations - if any discrepancies contact
designer immediately

NOTE: ensure all finished ground levels
comply with E2-AS1 as detailed once final
landscaping requirements have been
determined with owner during construction.

NOTE: ensure all finished ground levels
comply with E2-AS1 as detailed once final
landscaping requirements have been
determined with owner during construction
- min FFL to paving 150mm
- min FFL to natural ground 225mm
- ensure fall away from building as required

NOTE: Water supplied by way of Town Supply

NOTE: site levels taken from Maven BOP Ltd
As Built site contours

FFL provided by Maven BOP Ltd

NOTE: As-Built stormwater, sewer, water
connection taken from Maven As-Built Plans
project ref: J000165 and J000028

- please check and confirm on site prior to
commencement of foundations and drainage
works

- service connections to be located and
uncovered to confirm depth to ensure
plumbing falls can be achieved

LEGAL DESCRIPTION:

Address:	4 Kingson Court, Omokoroa
Lot no:	5
D.P.	541996
Area:	610sq.m.
Zone:	Residential
Site Cover:	40%
Day lighting:	2.0m and 45degrees from natural ground level - all boundaries
Height Restriction:	8.0m council above natural ground contours
Setbacks:	1.5m side and rear yards to house roof 4.0m roadside to house roof 5.0m roadside to garage roof
Wind Zone:	High
Earth Quake Zone:	Zone 1
Corrosion Zone:	Zone C
Sea Spray Zone:	No
Rainfall Intensity:	90 - 100mm

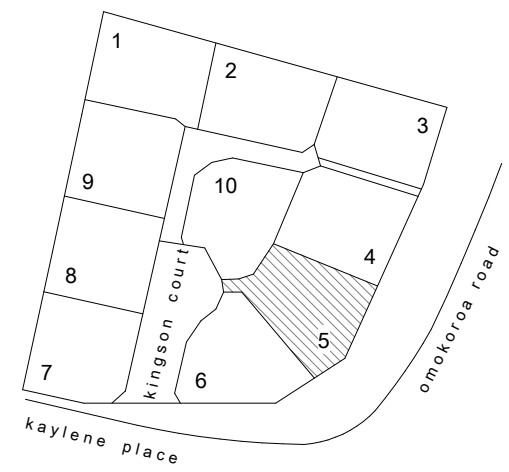
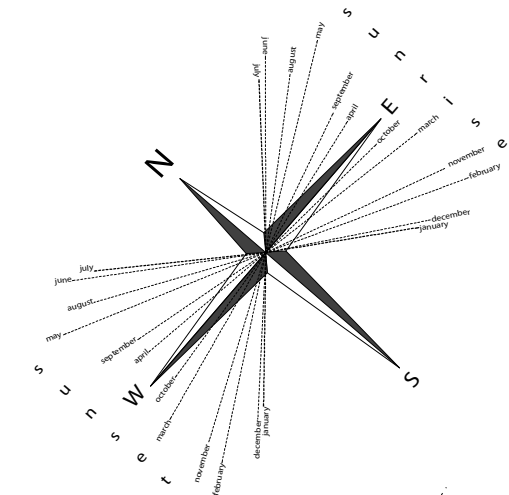
SETOUT & SETBACK NOTES:

all setbacks and setouts are to the face of the
foundation edge

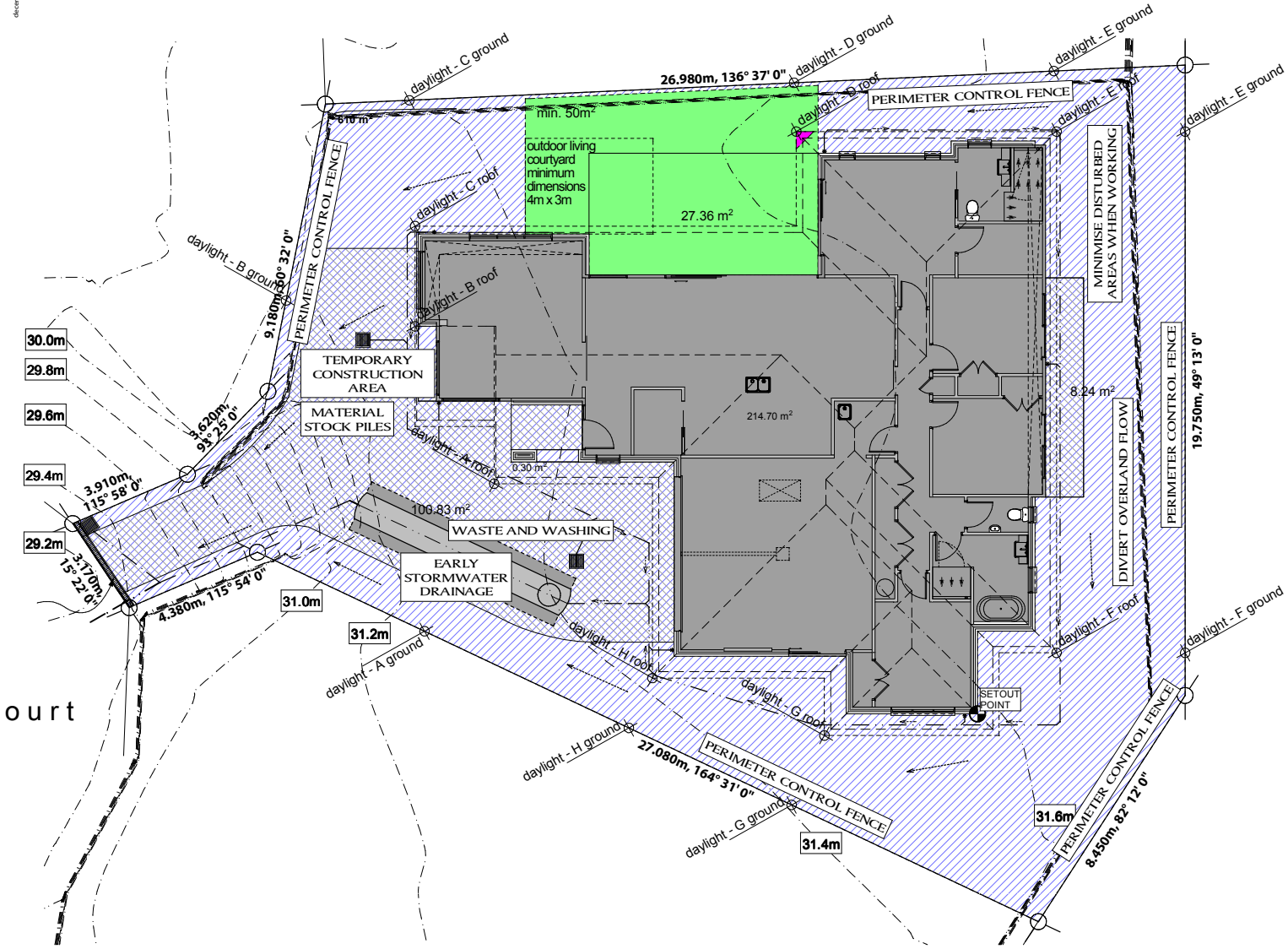
ensure clearance as noted is maintained to all property
boundaries

if council sewer and stormwater lines are located on site
or are closer than those
shown on the plans consult designer immediately

Western Bay of Plenty District Council, BC96971. APPROVED. THESE PLANS MUST REMAIN ONSITE.



subdivision scheme plan
scale = n.t.s



kingson court

SITE COVER CALCULATIONS:		
total floor plan area	=	214.70 sq. meters
external columns or features	=	0.30 sq. meters
total site cover area	=	215.00 sq. meters
net site area (less access way from title plan)	=	610.00 sq. meters
(total site cover area / net site area) x 100	=	35.25% site cover

AREA'S KEY:	
	building footprint area (nett site area)
	site area (excluding accessway)
	outdoor living court (min. 50 sq.m.) with one area of 4m x 3m min. dimensions

Erosion and Sediment Control Measures - Definitions:

divert overland flow path:
divert overland stormwater flow path with site bunding to direct water away from earth works areas

waste and washing:
waste concrete and household paints to be disposed of appropriately and should not be allowed to wash off site

minimise disturbed areas when working:
preserve as much grassed area as possible to reduce sediment discharge and filter sediments from other areas. once grading is complete stabilise soils as soon as possible

install perimeter control barriers:
silt fence or other barrier (straw bale or site bunding etc.) to intercept sediment laden runoff. to work with the site contours provide adequate locations and numbers of perimeter controls to ensure no runoff from site

material stockpiles:
stockpiles to be placed upslope of perimeter controls and covered when not in use

early stormwater drainage:
to avoid localised erosion, connect temporary or permanent down pipes to stormwater system as soon after laying the roof as possible. alternatively, slow and spread the flow from downpipes by placing non-erosive, temporary ground cover (eg. roofing iron sheets) under the down pipes to prevent splash erosion and convey water to turfed areas

temporary construction area:
restrict site access to one entry / exit point. ensure all-weather access is provided in a manner that prevents the access from becoming a source of sediment

site plan layout - site cover, daylight & management
scale = 1 : 100 @ A1 1:200 @ A3

in conjunction with

JOB DETAILS:

Proposed New Four Bedroom Home
at
4 Kingson Court Omokoroa
for
Kingson Construction Ltd

GENERAL DESIGN NOTES:

Do not scale from plans or details, consult with designer for confirmation if required

Plans to be read in conjunction with the Building Specifications, Bracing Calculations, Truss Designs, Engineering Designs and Specification and Manufacturers Specifications

all building work shall be strictly in accordance with NZS 3604 and The New Zealand Building Code and all relevant Standards and Codes

All works shall satisfy the requirements of E2-AS1 External Moisture

All Changes or Amendments to the Plans or Specifications to be Consulted with Insignia Design & Architecture Ltd prior to commencement

Contractor to confirm all Dimensions, Levels, Boundary Setbacks and Setouts, Service Connections, Locations and Levels, Daylighting and Height Restriction Requirements prior to commencement of works

Consult with Plumbing, Drainage, Electrical and All Required Sub Contractors prior to commencement of construction stages to ensure all applicable works have been completed accordingly and as required.

All Construction Materials and Systems shall be stored, handled and installed strictly to manufacturers specifications and details

Timber and Wood Based Products and Timber Treatment for use in the Building to comply with NZS 3602

All Framing Shall be min. H1.2 treatment and strength grade or SGB or higher unless specified, refer to the plans for all timber strengths as required.

All Glazing shall comply with NZS 4223 and the Code of Practice for Glazing in Buildings.

Provide WANZ support bars under all Full Height Openings strictly to WANZ WIS Details.

Concrete to be min. 20.0 mPa as per engineers design ready mixed to as per engineers design

Concrete Construction to as per engineers design

Reinforcing Bars and Welded Reinforcing Mesh to as per engineers design

Construct Floor Slabs, DPM, Reinforcing and Saw Cuts to as per engineers design

DRAWING STAGE:

CONSENT PLAN

CONTENTS:

site plan layout -
site cover, daylight and management

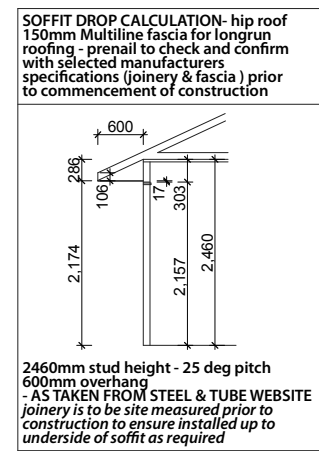
PROJECT STAGE	DATE
Plans for truss design	12.11.2021
Plans for truss design	17.11.2021
Plans for sw tank design	17.11.2021
Plans for Baseup design	14.12.2021
Owner Review	02.06.2022
Plans for Consent Application	04.07.2022

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JOB NO:	SHEET:	DRAWING:
2019-143	04 of 30	A3

Western Bay of Plenty District Council, BC96971. APPROVED. THESE PLANS MUST REMAIN ONSITE.



<u>SINGLE LEVEL DWELLING AREA'S : (to outside of framing)</u>	
house floor plan area	= 168.12 sq. meters
garage plan area	= 40.36 sq. meters
<u>total floor plan area</u>	<u>= 208.48sq. meters</u>
outside of foundation plan area	= 214.72 sq. meters
covered entry plan area	= 3.95 sq. meters



in conjunction with

**JOB DETAILS:**

Proposed New
Four Bedroom
Home
at
4 Kingson Court
Omokoroa
for
Kingson
Construction Ltd

GENERAL DESIGN NOTES:

Do not scale from plans or details, consult with designer for confirmation if required

Plans to be read in conjunction with the Building Specifications, Bracing Calculations, Truss Designs, Engineering Designs and Specification and Manufacturers Specifications

all building work shall be strictly in accordance with NZS 3604 and The New Zealand Building Code and all relevant Standards and Codes

All works shall satisfy the requirements of E2-AS1 External Moisture

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Contractor to confirm all Dimensions, Levels, Boundary Setbacks and Setouts, Service Connections, Locations and Levels, Daylighting and Height Restriction Requirements prior to commencement of works

Consult with Plumbing, Drainage, Electrical and All Required Sub Contractors prior to commencement of construction stages
to ensure all applicable works have been completed accordingly and as required.

All Construction Materials and Systems shall be stored, handled and installed strictly to manufacturers specifications and details

Timber and Wood Based Products and Timber Treatment for use in the Building to comply with NZS 3602

All Framing Shall be min. H1.2 treatment and strength grade or SG8 or higher unless specified, refer to the plans for all timber strengths as required.

All Glazing shall comply with NZS 4223 and the Code of Practice for Glazing in Buildings.

Provide WAZ support bars under all Full Height Openings strictly to WAZ WIS Details.

Concrete to be min. 20.0 mPa as per engineers design
ready mixed to as per engineers design

Concrete Construction to as per engineers design

Construct Floor Slabs, DPM, Reinforcing and Saw Cuts to

Construct Floor Slabs, DPM, Reinforcing and Saw Cuts to as per engineers design

DRAWING STAGE:

CONSENT PLAN
-REF 1-

CONTENTS:

ground floor plan layout - dimensioned

PROJECT STAGE	DATE
Plans for truss design	12.11.2021
Plans for truss design	17.11.2021
Plans for sw tank design	17.11.2021
Plans for Baseup design	14.12.2021
Owner Review	02.06.2022
Plans for Consent Application	04.07.2022
RFI 1	20.07.2022

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SCALE: refer drawing title

JOB NO:			SHEET:			DRAWING:		
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JOB NO:	SHEET:	DRAWING:
2010-143	05 of 30	AC

Western Bay of Plenty District Council, BC96971. APPROVED. THESE PLANS MUST REMAIN ONSITE.

LINTEL & BEAM NOTES:

all lintels and beams to be checked and confirmed by selected precast manufacturer during construction. manufacturer to provide producer statement to main contractor.

refer to the building specifications for truss and lintel layout and producer statement as prepared by **Katikati Building Supplies**

TOP PLATE FIXING NOTE:

all load bearing walls to have top plate Lumberlok 'Type B' fixings unless noted otherwise refer details for further information on fixings

STRUCTURAL STEEL NOTE:

ensure all structural steel and associated components required are site measured prior to commencement of construction / manufacture to ensure correct fitment within structure

LINTEL

all lintels sized in accordance with NZS:3604 unless as specified otherwise or by truss manufacturer

BRICK LINTEL NOTE:

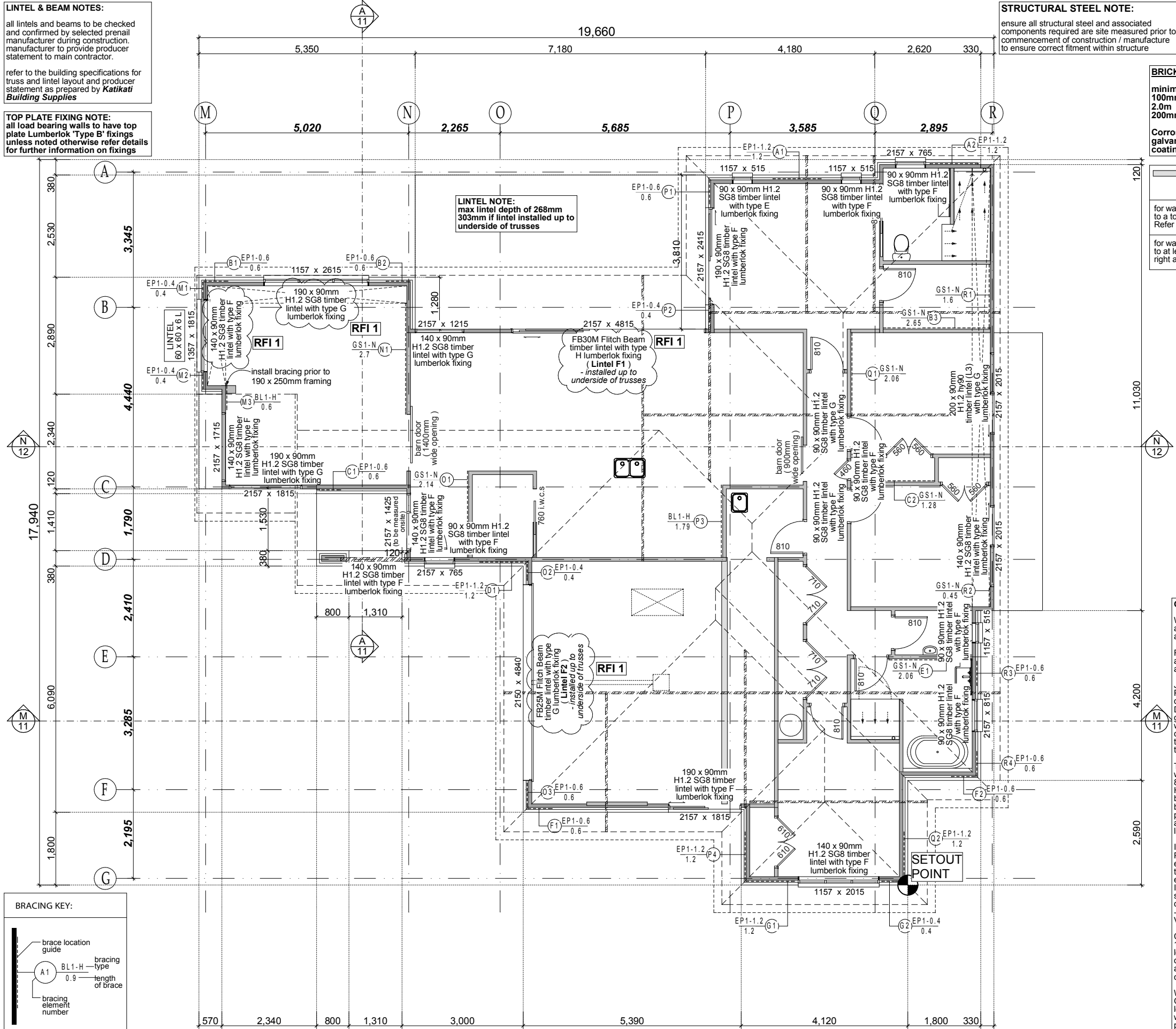
minimum seating into adjacent veneer of: 100mm for spans up to and including 2.0m 200mm for spans over 2.0m

Corrosion Protection to be 600 g/m2 galvanising on mild steel plus duplex coating to NZBC-E2 table 18D.

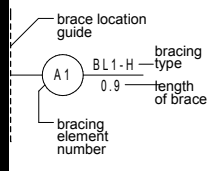
= internal wall bracing to be connected to 140 x 35mm top plate and to external walls at right angles

for walls under 125 BU, provide a 6kN fixing to a top plate to external wall at a right angle. Refer to details

for walls up to 250 BU, provide 6kN fixings to at least two top plate to external walls at right angles. Refer to details



BRACING KEY:



NOTE: all braces to be 10mm gib board or structural plywood H3.2 treated with stainless steel fixings unless noted otherwise

ground floor plan layout - structure / bracing

scale = 1 : 50 @ A1 1:100 @ A3

STUD SIZES - HIGH WIND ZONE

(lower floor external / load bearing walls)
up to 2.4m high = 90 x 45mm H1.2 SG8 @ 600mm crs max
2.4m to 2.7m high = 90 x 45mm H1.2 SG8 @ 400mm crs max

(internal non load bearing walls)

up to 3.0m high = 90 x 45mm H1.2 SG8 @ 600mm crs max

GENERAL CONSTRUCTION NOTES:

WALL CLADDING:
as noted - refer to elevations, sections and details

ROOF CLADDING:
as noted - refer to elevations, sections and details

JOINERY:
Powder coated aluminium windows and doors as per plan installed to E2-AS1. Double glazing to all units. Obscure glazing as noted on elevations. All windows and doors include condensation channels. Two catches to all sashes wider than 600mm. Provide WANZ support bars to under all openings

TIMBER FRAMING:
wall studs as stated with nogging @ 800crs. provide additional 140 x 35mm H1.2 SG8 top plate. 90 x 45mm H1.2 bottom plates over a suitable DPC with bolt fixings as noted on the foundation plans, provide additional fixings in accordance with gib bracing details and lintel fixing details

INSULATION:
Pink Batts Fibre Blanket to ceilings. ensure 25mm clearance to building paper to manufacturers specifications. taper ends of batts as required. Pink Batts Insulation to walls ensure insulation is supported to prevent it protruding into cavity space - refer to cross sections for Insulation Values

CEILING:
13mm standard Gib, fixed and stopped to level 4 paint quality finish - confirm with owner. Gib Aqualine 13mm to Bathroom and Ensuite on 70 x 35mm H1.2 SG8 ceiling battens @ 600mm crs

WALL LININGS:
Gib Standard 10mm, fixed and stopped to level 4 paint quality finish. Gib Aqualine to wet areas with an impervious paint finish, provide a mastic seal from skirting to finished flooring and a mastic seal from fixtures to finished wall surface. Selected wall tiles to wet areas, 2m high over specified waterproofing membrane.

SKIRTINGS:
confirm with owner during construction

ARCHITRAVES:
confirm with owner during construction



in conjunction with



JOB DETAILS:

Proposed New Four Bedroom Home
at
4 Kingson Court Omokoroa
for
Kingson Construction Ltd

GENERAL DESIGN NOTES:

Do not scale from plans or details, consult with designer for confirmation if required
Plans to be read in conjunction with the Building Specifications, Bracing Calculations, Truss Designs, Engineering Designs and Specification and Manufacturers Specifications
all building work shall be strictly in accordance with NZS 3604 and The New Zealand Building Code and all relevant Standards and Codes
All works shall satisfy the requirements of E2-AS1 External Moisture

All Changes or Amendments to the Plans or Specifications to be Consulted with Insignia Design & Architecture Ltd prior to commencement

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Timber and Wood Based Products and Timber Treatment for use in the Building to comply with NZS 3602

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All Glazing shall comply with NZS 4223 and the Code of Practice for Glazing in Buildings.

Provide WANZ support bars under all Full Height Openings strictly to WANZ WIS Details.

Concrete to be min. 20.0 mPa as per engineers design ready mixed to as per engineers design

Concrete Construction to as per engineers design

Reinforcing Bars and Welded Reinforcing Mesh to as per engineers design

Construct Floor Slabs, DPM, Reinforcing and Saw Cuts to as per engineers design

DRAWING STAGE:

CONSENT PLAN
-RFI 1-

CONTENTS:

ground floor plan layout - structure / bracing

PROJECT STAGE	DATE
Plans for truss design	12.11.2021
Plans for truss design	17.11.2021
Plans for sw tank design	17.11.2021
Plans for Baseup design	14.12.2021
Owner Review	02.06.2022
Plans for Consent Application	04.07.2022
RFI 1	20.07.2022

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SCALE: refer drawing title

JOB NO: 2019-143 **SHEET:** 06 of 30 **DRAWING:** A3

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NOTE: all sewer and stormwater service connections to be uncovered and depth to be determined **PRIOR TO ANY WORKS COMMENCEMENT** to ensure adequate fall can be achieved from house services

NZS 4305: 1996 Section 3.2.1 Refer Table 5 below.

Table 5 - Acceptable maximum pipe lengths

Nominal pipe size (mm)	10	15	20
Length (m)	25	12	7

100mm dia UPVC sanitary sewer line to fall @ 1:60min to disposal point as shown on site plan layout

OVERFLOW RELIEF GULLY TRAP NOTE:
- to be positioned so top of gully is no less than 150mm below the overflow level of the lowest sanitary fixture
- have a grating to allow for surcharge and installed so surcharge cannot enter building
- to be visible

STORMWATER NOTE:
plumber to ensure minimum pipe gradient towards connection point is no less than 1:90 fall and to be in accordance with NZBC-E1 figures 3 & rainfall intensities charts in regards to catchment areas

HOT WATER NOTE:
Hot water system is to comply with H1.3.4 section 5 H1/AS1 & NZS4305

GULLY TRAP NOTE:
air gap of no less than 25mm between the flood level of the GT and the relief drain

STORMWATER NOTE:
ensure all stormwater drainage to comply with E1-AS1

NOTE: safety tray to be installed in accordance with NZBC:G12/AS1 clause 5.2.3 where a hot water cylinder is to be installed

note: provide a stud to either side of terminal vent to support top plates

METAL GUTTER NOTE:
ensure all external gutters fall a min of 1:500 towards outlet to comply with E1/AS1 & E2/AS2

services note:
check existing locations onsite prior to commencement of works
- if pipes are required to be relocated provide as-built plans to amend upon completion

invert levels for new drainage to be confirmed during construction

all works to comply with E1-AS1 and E2-AS1

all roof gutters to fall to downpipe locations to E1-AS1

KINGSON COURT

in conjunction with

insignia DESIGN & ARCHITECTURE LTD

JOB DETAILS:

Proposed New Four Bedroom Home

at
4 Kingson Court
Omokoroa
for
Kingson
Construction Ltd

GENERAL DESIGN NOTES:

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Provide WAZ support bars under all Full Height Openings strictly to WAZ WIS Details.

Concrete to be min. 20.0 mPa as per engineers design ready mixed to as per engineers design

Concrete Construction to as per engineers design

Reinforcing Bars and Welded Reinforcing Mesh to as per engineers design

Construct Floor Slabs, DPM, Reinforcing and Saw Cuts to as per engineers design

DRAWING STAGE:

CONSENT PLAN

CONTENTS:

ground floor plan layout - drainage

PROJECT STAGE	DATE
Plans for truss design	12.11.2021
Plans for truss design	17.11.2021
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Plans for Baseup design	14.12.2021
Owner Review	02.06.2022
Plans for Consent Application	04.07.2022

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2019-143	07 of 30	A3

type 1 sump - yard trap to suit on site, ensure 1:100 fall to trap from surrounding ground levels

note: provide inspection opening within 1.0m of council connection in accordance with Western Bay Of Plenty District Council requirements to stormwater and sewer - refer to site plan layout

to connect to council sewer line

to connect to council stormwater line

type 1 sump - yard trap to suit on site, ensure 1:100 fall to trap from surrounding ground levels

Promax 5000 ltr underground tank (PMXUT05000.9) for stormwater detention - setout in accordance with Maven Detention Tank Design ref: J000028

downpipes to be directed to tank ensure gutter guard is installed to prevent blockages

100mm dia UPVC stormwater line to fall @ 1:90min to disposal point as shown on site plan layout

40mm mains pressure hot water cylinder relief pipe from drain tray to outside of building with vermin proof cowl

services note:
check existing locations onsite prior to commencement of works - if pipes are required to be relocated provide as-built plans to amend upon completion

invert levels for new drainage to be confirmed during construction

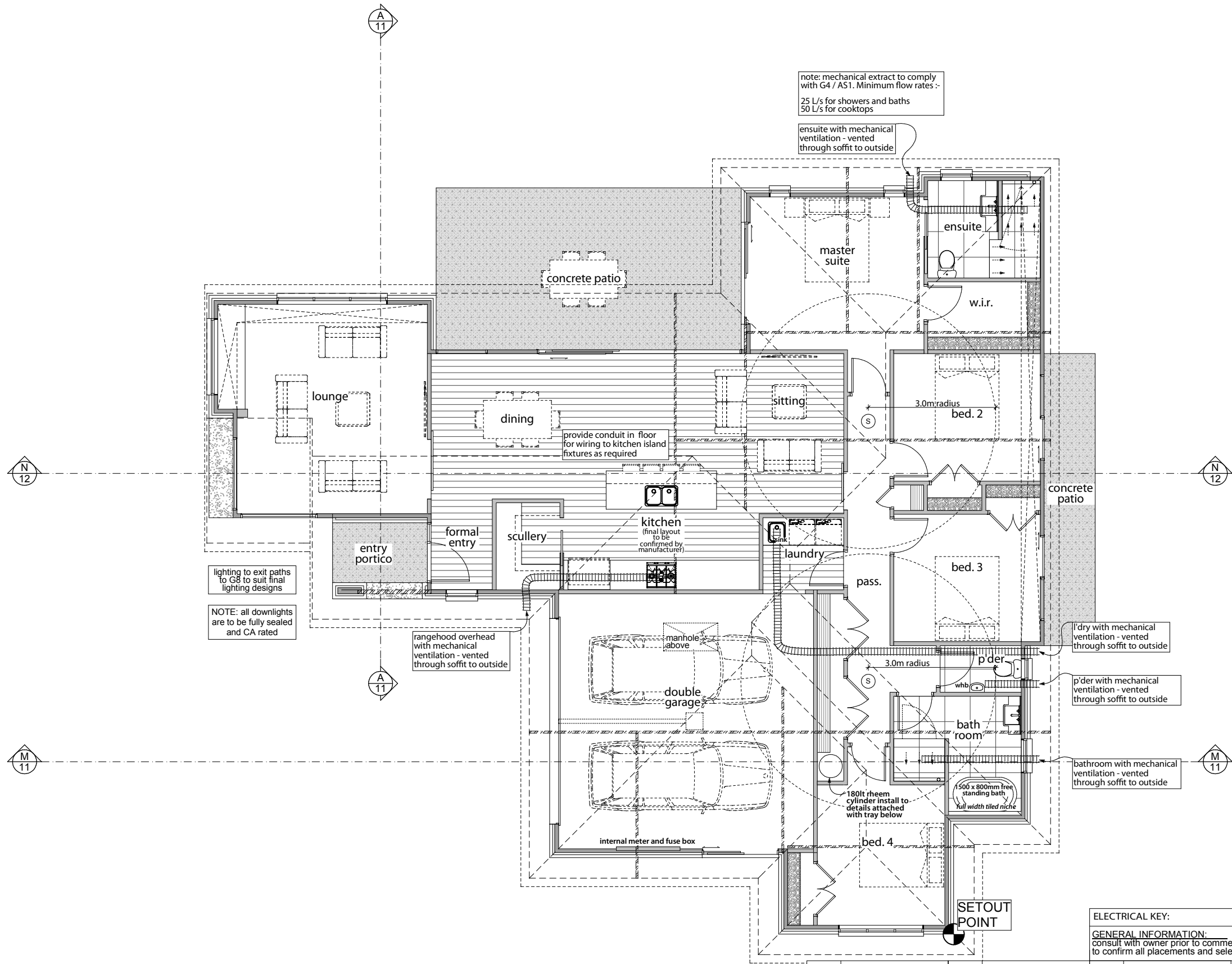
all works to comply with E1-AS1 and E2-AS1

all roof gutters to fall to downpipe locations to E1-AS1

DOWN PIPE CALCULATIONS:	ROOF AREA '1'	ROOF AREA '2'
total roof area collecting storm water:	259.82 sq. meters	7.79sq. meters
maximum area to be collected by DN80 downpipe @:		
25 - 35 degree roof pitch	70 sq. meters	70 sq. meters
downpipes required = total roof area / maximum area to be collected		
required number of downpipes	4 minimum (5 shown)	1 minimum (1 shown)
minimum cross sectional area of gutters	6600 sq. mm	6600 sq. mm

ground floor plan layout - drainage
scale = 1 : 50 @ A1 1:100 @ A3

Western Bay of Plenty District Council, BC96971. APPROVED. THESE PLANS MUST REMAIN ONSITE.



ELECTRICAL KEY:					
GENERAL INFORMATION:					
consult with owner prior to commencement of construction to confirm all placements and selections					
	external recessed soffit light	(H)	halogen light		meter board
	external wall mount light	(DH)	double halogen light		fuse board
	internal recessed ceiling light	2	double power point		wall lights above mirror (bathroom)
	ceiling mounted lights	1	single power point		pendant lights
	internal wall mount light	HP	heatpump power point		extractor unit - vented to soffit
	external double sensor light - infrared	TV	television sockets		heat / light / extractor unit - vented to soffit
	external single sensor light - infrared	SS	surround sound sockets		heated towel rail
	cupboard light, door switched	PH	phone sockets		smoke detector, within 3.0m of bedrooms
	cupboard light, sensor switched	NET	network cable sockets		waste master
	wet area - halogen light	C-S	client to supply		dish washer
					gas meter
					auto garage door opener
					oven
					cook top
					range hood
					single light switch
					two way light switch
					three way light switch
					gas bottle location
					gas infinity water heater location
					gas infinity water heater location

ground floor plan layout - electrical
scale = 1 : 50 @ A1 1:100 @ A3

JOB DETAILS:

Proposed New Four Bedroom Home
at
4 Kingson Court Omokoroa
for
Kingson Construction Ltd

GENERAL DESIGN NOTES:

Do not scale from plans or details, consult with designer for confirmation if required
Plans to be read in conjunction with the Building Specifications, Bracing Calculations, Truss Designs, Engineering Designs and Specification and Manufacturers Specifications
all building work shall be strictly in accordance with NZS 3604 and The New Zealand Building Code and all relevant Standards and Codes
All works shall satisfy the requirements of E2-AS1 External Moisture
All Changes or Amendments to the Plans or Specifications to be Consulted with Insignia Design & Architecture Ltd prior to commencement
Contractor to confirm all Dimensions, Levels, Boundary Setbacks and Setouts, Service Connections, Locations and Levels, Daylighting and Height Restriction Requirements prior to commencement of works
Consult with Plumbing, Drainage, Electrical and All Required Sub Contractors prior to commencement of construction stages to ensure all applicable works have been completed accordingly and as required.
All Construction Materials and Systems shall be stored, handled and installed strictly to manufacturers specifications and details
Timber and Wood Based Products and Timber Treatment for use in the Building to comply with NZS 3602
All Framing Shall be min. H1.2 treatment and strength grade or SG8 or higher unless specified, refer to the plans for all timber strengths as required.
All Glazing shall comply with NZS 4223 and the Code of Practice for Glazing in Buildings.
Provide WAZ support bars under all Full Height Openings strictly to WAZ WIS Details.
Concrete to be min. 20.0 mPa as per engineers design ready mixed to as per engineers design
Concrete Construction to as per engineers design
Reinforcing Bars and Welded Reinforcing Mesh to as per engineers design
Construct Floor Slabs, DPM, Reinforcing and Saw Cuts to as per engineers design

DRAWING STAGE:

CONSENT PLAN

CONTENTS:

ground floor plan layout - electrical
(note: for completion with electrician during construction)

PROJECT STAGE	DATE
Plans for truss design	12.11.2021
Plans for truss design	17.11.2021
Plans for sw tank design	17.11.2021
Plans for Baseup design	14.12.2021
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Plans for Consent Application	04.07.2022

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FLOORING CHECK:
confirm locations of all saw cuts with owner prior to commencement of construction to ensure they will not interfere with the selected floor selections, relocate as required in accordance with NZS 3604 and engineering design

SCALE: refer drawing title		
JOB NO: 2019-143	SHEET: 09 of 30	DRAWING: A3

Western Bay of Plenty District Council, BC96971. APPROVED. THESE PLANS MUST REMAIN ONSITE.

INTEL & BEAM NOTES:

all lintels and beams to be checked and confirmed by selected precast manufacturer during construction. manufacturer to provide producer statement to main contractor.

refer to the building specifications for truss and lintel layout and producer statement as prepared by **Katikati Building Supplies**

TOP PLATE FIXING NOTE:

all load bearing walls to have top plate Lumberlok 'Type B' fixings unless noted otherwise refer details for further information on fixings

NOTE: final as-built truss layout from truss manufacturer to be provided prior to commencement of construction

note taken from truss layout plan supplied Dated: 26/11/21 Ref: G7641
ALL WALLS SHOWN ON THIS LAYOUT ARE TO BE CONSIDERED LOAD BEARING

STRUCTURAL STEEL NOTE:

ensure all structural steel and associated components required are site measured prior to commencement of construction / manufacture to ensure correct fitment within structure

INTEL

all lintels sized in accordance with NZS:3604 unless as specified otherwise or by truss manufacturer

PURLIN NOTE:

top and bottom spans for purlins to be fixed at 600mm crs as stated in NZBC-E2 / table 14.

ROOF CLADDING FIXING NOTE:

Fix side laps and miss 2, hit 1, miss 3, hit 1, miss 2 etc with approved fasteners alone. End purlins and periphery of roof to be fixed every 2nd crest.

INTEL NOTE:
max lintel depth of 268mm
303mm if lintel installed up to underside of trusses

cantilevered trusses as per truss manufacturer design

99mm heel heights as per truss manufacturer design

gable end brace to be strictly in accordance with truss manufacturers specifications and NZS 3604. refer to building specifications under bracing section

H1.2 timber roof trusses to be designed and constructed by manufacturer @ 900mm max. crs. fix trusses to top plate as specified in manufacturers specifications refer to building specifications for truss producer statement, layout and fixings

GENERAL CONSTRUCTION NOTES:

WALL CLADDING:
as noted - refer to elevations, sections and details

ROOF CLADDING:
as noted - refer to elevations, sections and details

JOINERY:
Powder coated aluminium windows and doors as per plan installed to E2-AS1. Double glazing to all units. Obscure glazing as noted on elevations. All windows and doors include condensation channels. Two catches to all sashes wider than 600mm. Provide WANZ support bars to under all openings

TIMBER FRAMING:
wall studs as stated with nogging @ 800crs. provide additional 140 x 35mm H1.2 SG8 top plate. 90 x 45mm H1.2 bottom plates over a suitable DPC with bolt fixings as noted on the foundation plans, provide additional fixings in accordance with gib bracing details and lintel fixing details

INSULATION:
Pink Batts Fibre Blanket to ceilings. ensure 25mm clearance to building paper to manufacturers specifications. taper ends of batts as required. Pink Batts insulation to walls ensure insulation is supported to prevent it protruding into cavity space
- refer to cross sections for Insulation Values

CEILING:
13mm standard Gib, fixed and stopped to level 4 paint quality finish - confirm with owner. Gib Aqualine 13mm to Bathroom and Ensuite on 70 x 35mm H1.2 SG8 ceiling battens @ 600mm crs

WALL LININGS:
Gib Standard 10mm, fixed and stopped to level 4 paint quality finish. Gib Aqualine to wet areas with an impervious paint finish, provide a mastic seal from skirting to finished flooring and a mastic seal from fixtures to finished wall surface. Selected wall tiles to wet areas, 2m high over specified waterproofing membrane.

SKIRTINGS:
confirm with owner during construction

ARCHITRAVES:
confirm with owner during construction

TABLE 7A: MSG8, VSG8, MSG6 or Unverified No. 1 Framing
LINTEL SUPPORTING GIRDER/SETBACK TRUSSES WITH LIGHT ROOF

LINTEL SIZE	SETBACK (mm)	MAXIMUM LINTEL SPAN (mm)											
		5.0	6.0	7.0	8.0	9.0	10.0	11.0	12.0	13.0	14.0	15.0	16.0
FB15L	1.2	3.21	3.02	2.80	2.61	2.44	2.30	2.18	2.07	1.97	1.88	1.80	1.73
	2.4	2.73	2.45	2.22	2.04	1.86	1.74	1.63	1.53	1.44	1.36	1.29	1.23
	3.6	2.29	2.02	1.80	1.63	1.49	1.37	1.27	1.18	1.10	1.03	0.98	0.94
	4.8	1.94	1.69	1.50	1.34	1.21	1.11	1.02	0.95	0.88	0.82	0.77	0.74
	6.0	1.68	1.45	1.27	1.13	1.02	0.93	0.85	0.79	0.73	0.68	0.64	0.61
FB25M	1.2	4.80	4.63	4.48	4.36	4.25	4.06	3.87	3.69	3.54	3.39	3.27	3.17
	2.4	4.56	4.38	4.16	3.85	3.60	3.37	3.16	3.01	2.86	2.72	2.59	2.49
	3.6	4.35	3.95	3.60	3.30	3.05	2.83	2.65	2.49	2.35	2.22	2.10	2.00
	4.8	3.92	3.49	3.14	2.85	2.62	2.41	2.24	2.09	1.96	1.85	1.75	1.66
	6.0	3.52	3.10	2.75	2.49	2.27	2.00	1.93	1.79	1.66	1.57	1.48	1.40
FB25L	1.2	5.04	4.87	4.71	4.42	4.16	3.95	3.77	3.60	3.44	3.31	3.18	3.08
	2.4	4.80	4.39	4.04	3.74	3.46	3.28	3.09	2.92	2.77	2.64	2.51	2.41
	3.6	4.27	3.84	3.49	3.20	2.95	2.74	2.56	2.41	2.27	2.14	2.03	1.94
	4.8	3.90	3.38	3.03	2.75	2.53	2.33	2.16	2.02	1.89	1.78	1.68	1.59
	6.0	3.40	2.99	2.67	2.41	2.19	2.01	1.86	1.73	1.61	1.51	1.43	1.35
FB25M	1.2	5.79	5.59	5.41	5.26	5.13	5.01	4.91	4.81	4.71	4.63	4.53	4.43
	2.4	5.53	5.32	5.14	5.00	4.86	4.64	4.50	4.37	4.27	4.18	4.08	3.98
	3.6	5.31	5.10	4.91	4.63	4.30	4.02	3.76	3.59	3.37	3.20	3.08	2.98
	4.8	5.12	4.90	4.68	4.40	4.10	3.82	3.59	3.39	3.20	3.04	2.90	2.79
	6.0	4.95	4.67	4.42	4.06	3.76	3.40	3.10	2.86	2.69	2.53	2.38	2.25
FB30M	1.2	6.73	6.50	6.30	6.13	5.98	5.84	5.72	5.61	5.50	5.41	5.32	5.22
	2.4	6.47	6.23	6.02	5.84	5.69	5.55	5.42	5.31	5.21	5.11	5.01	4.91
	3.6	6.24	5.98	5.78	5.60	5.44	5.26	5.06	4.89	4.74	4.64	4.54	4.45
	4.8	6.03	5.78	5.57	5.38	5.22	5.03	4.83	4.64	4.49	4.38	4.28	4.19
	6.0	5.88	5.61	5.39	5.19	5.02	4.82	4.62	4.43	4.28	4.16	4.05	3.95

ground floor plan layout - roof framing
scale = 1 : 50 @ A1 1:100 @ A3

STUD SIZES - HIGH WIND ZONE
(lower floor external / load bearing walls)
up to 2.4m high = 90 x 45mm H1.2 SG8 @ 600mm crs max
2.4m to 2.7m high = 90 x 45mm H1.2 SG8 @ 400mm crs max
(internal non load bearing walls)
up to 3.0m high = 90 x 45mm H1.2 SG8 @ 600mm crs max



in conjunction with
insignia DESIGN & ARCHITECTURE LTD
JOB DETAILS:
Proposed New Four Bedroom Home
at
4 Kingson Court Omokoroa
for
Kingson Construction Ltd

GENERAL DESIGN NOTES:
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Concrete Construction to as per engineers design
Reinforcing Bars and Welded Reinforcing Mesh to as per engineers design
Construct Floor Slabs, DPM, Reinforcing and Saw Cuts to as per engineers design

DRAWING STAGE: **CONSENT PLAN** -RFI 1-

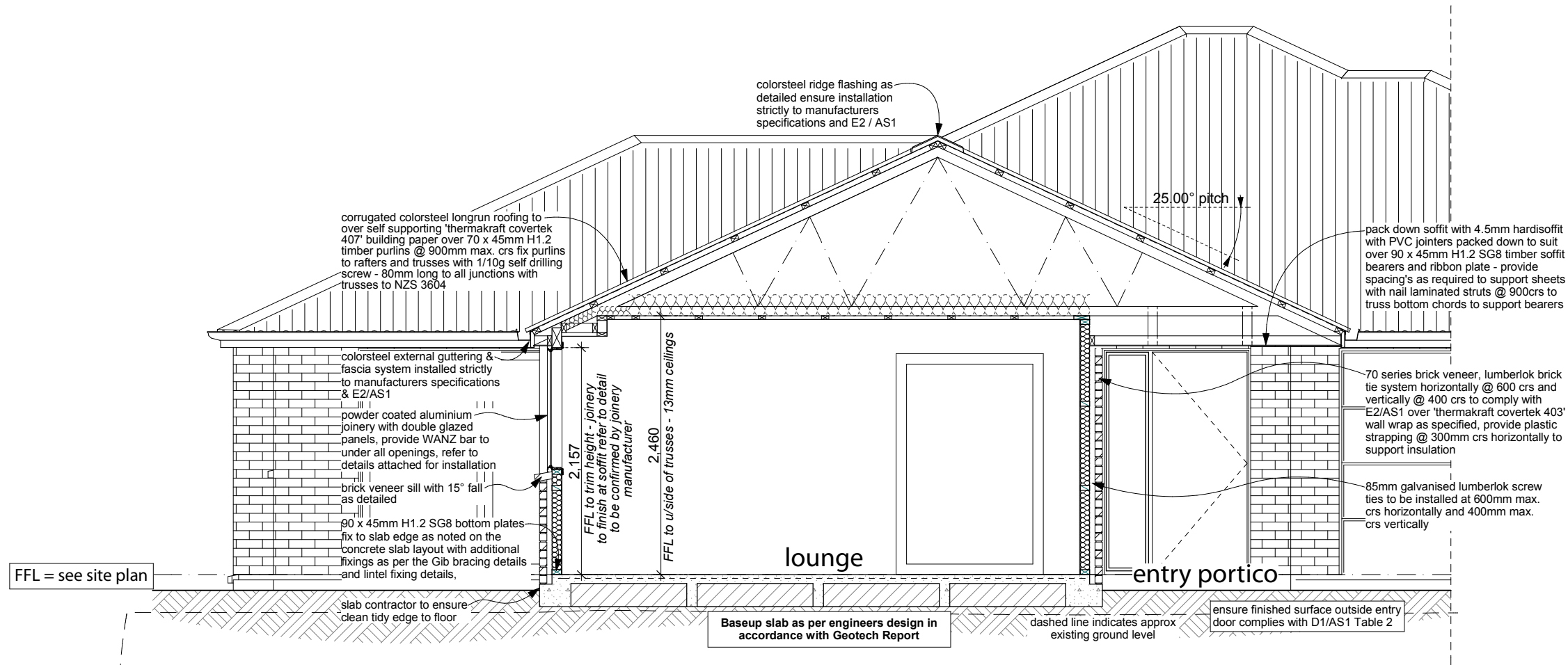
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ground floor plan layout - roof framing

PROJECT STAGE	DATE
Plans for truss design	12.11.2021
Plans for truss design	17.11.2021
Plans for sw tank design	17.11.2021
Plans for Baseup design	14.12.2021
Owner Review	02.06.2022
Plans for Consent Application	04.07.2022
RFI 1	20.07.2022

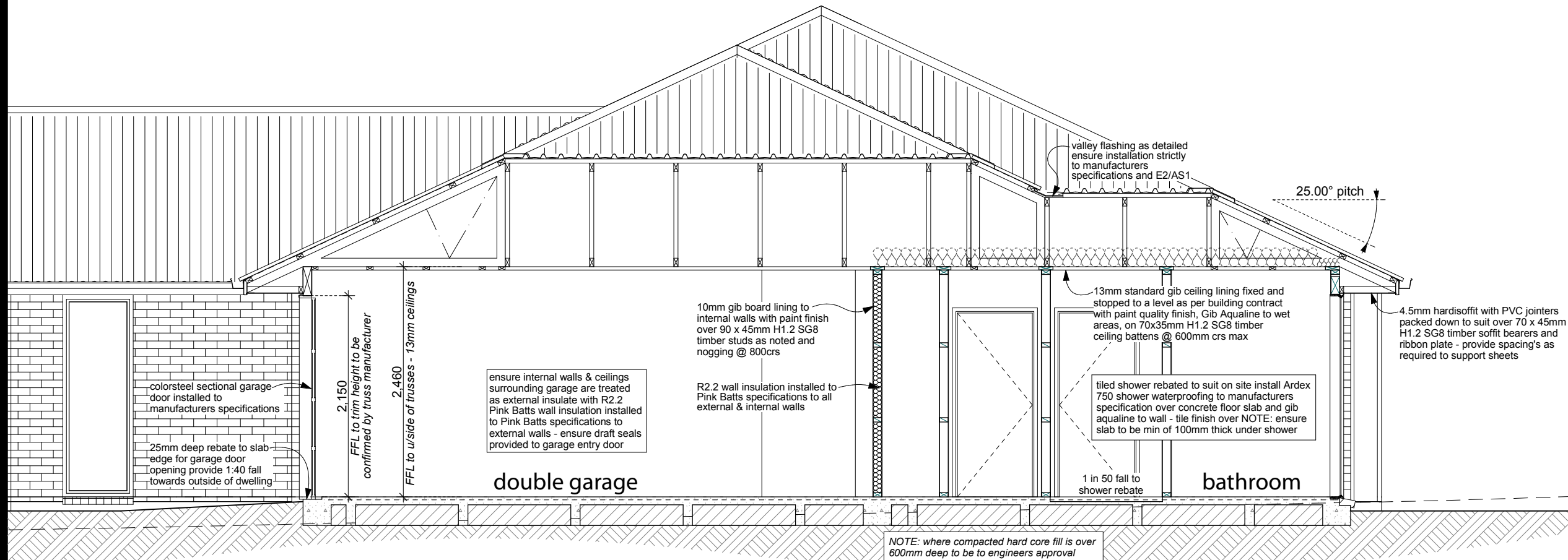
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cross section - A
scale = 1 : 50 @ A1 1:100 @ A3



cross section - M
scale = 1 : 50 @ A1 1:100 @ A3

KINGSON
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in conjunction with
insignia
DESIGN & ARCHITECTURE LTD

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DRAWING STAGE:

CONSENT PLAN
-RF1 1-

CONTENTS:

cross sections

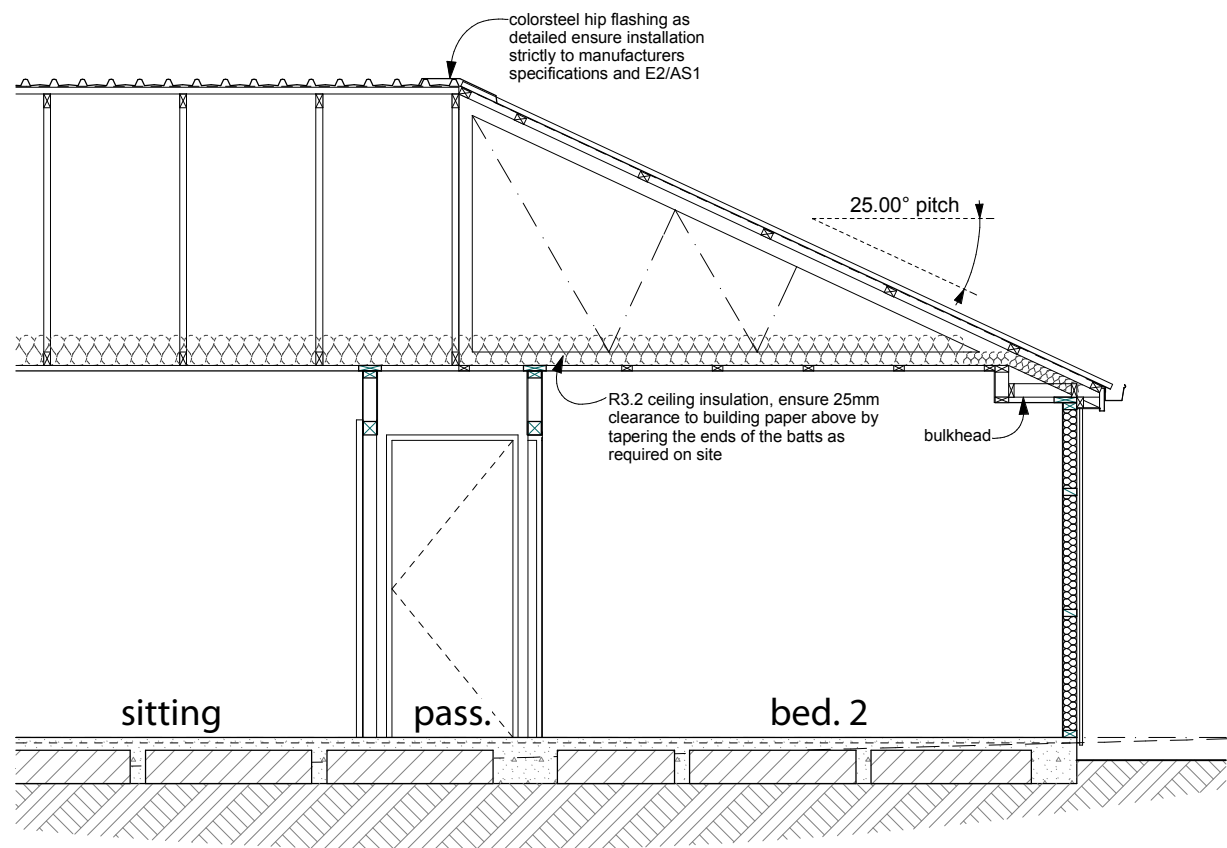
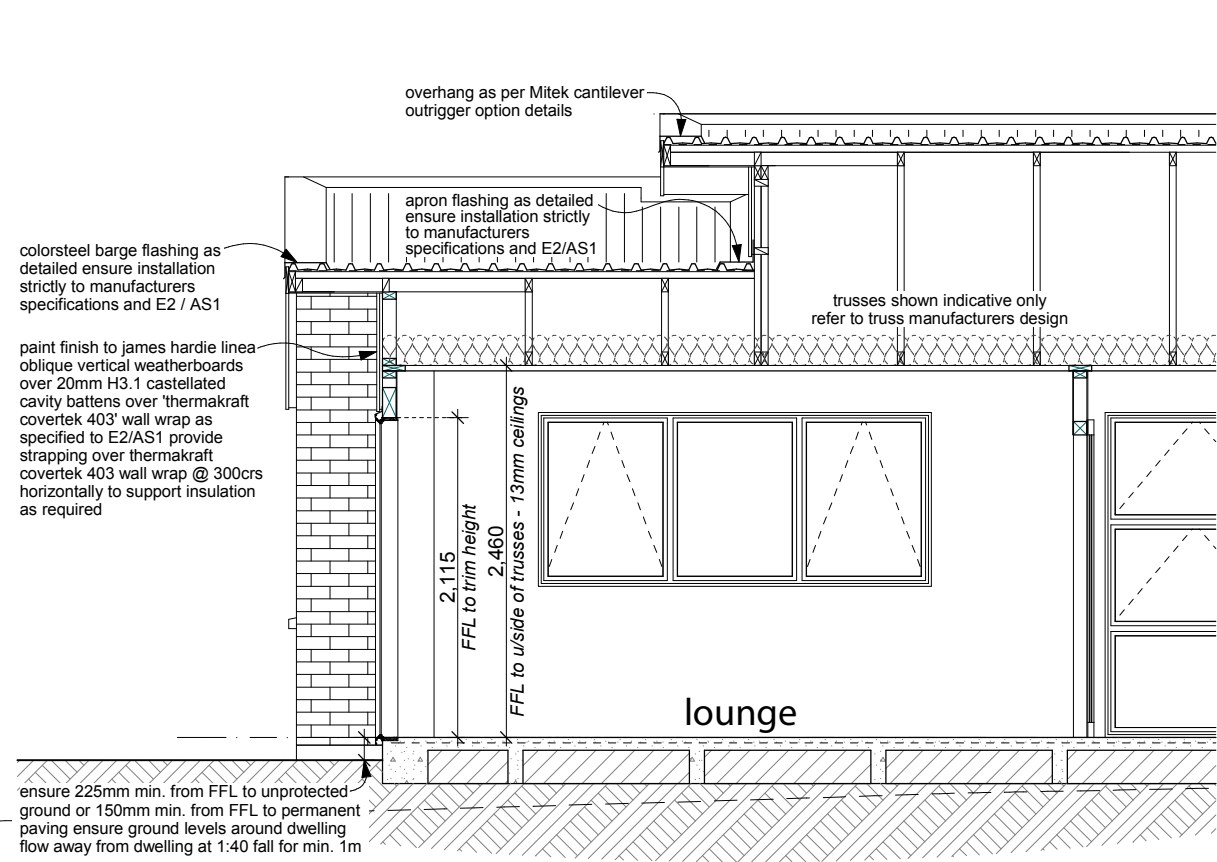
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Plans for Baseup design	14.12.2021
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cross section - N
scale = 1 : 50 @ A1 1:100 @ A3



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DRAWING STAGE:

CONSENT PLAN

CONTENTS:

cross section

PROJECT STAGE	DATE
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Table A: Rainfall Intensities continued				
10 minute duration rainfall intensities for various locations in New Zealand				
Location	Latitude degrees	Longitude degrees	10% AEP intensity mm/hr	2% AEP intensity mm/hr
WAIKATO				
Coromandel	-36.74	175.5	96	132
Pauanui	-37.02	175.86	97	137
Te Puru-Thornton Bay	-37.04	175.52	91	127
Thames	-37.14	175.53	88	124
Whangamatā	-37.21	175.86	97	137
Ngatea	-37.27	175.5	88	123
Kerepehi	-37.3	175.53	87	121
Meremere	-37.32	175.07	96	132
Paeroa	-37.38	175.67	88	125
Te Kauwhata	-37.4	175.15	92	127
Waihi	-37.4	175.83	107	152
Te Aroha	-37.53	175.7	94	135
Huntly	-37.56	175.16	91	125
Waioa	-37.6	175.63	90	129
Morrinsville	-37.65	175.53	91	130
Waharoa	-37.75	175.75	89	129
Hamilton	-37.78	175.27	92	129
Raglan	-37.8	174.86	89	121
Matamata	-37.82	175.77	89	129
Cambridge	-37.89	175.45	91	129
Te Awamutu	-38.02	175.32	92	129
Putāruru	-38.05	175.78	85	121
Mamaku	-38.06	176.05	102	143
Otorohanga	-38.18	175.19	94	132
Tokoroa	-38.23	175.84	85	121
Te Kuiti	-38.33	175.17	96	136
Mangakino	-38.38	175.74	75	107
Piopia	-38.47	175.02	95	134
Reporoa	-38.5	176.36	84	121
Taupō	-38.7	176.07	73	107
Tūrangi	-38.99	175.79	71	103
BAY OF PLENTY				
Waihi Beach	-37.4	175.93	99	141
Island View - Pios Beach	-37.46	175.99	95	136
Katikati	-37.56	175.9	93	133
Tauranga	-37.68	176.17	101	145
Maketu	-37.77	176.45	109	156
Te Puke	-37.78	176.33	103	148
Paengaroa	-37.82	176.42	106	152
Te Kaha	-37.82	177.67	96	136
Matatā	-37.89	176.75	116	163

SW01: appendix A rainfall Intensities Chart
As taken from NZBC E2/AS1
not to scale

3.2 Sizing of drains

3.2.1 Drains shall be of sufficient size and gradient to transport surface water from the site, and be capable of handling the rainfall calculated to fall on roof and paved areas of the site during a storm with a 10% probability of occurring annually. No drain shall have an internal diameter of less than 85 mm.

3.2.2 Figure 3 provides a method for selecting the correct pipe size for a calculated modified catchment area, given as:

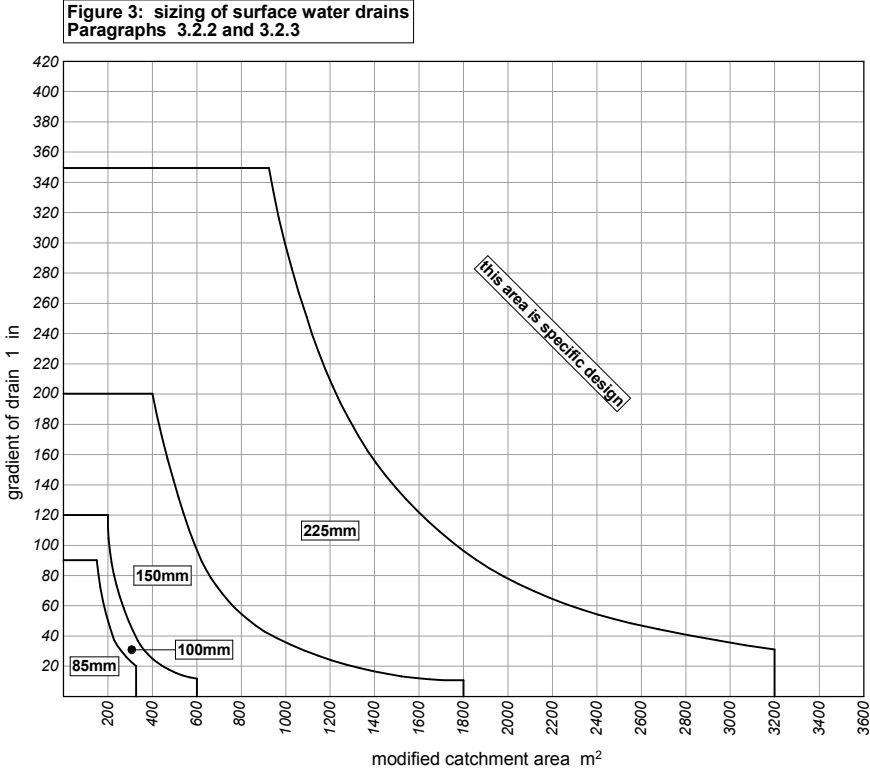
Modified catchment area = 0.01 A_i, where

A_i = area being drained comprising plan roof area (m²) plus paved area (m²). Paved area includes paving blocks, concrete, asphalt or metalised surfaces.

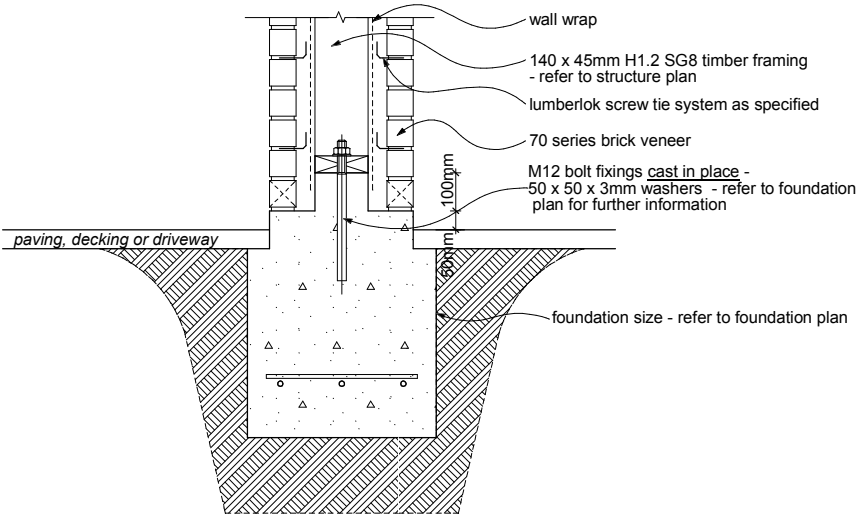
i = rainfall intensity for a storm with a 10% probability of occurring annually and a 10 minute duration (mm/hr).

The rainfall intensity (i) shall be obtained from the territorial authority. Where the territorial authority does not have this information, the rainfall intensity shall be determined by interpolation of the figures in Appendix A.

Table 2: Minimum Gradients	
Paragraph 3.4.1	
Drain internal diameter	Minimum gradient
85 mm	1 in 90
100 mm	1 in 120
150 mm	1 in 200
225 mm	1 in 350



SW02: sizing of stormwater drains
As taken from NZBC E2/AS1 - Figure 3
not to scale



PF01: alfresco column detail
- Brick veneer cladding columns
scale = 1 : 10 @ A1 1 : 20 @ A3



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DRAWING STAGE:

CONSENT PLAN

CONTENTS:

construction details - A

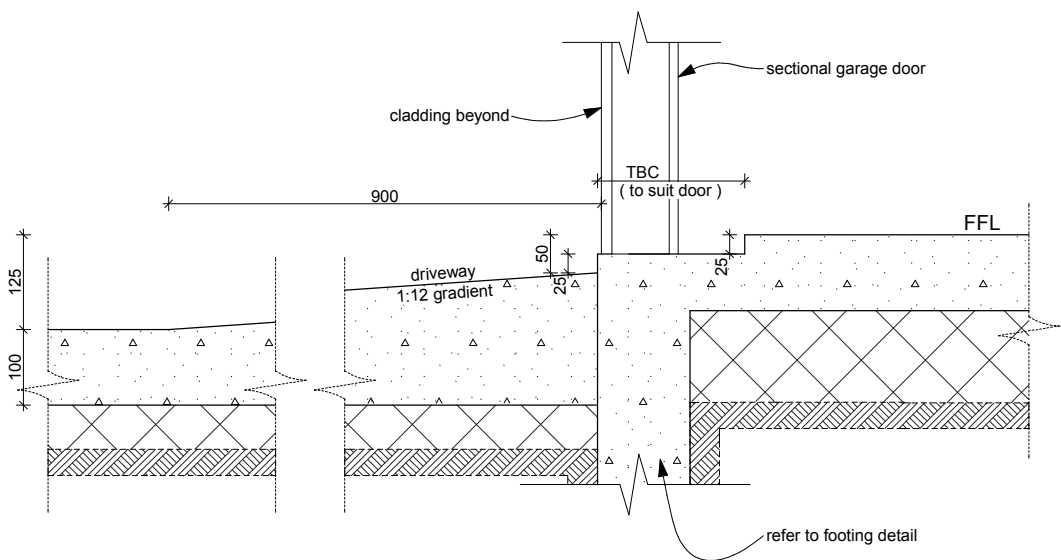
PROJECT STAGE	DATE
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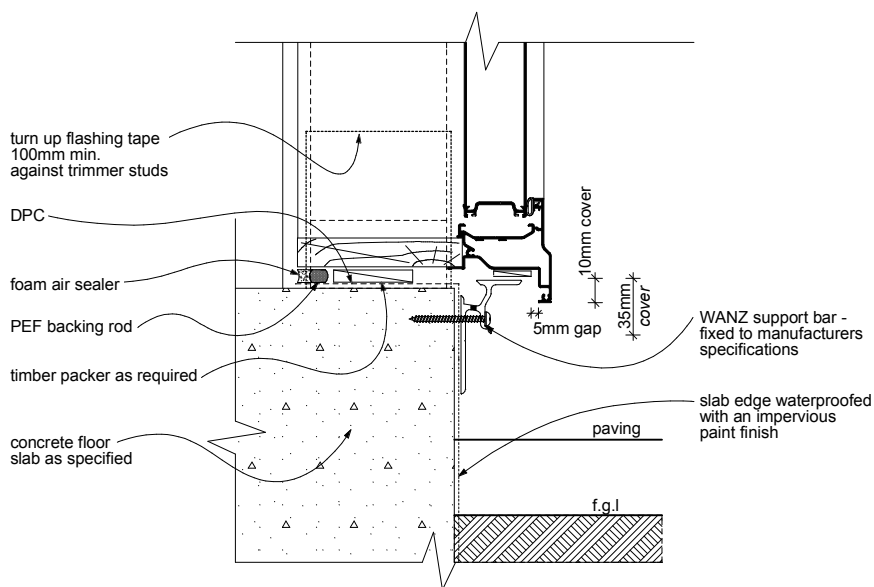
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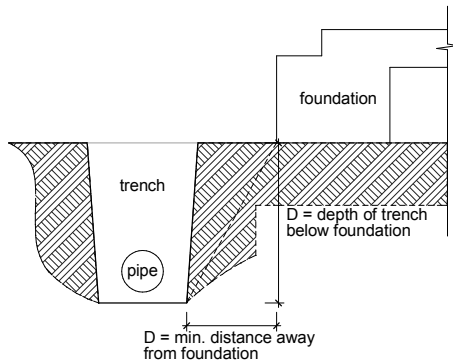


FD01: garage door rebate detail
NOTE: to be installed to manufacturers specifications & E2-AS1
 not to scale



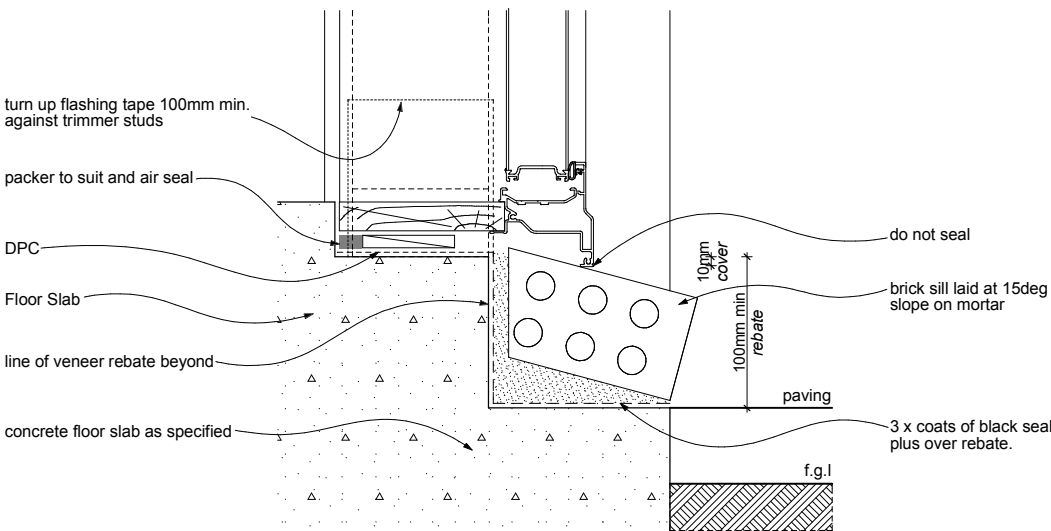
FD03: door sill detail
NOTE: to be installed to manufacturers specifications & E2-AS1
 not to scale

**Baseup slab as designed by engineer
 - refer to engineering information and details
 in building specifications**



NOTE: distance from foundation shown above is for trenches remaining open for no longer than 48 hours.
For trenches remaining open for longer than 48 hours distance = 3 x depth (for rock distance remains equal to depth)

FD02: trench to footing clearance detail
 not to scale



FD04: joinery / brick rebate detail
NOTE: to be installed to manufacturers specifications & E2-AS1
 not to scale

construction details - B
 scale = as noted



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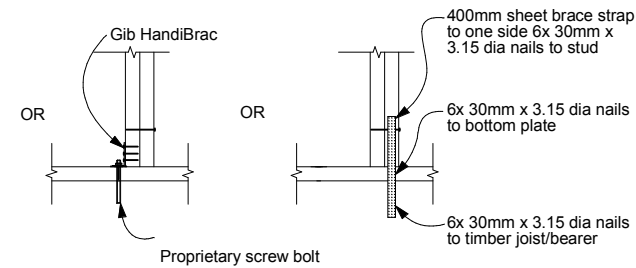
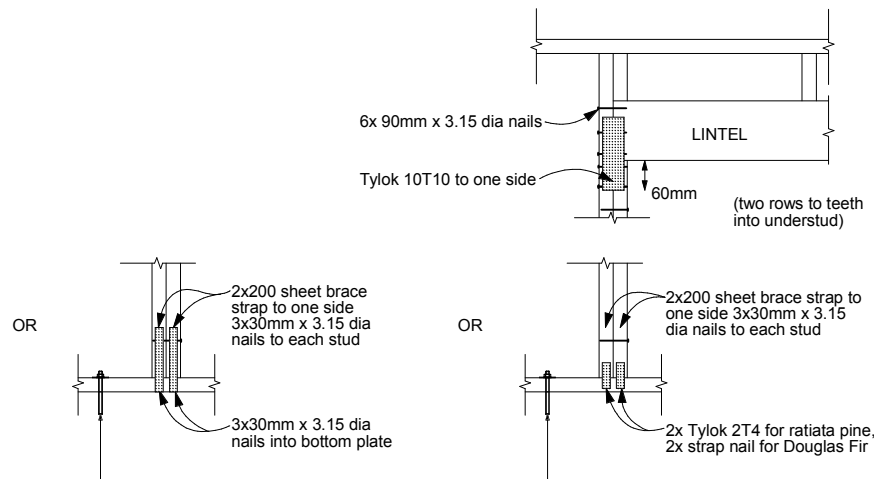
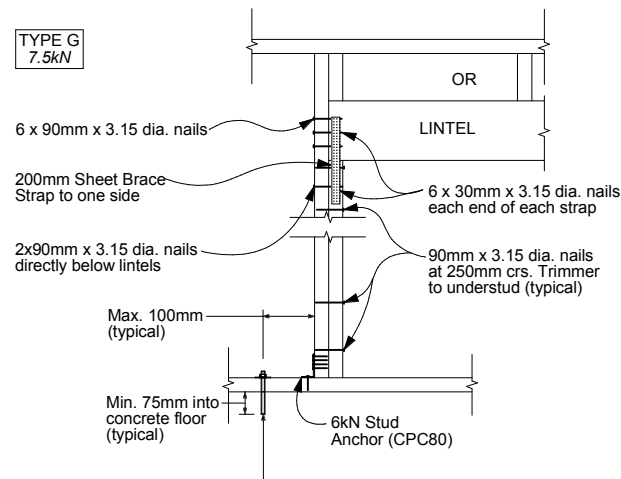
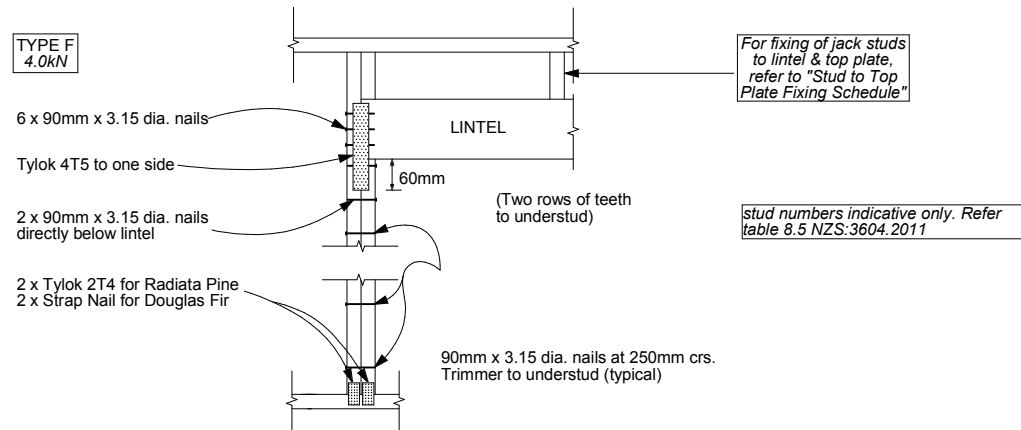
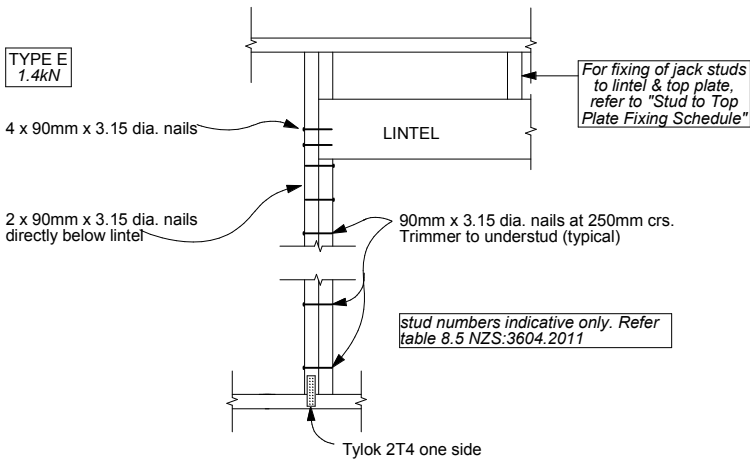
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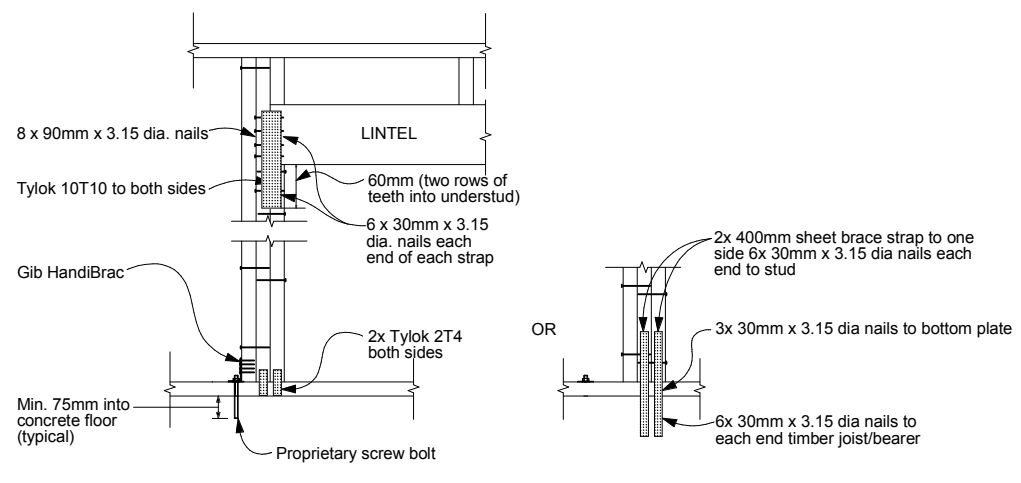
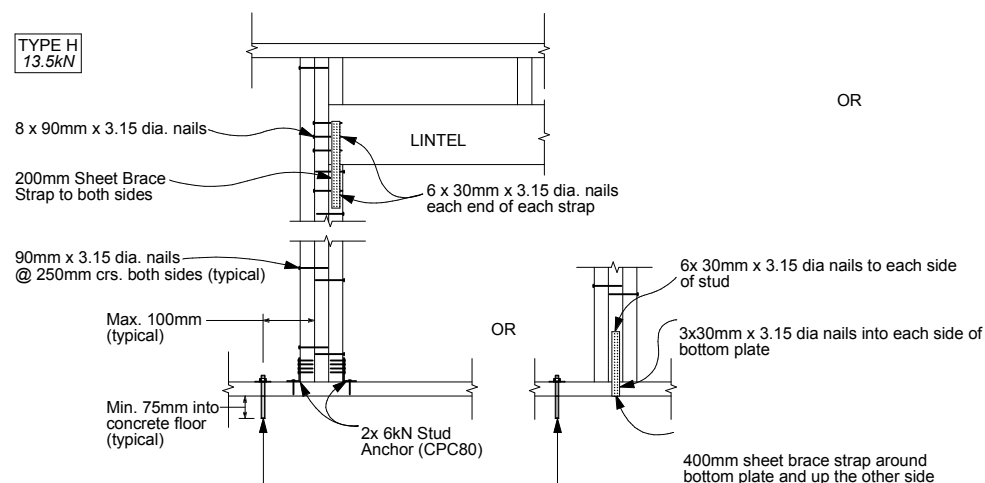
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M12 proprietary concrete fixing bolt with 50x50x3mm square washer or M12 x 150mm coach screw with 50x50x3mm square washer into timber joist/bearer



M12 proprietary concrete fixing bolt with 50x50x3mm square washer or M12 x 150mm coach screw with 50x50x3mm square washer into timber joist/bearer

SD03: Lumberlok lintel fixing details
(as taken from 'Lumberlok Wall Fixing Chart 2018 Edition'
ensure all details are strictly in accordance with manufacturers specifications)
not to scale

construction details - D
scale = as noted



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Omokoroa
for
Kingson
Construction Ltd

GENERAL DESIGN NOTES:

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Concrete to be min. 20.0 mPa as per engineers design ready mixed to as per engineers design

Concrete Construction to as per engineers design

Reinforcing Bars and Welded Reinforcing Mesh to as per engineers design

Construct Floor Slabs, DPM, Reinforcing and Saw Cuts to as per engineers design

DRAWING STAGE:

CONSENT PLAN

CONTENTS:

construction details - D

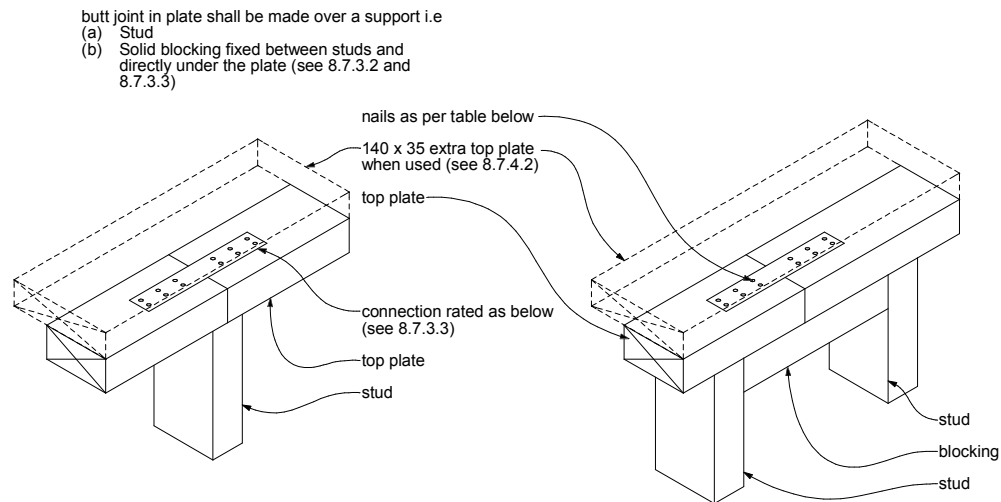
PROJECT STAGE	DATE
Plans for truss design	12.11.2021
Plans for truss design	17.11.2021
Plans for sw tank design	17.11.2021
Plans for Baseup design	14.12.2021
Owner Review	02.06.2022
Plans for Consent Application	04.07.2022

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SCALE:	refer drawing title		
JOB NO:	SHEET:	DRAWING:	
2019-143	16 of 30	A3	

Western Bay of Plenty District Council, BC96971. APPROVED. THESE PLANS MUST REMAIN ONSITE.



(a) butt joint over stud

Capacities of metal plate joints (2)	
Up to 3 kN	3 / 30 x 3.15mm nails per side
Up to 6 kN	6 / 30 x 3.15mm nails per side

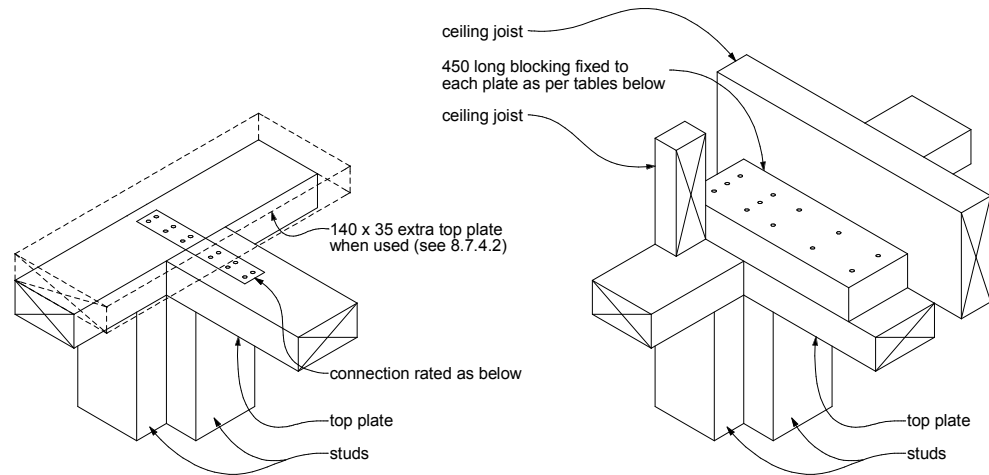
NOTE

- (1) see section 4 for durability requirements
(2) not required when extra top plate is used
(3) all references are in NZS3604:2011

(a) butt joint over blocking

Capacities of metal plate joints (2)	
Up to 3 kN	3 / 100 x 3.75mm nails per side
Up to 6 kN	6 / 100 x 3.75mm nails per side

SD04: connecting top plates in line
- detail drawn as per NZS3604:2011 Figure 8.15
not to scale



(a) butt joint over stud

Capacities of metal plate joints (2)	
Up to 3 kN	3 / 30 x 3.15mm nails per side
Up to 6 kN	6 / 30 x 3.15mm nails per side

NOTE

- (1) see section 4 for durability requirements
(2) not required when extra top plate is used
(3) all references are in NZS3604:2011

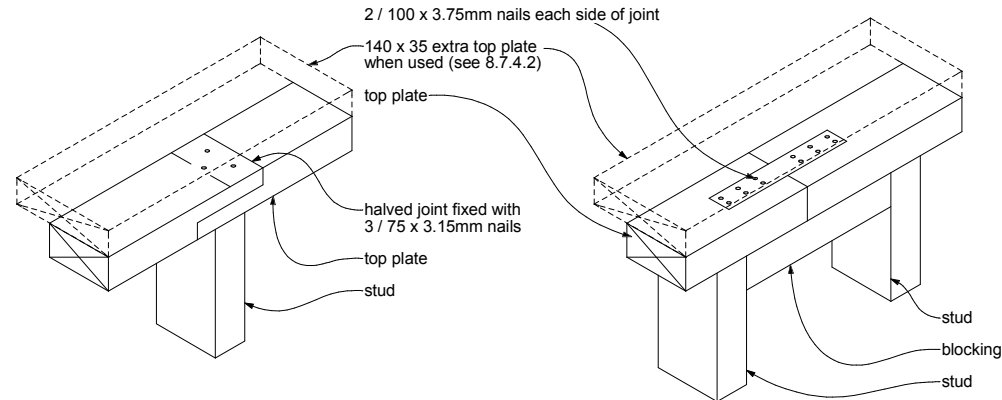
(b) butt joint with ceiling joist

Capacities of metal plate joints (2)	
Up to 3 kN	3 / 100 x 3.75mm nails per side
Up to 6 kN	6 / 100 x 3.75mm nails per side

SD06: connecting top plates to external walls at right angles
- detail drawn as per NZS3604:2011 Figure 8.16
not to scale

butt or halved joint in plate shall be made over a support i.e

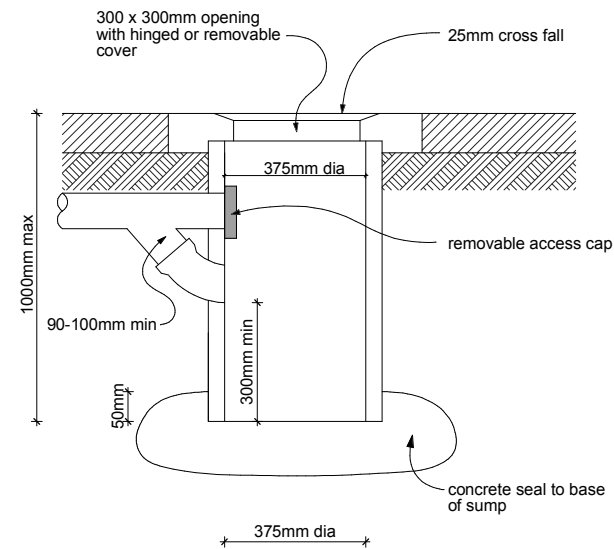
(a) Stud
(b) Solid blocking fixed between studs and directly under the plate (see 8.7.3.2)



(a) halved joint

(a) butt joint

SD05: connecting top plates
- detail drawn as per NZS3604:2011 Figure 8.14
not to scale



SW01: type 1 sump detail
As taken from NZBC E1/AS1 Figure 8
not to scale



JOB DETAILS:

Proposed New Four Bedroom Home
at
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for
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CONSENT PLAN

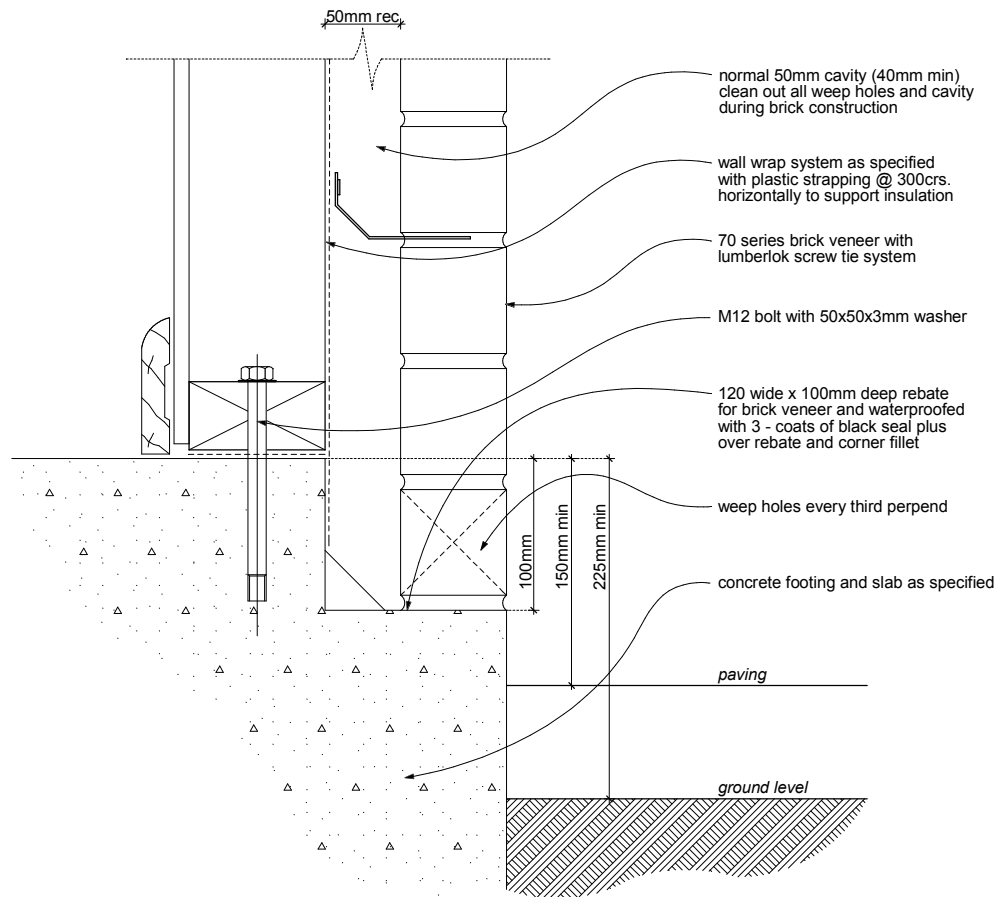
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construction details - E

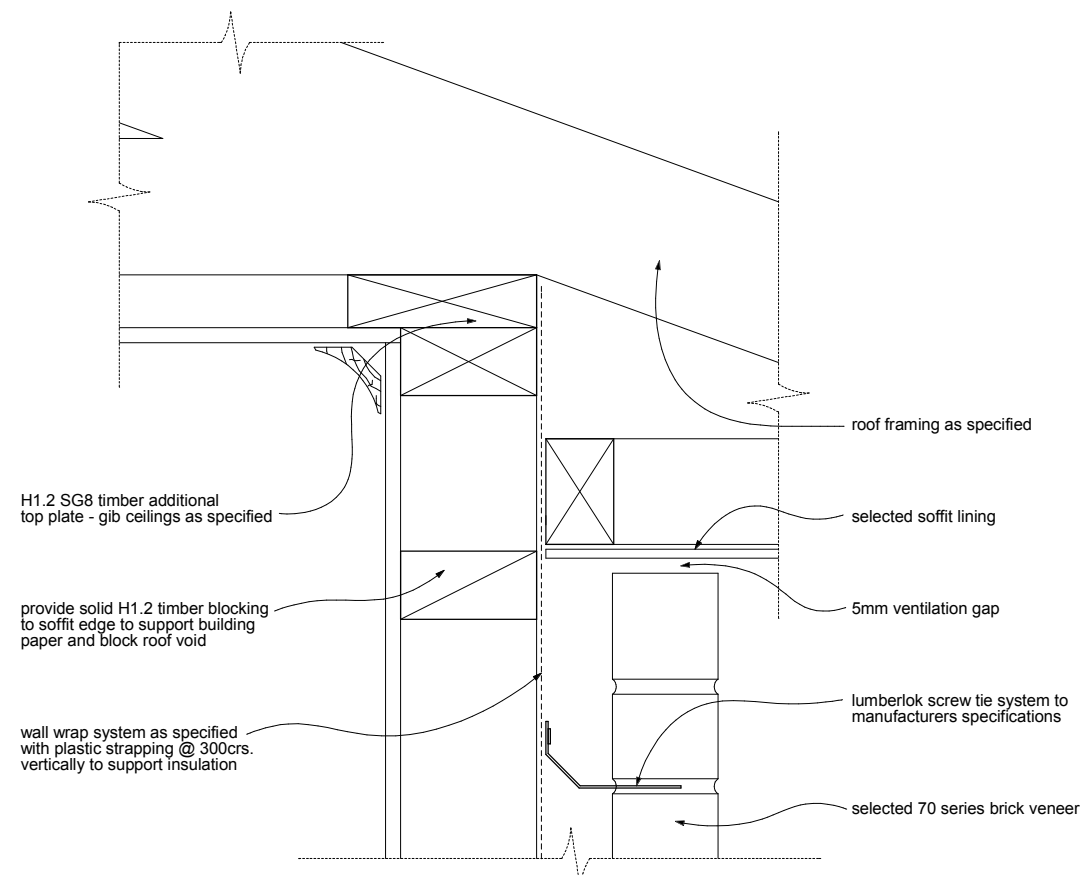
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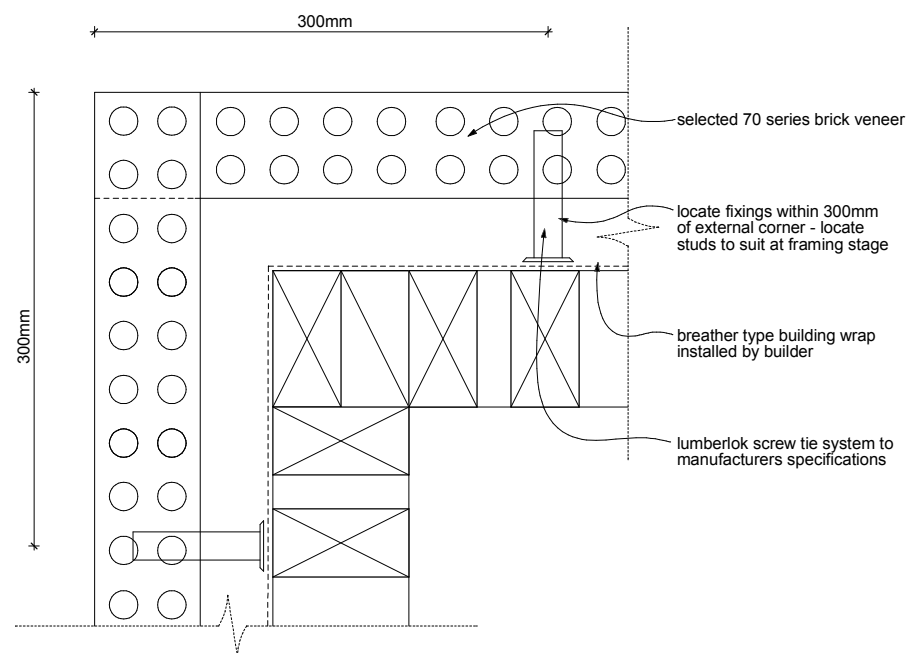
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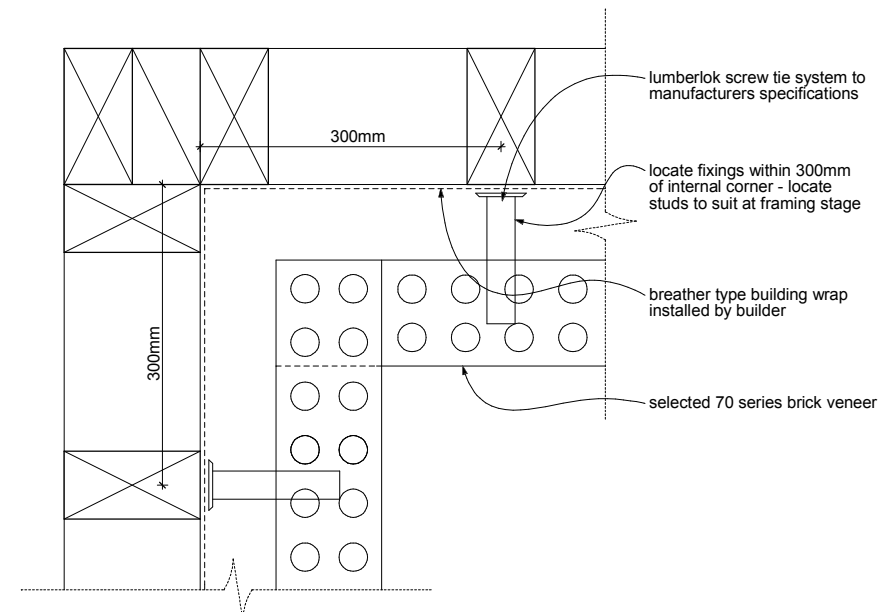
BF01: veneer slab junction
- face brick on 50mm nominal cavity
not to scale



BF02: veneer soffit / wall junction
- face brick on 50mm nominal cavity
not to scale



BF03: external corner detail
- face brick on 50mm nominal cavity
not to scale



BF04: internal corner detail
- face brick on 50mm nominal cavity
not to scale

all cladding installed strictly in accordance
with manufacturers specifications



in conjunction with
insignia DESIGN & ARCHITECTURE LTD.

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at
4 Kingson Court Omokoroa
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construction details - F

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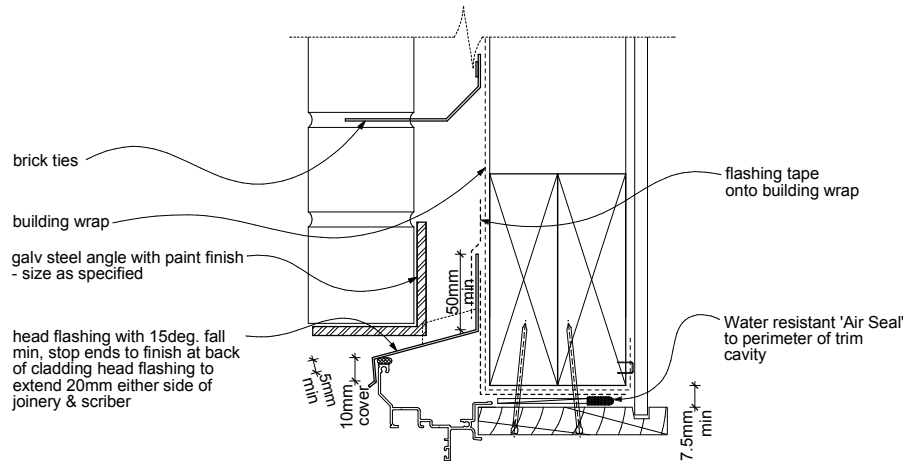
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JOB NO:	SHEET:	DRAWING:
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construction details - F
scale = as noted

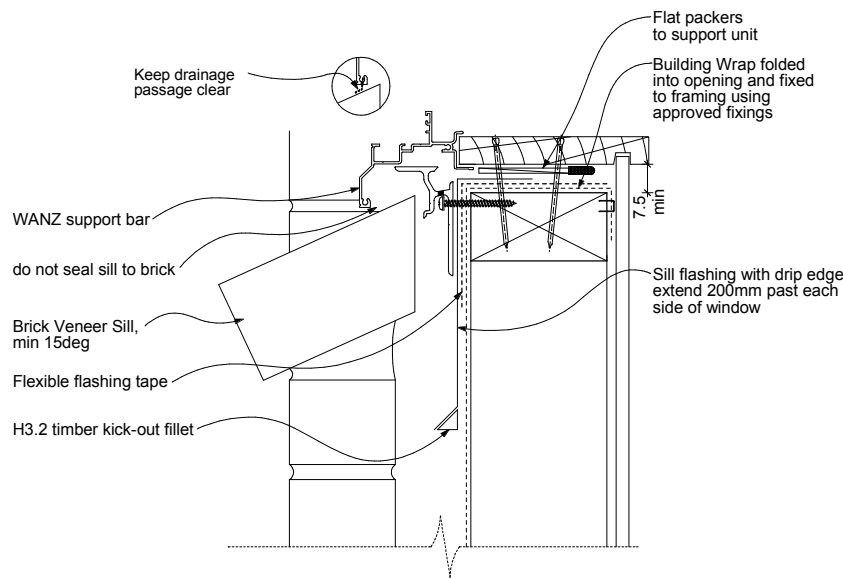
Western Bay of Plenty District Council, BC96971. APPROVED. THESE PLANS MUST REMAIN ONSITE.

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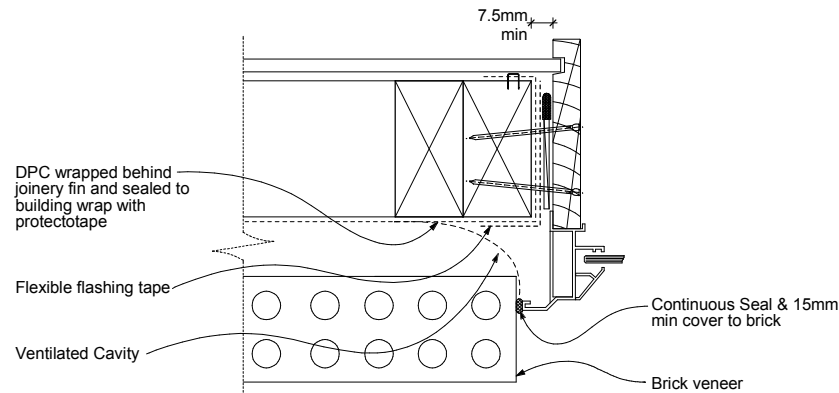


BF05: brick window head detail
- face brick on 50mm nominal cavity
not to scale

Note:
Sill sealing method for flange
end type drainage systems

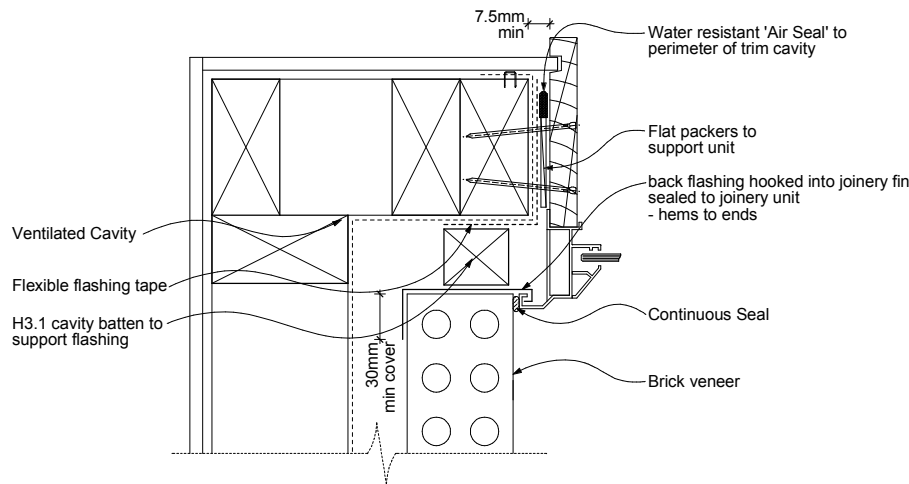


BF07: brick window sill detail
- face brick on 50mm nominal cavity
not to scale



BF06: brick window jamb detail
- face brick on 50mm nominal cavity
not to scale

Note: framing size to suit selected
joinery profile, confirm prior to pre-nail
with builder and joinery manufacturer



BF08: brick window tight fit detail
- face brick on 50mm nominal cavity
not to scale

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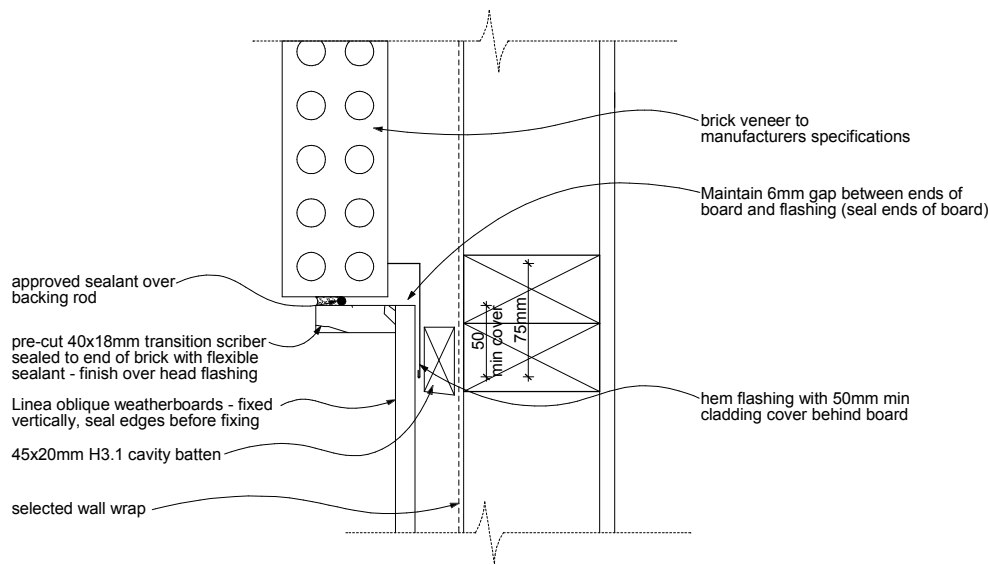
CONSENT PLAN

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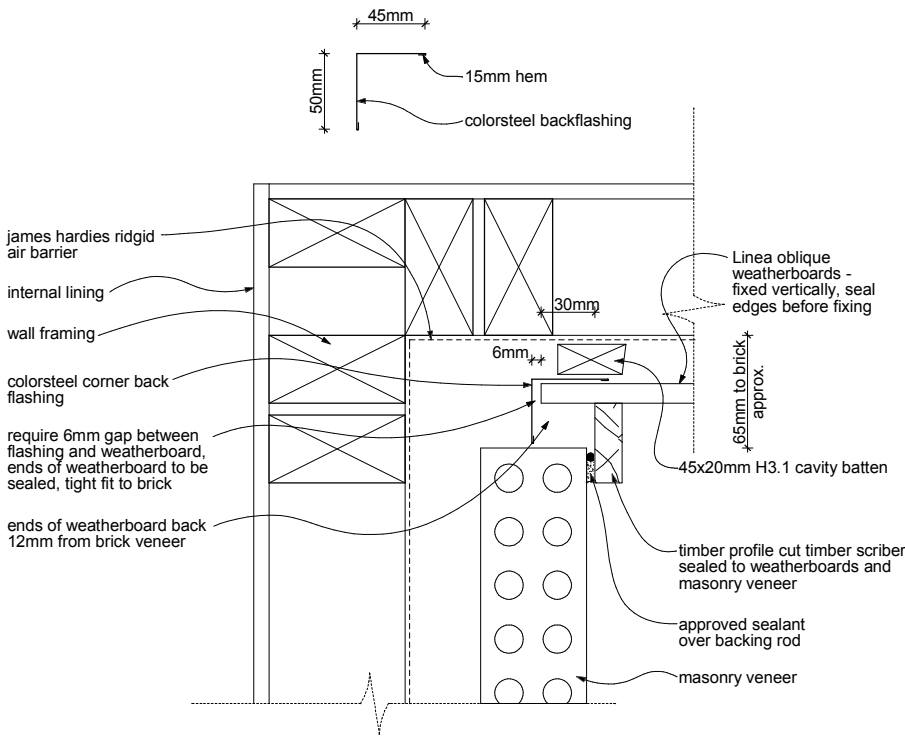
construction details - G

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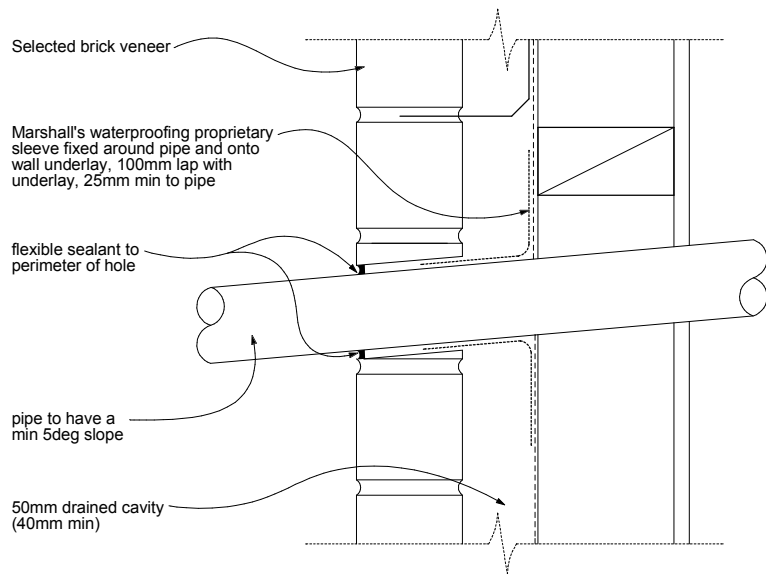
all cladding installed strictly in accordance with manufacturers specifications



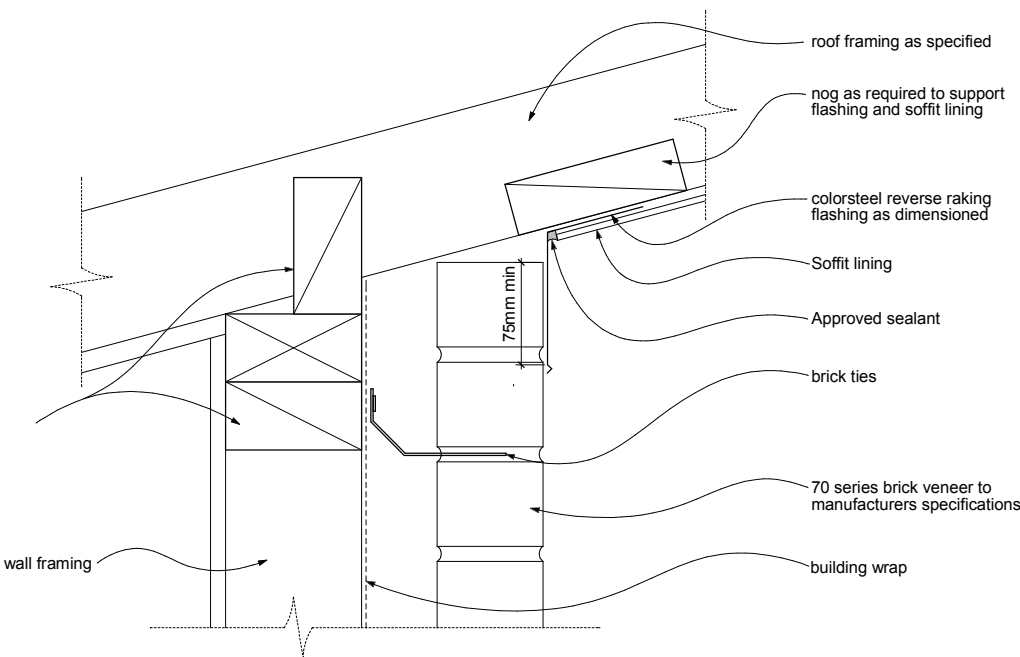
BF09: vertical cladding junction
- james hardie linea oblique vertical weatherboard on cavity
not to scale



BF10: internal corner cladding junction
- james hardie linea oblique vertical weatherboard on cavity
not to scale



BF11: pipe penetration detail
- face brick on 50mm nominal cavity
not to scale



BF12: brick veneer- reversed raking soffit detail
- face brick on 50mm nominal cavity
not to scale



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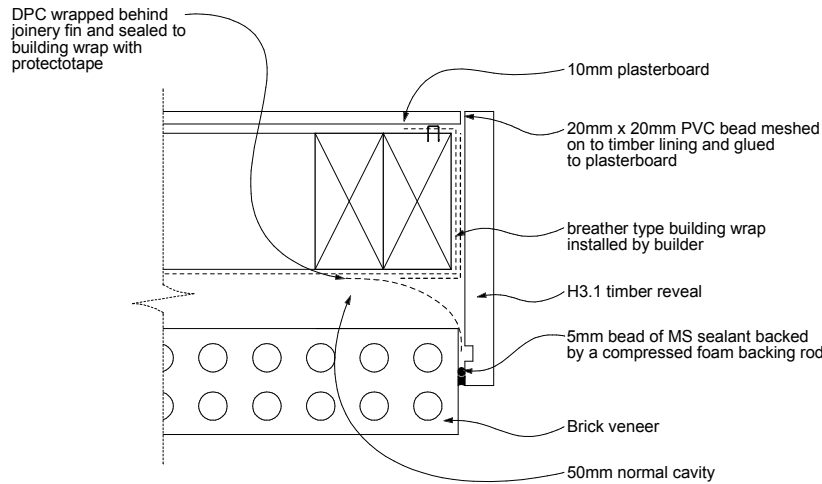
construction details - H

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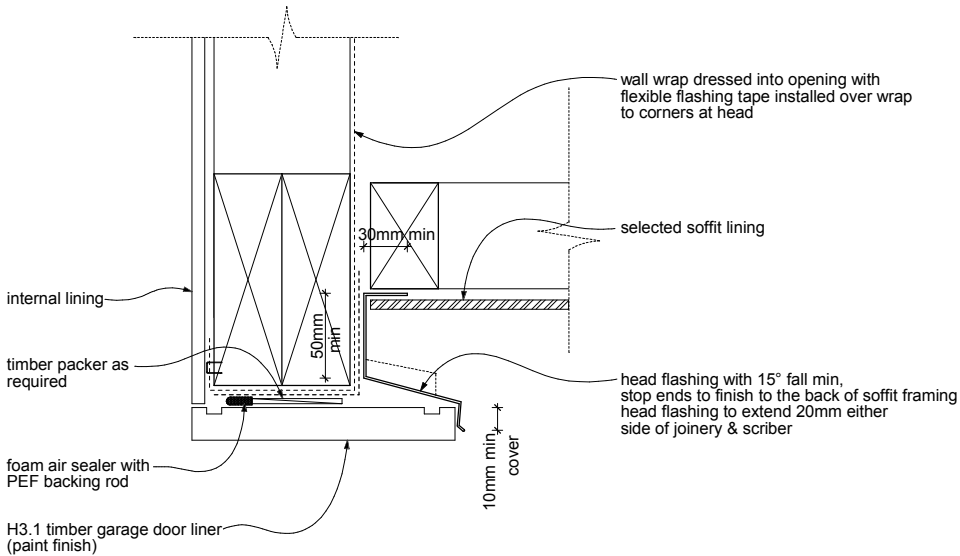
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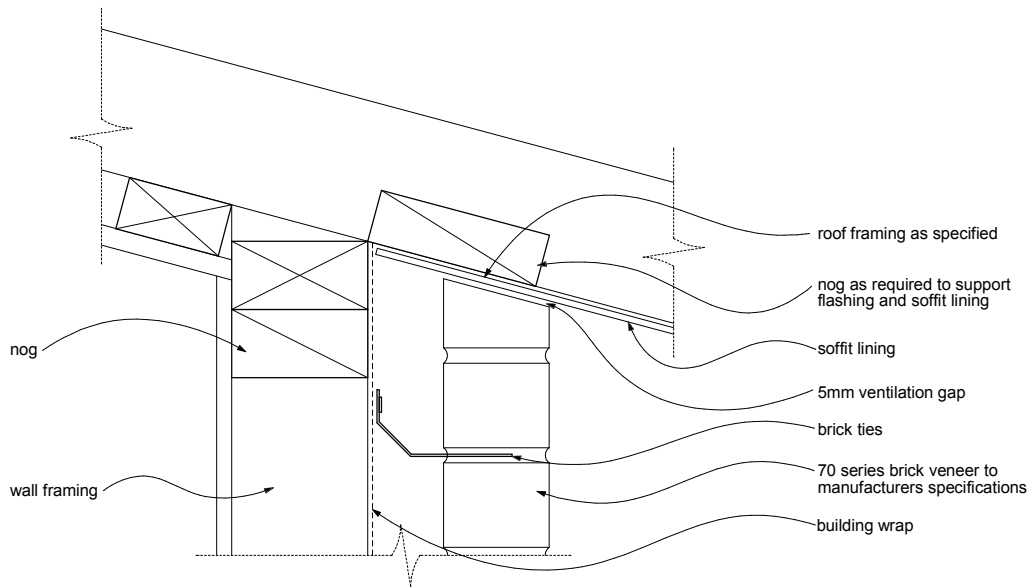
all cladding installed strictly in accordance with manufacturers specifications



BF13: garage door jamb detail
- face brick on 50mm nominal cavity
not to scale



BF14: garage door head detail
- face brick on 50mm nominal cavity
not to scale



BF15: brick veneer raking soffit - raking ceiling detail
- face brick on 50mm nominal cavity
not to scale

construction details - I
scale = as noted



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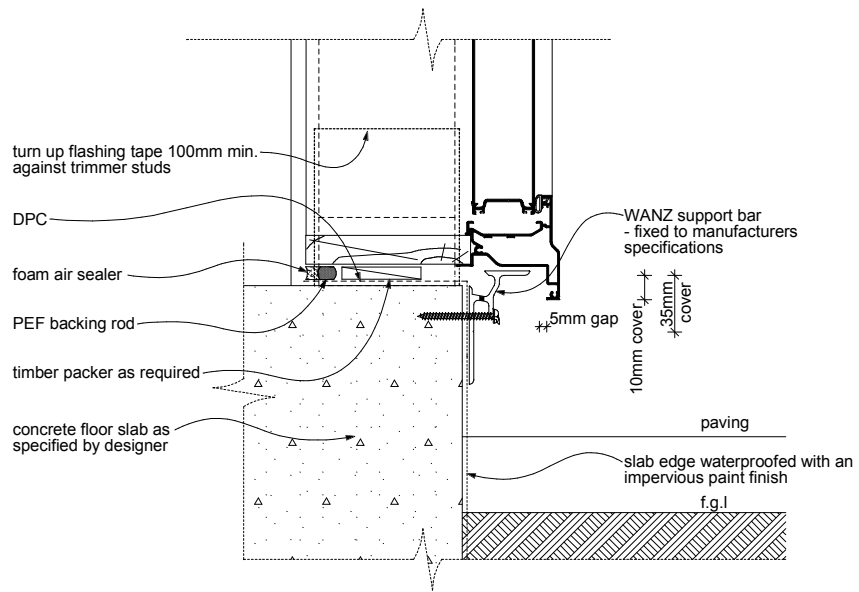
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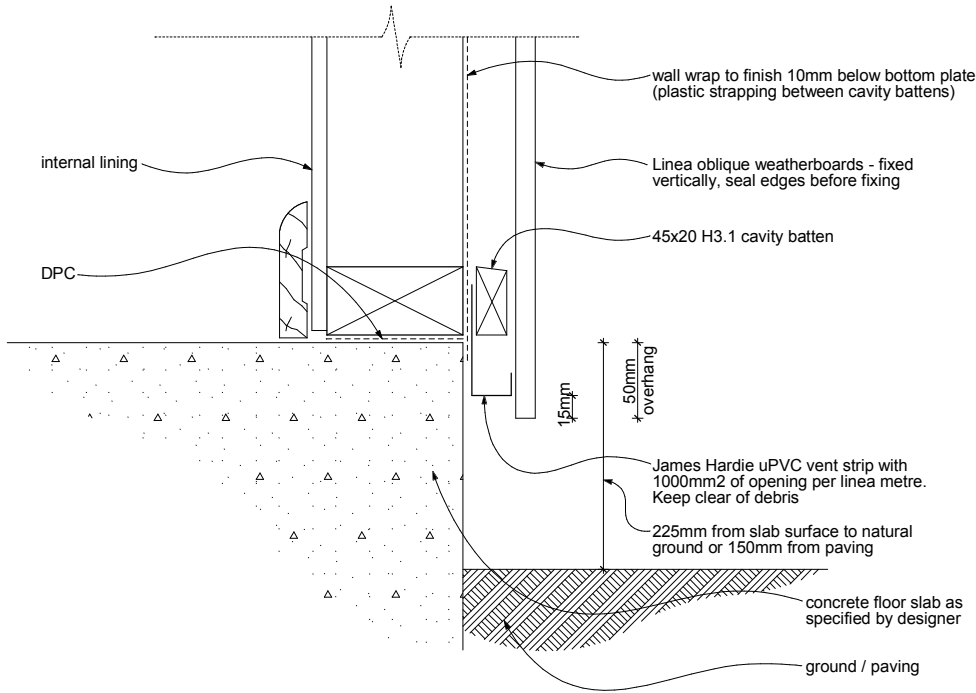
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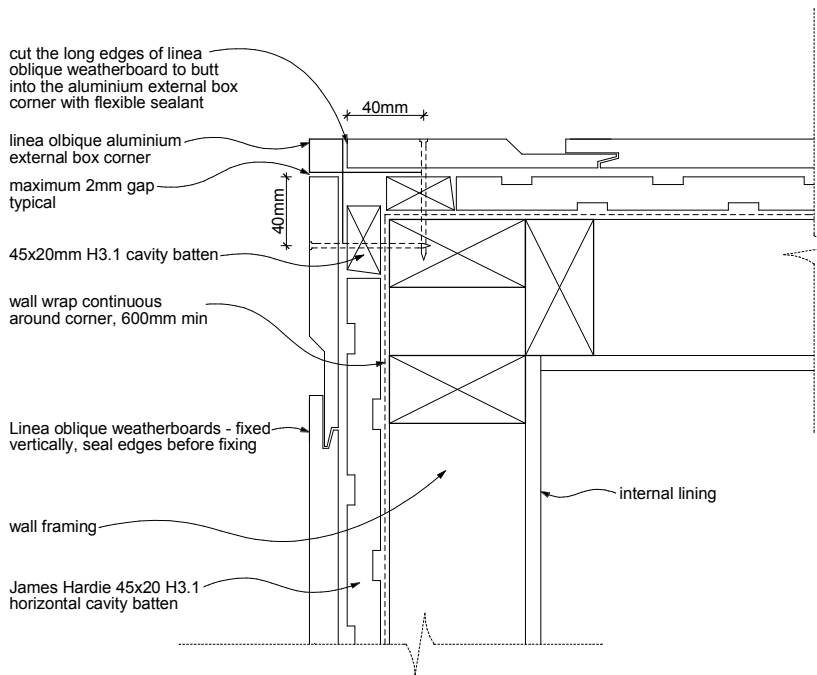
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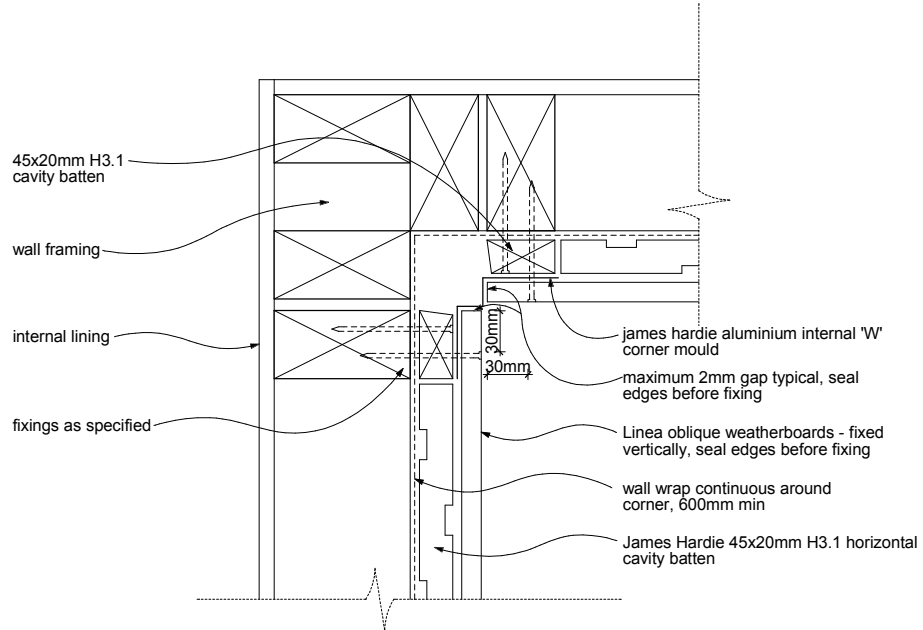
WC01: door sill detail
- james hardie linea oblique vertical weatherboard on cavity
not to scale



WC02: base detail- concrete floor
- james hardie linea oblique vertical weatherboard on cavity
not to scale



WC03: external corner
- james hardie linea oblique vertical weatherboard on cavity
not to scale



WC04: internal corner
- james hardie linea oblique vertical weatherboard on cavity
not to scale

KINGSON COURT

in conjunction with

insignia DESIGN & ARCHITECTURE LTD

JOB DETAILS:

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at

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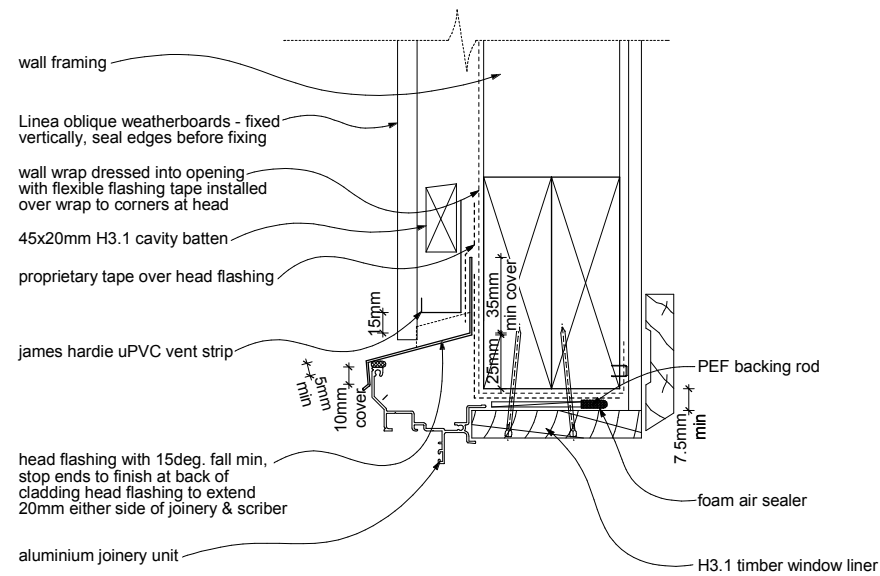
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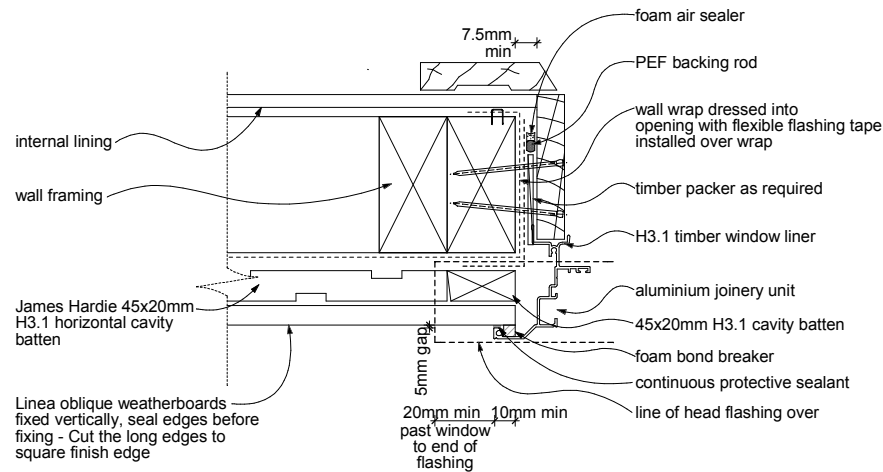
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JOB NO:	SHEET:	DRAWING:
2019-143	22 of 30	A3

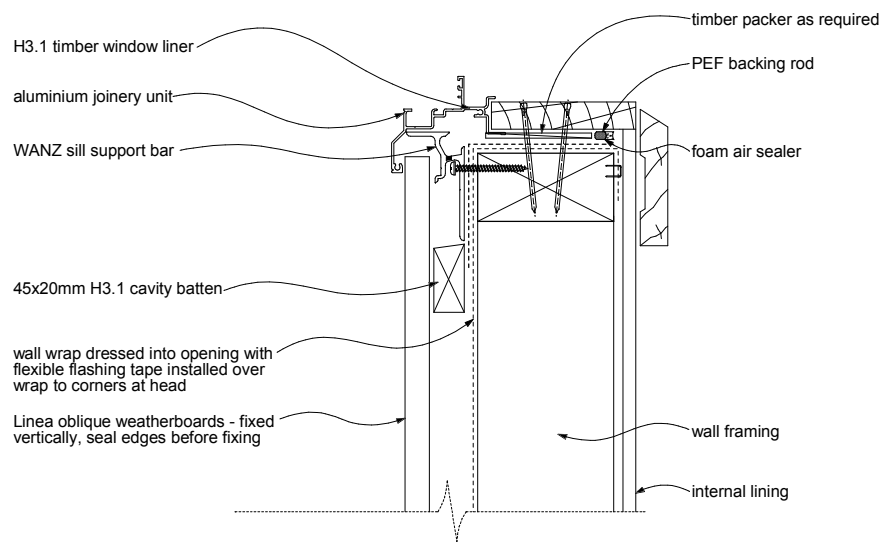
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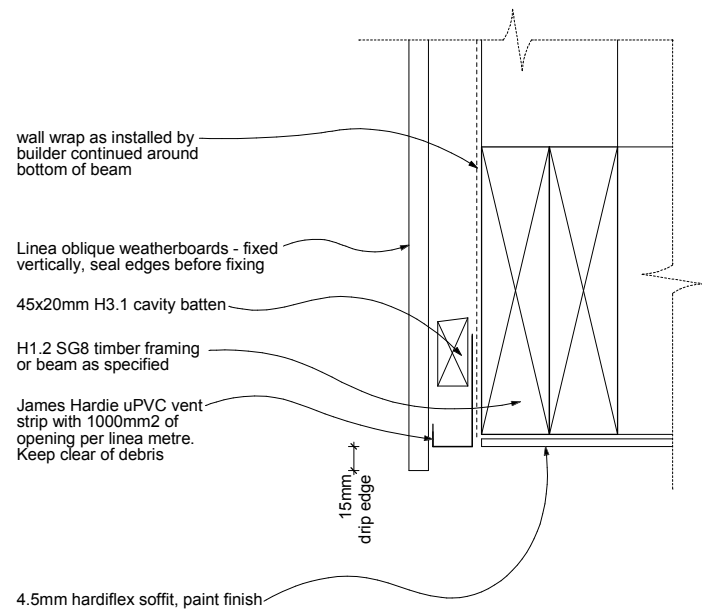
WC05: joinery - head detail
- james hardie linea oblique vertical weatherboard on cavity
not to scale



WC06: joinery - jamb detail
- james hardie linea oblique vertical weatherboard on cavity
not to scale



WC07: joinery - sill detail
- james hardie linea oblique vertical weatherboard on cavity
not to scale

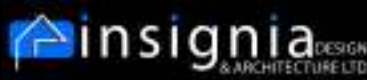


WC08: drip edge detail
- james hardie linea oblique vertical weatherboard on cavity
not to scale



KINGSON
COURT

in conjunction with



insignia
DESIGN
& ARCHITECTURE LTD

JOB DETAILS:

Proposed New Four Bedroom Home
at
4 Kingson Court Omokoroa
for
Kingson Construction Ltd

GENERAL DESIGN NOTES:

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Concrete to be min. 20.0 mPa as per engineers design ready mixed to as per engineers design

Concrete Construction to as per engineers design

Reinforcing Bars and Welded Reinforcing Mesh to as per engineers design

Construct Floor Slabs, DPM, Reinforcing and Saw Cuts to as per engineers design

DRAWING STAGE:

CONSENT PLAN

CONTENTS:

construction details - K

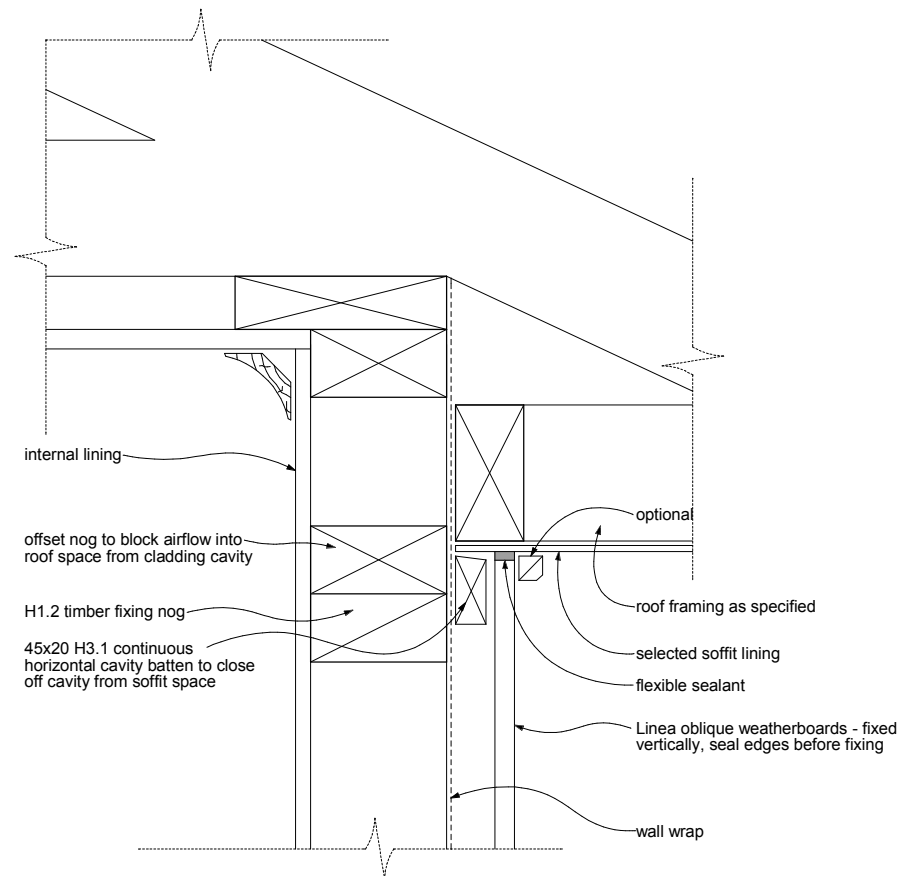
PROJECT STAGE	DATE
Plans for truss design	12.11.2021
Plans for truss design	17.11.2021
Plans for sw tank design	17.11.2021
Plans for Baseup design	14.12.2021
Owner Review	02.06.2022
Plans for Consent Application	04.07.2022

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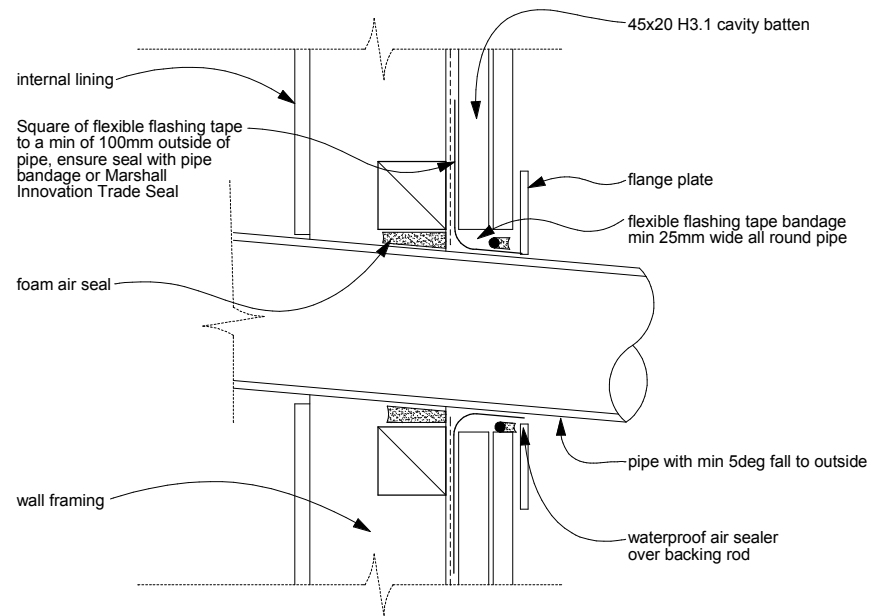
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SCALE: refer drawing title

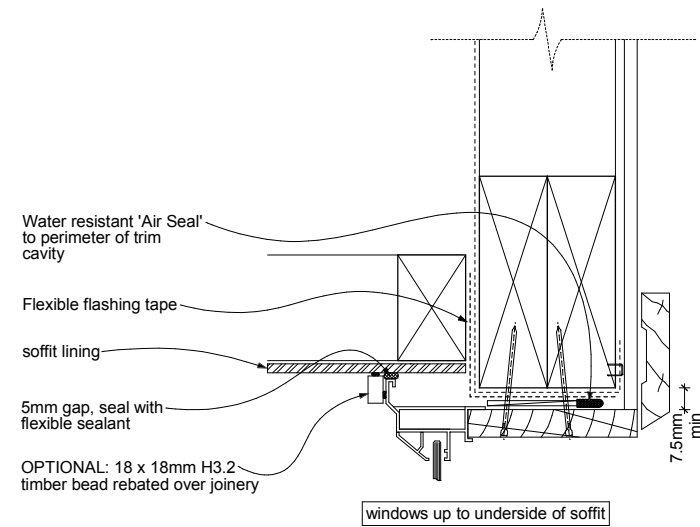
JOB NO:	SHEET:	DRAWING:
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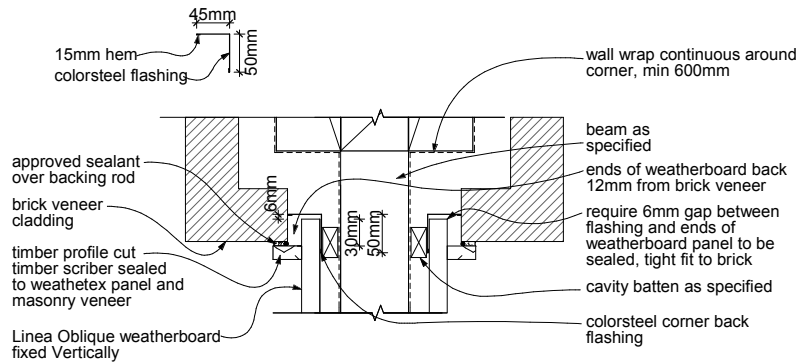
WC09: soffit detail- flat
- james hardie linea oblique vertical weatherboard on cavity
not to scale



WC10: pipe penetration
- james hardie linea oblique vertical weatherboard on cavity
not to scale



WC11: window head to soffit detail
- james hardie linea oblique vertical weatherboard on cavity
not to scale



WC12: linea oblique vertical cladding /
brick veneer pillar junction
-linea oblique vertical on cavity
NOTE: cladding to be installed to manufacturers specifications & E2-AS1
not to scale



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DRAWING STAGE:

CONSENT PLAN

CONTENTS:

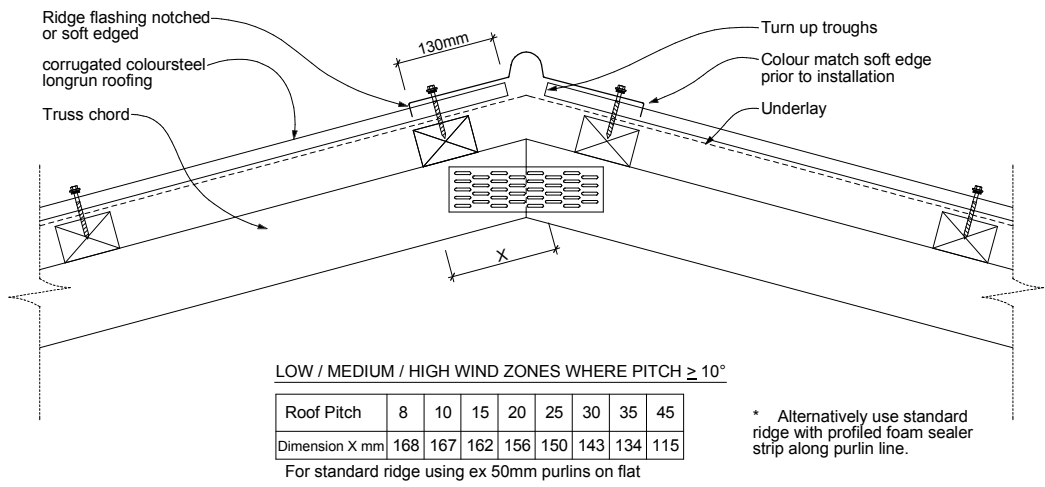
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PROJECT STAGE	DATE
Plans for truss design	12.11.2021
Plans for truss design	17.11.2021
Plans for sw tank design	17.11.2021
Plans for Baseup design	14.12.2021
Owner Review	02.06.2022
Plans for Consent Application	04.07.2022

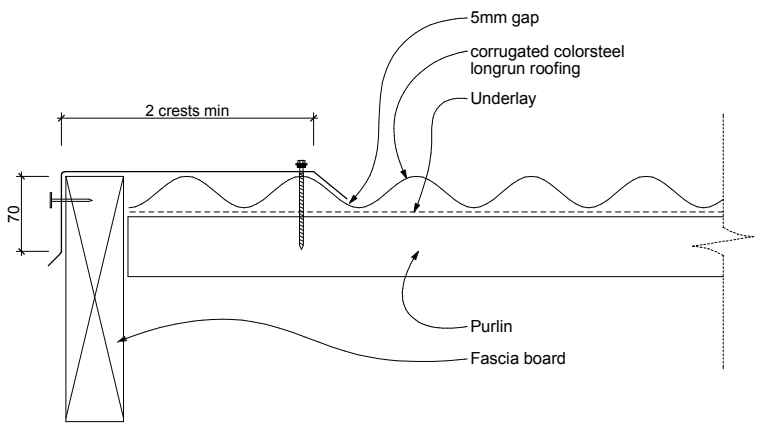
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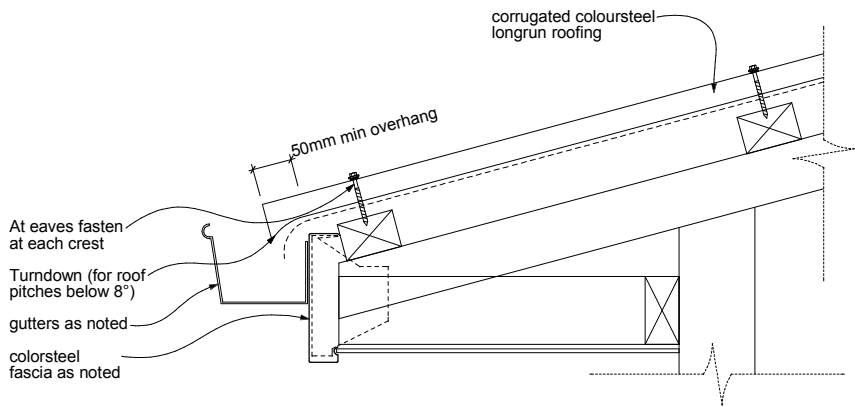
all roofing installed strictly in accordance with manufacturers specifications



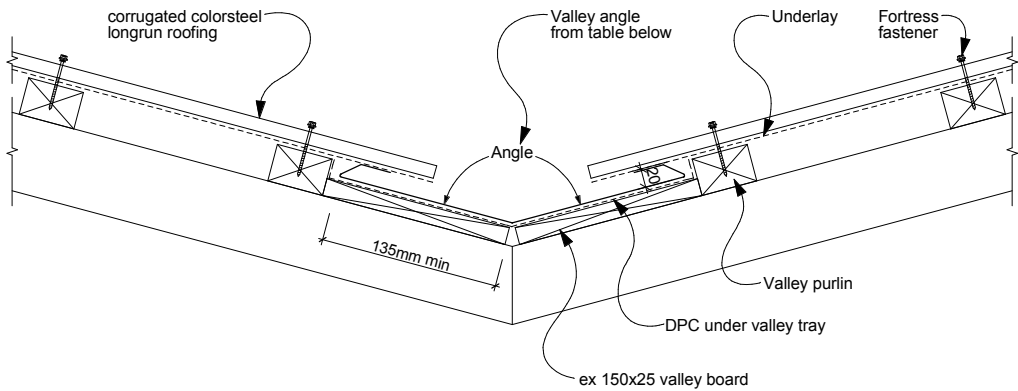
RD01: ridge truss detail
- as taken from Steel & Tube Roofing website roofing to be installed to manufacturers specifications & E2-A51
not to scale



RD02: barge flashing detail
- as taken from Steel & Tube Roofing website roofing to be installed to manufacturers specifications & E2-A51
not to scale



RD03: eave / soffit detail
- as taken from Steel & Tube Roofing website roofing to be installed to manufacturers specifications & E2-A51
not to scale



Valley Angles and Catchments									
Roof Pitch	<8°	8°	10°	15°	20°	25°	30°	35°	45°
Valley Angle	Varies	169	166	159	152	145	139	132	120
Maximum Catchment	*	20m²	26m²	27m²	35m²	43m²	52m²	63m²	75m²

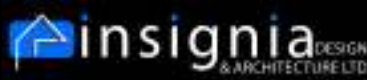
* For degrees below 8° and larger catchments design as internal gutter in accordance with E1/AS1 figure 16.

RD04: valley detail
- as taken from Steel & Tube Roofing website roofing to be installed to manufacturers specifications & E2-A51
not to scale



KINGSON COURT

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JOB DETAILS:

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at
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Concrete Construction to as per engineers design

Reinforcing Bars and Welded Reinforcing Mesh to as per engineers design

Construct Floor Slabs, DPM, Reinforcing and Saw Cuts to as per engineers design

DRAWING STAGE:

CONSENT PLAN
-RFI 1-

CONTENTS:

construction details - N

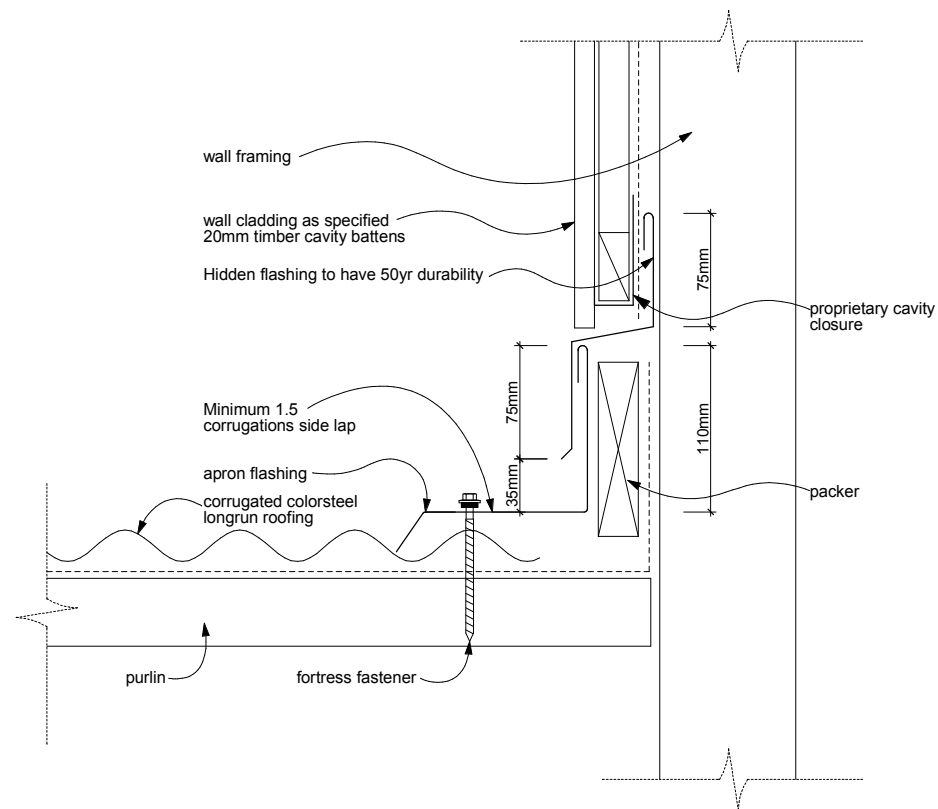
PROJECT STAGE	DATE
Plans for truss design	12.11.2021
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Owner Review	02.06.2022
Plans for Consent Application	04.07.2022
RFI 1	20.07.2022

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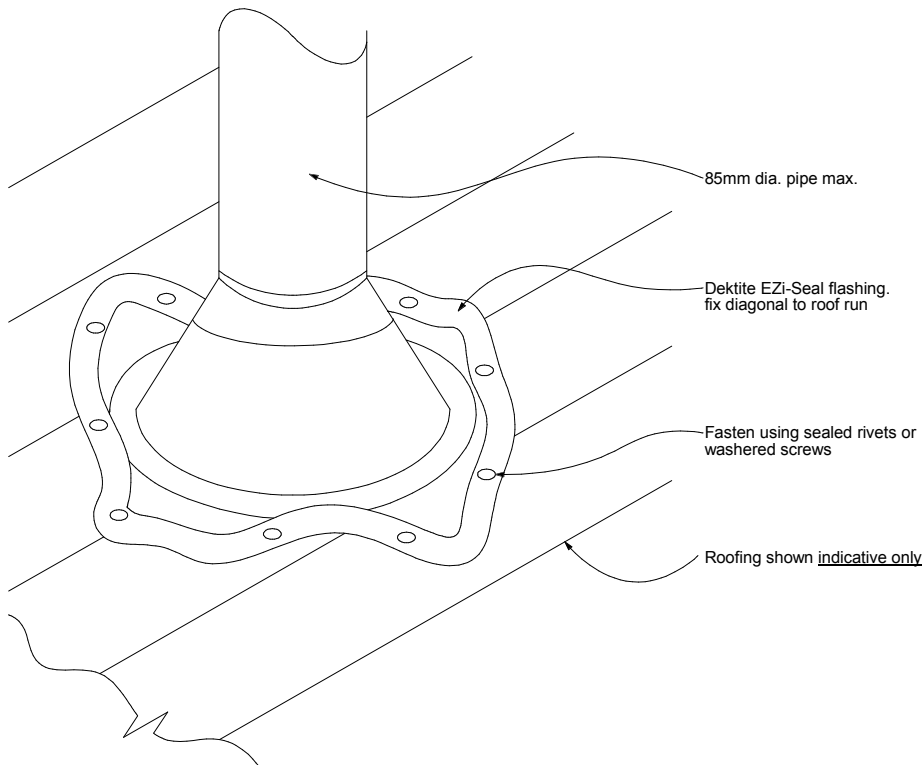
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JOB NO:	SHEET:	DRAWING:
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all roofing installed strictly in accordance with manufacturers specifications

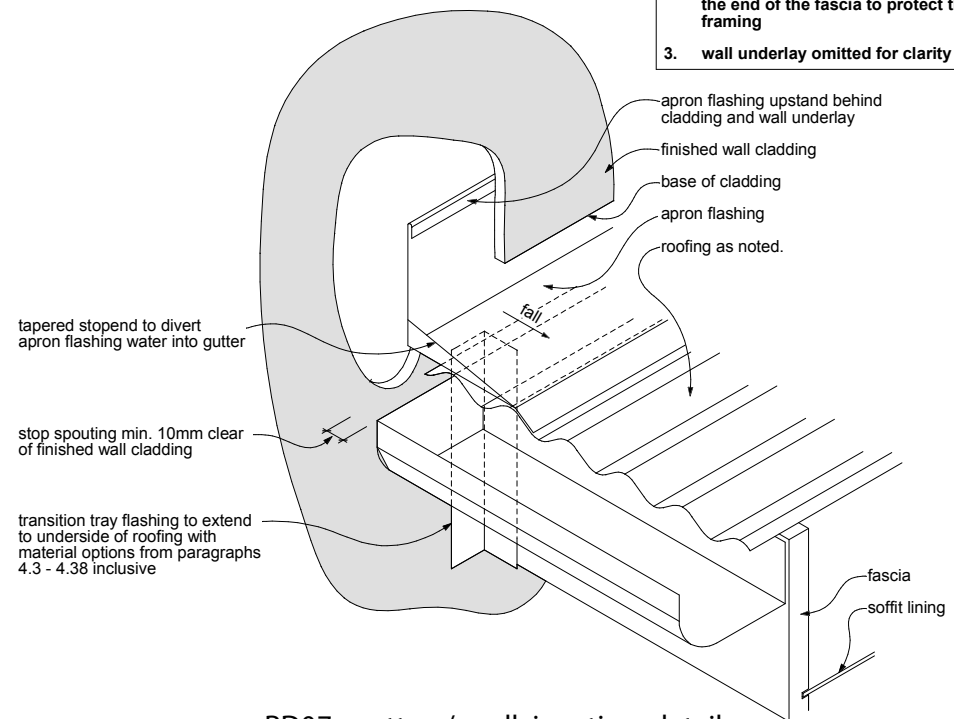


RD05: parallel apron detail
- as taken from Steel & Tube Roofing website roofing to be installed to manufacturers specifications & E2-AS1 not to scale



RD06: pipe penetration detail
- up to 85mm dia. not to scale

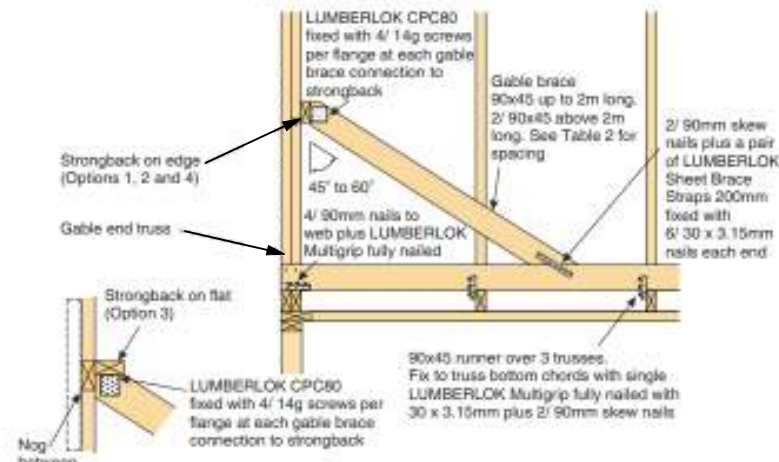
- Note:**
- the upstand at the lower edge of the apron flashing may be preformed to a larger size and trimmed on site to suit.
 - the transition flashing bridges gap at the end of the fascia to protect the soffit framing
 - wall underlay omitted for clarity



RD07: gutter / wall junction detail
- as taken from NZBC E2/AS1 Figure 8B
- refer to NZBC E2/AS1 Paragraphs 5.1 and 5.2 not to scale

RFI 1

REFER SHEET 30 FOR SIZING CHART



GABLE BRACE DETAIL FOR ALL GABLE END OPTIONS
(full height brick veneer option shown)

RD08: gable brace - detail
- as taken from Mitek Structural fixings on-site guide not to scale

construction details - O
scale = as noted

in conjunction with

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4 Kingson Court Omokoroa
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DRAWING STAGE:

CONSENT PLAN
-RFI 1-

CONTENTS:

construction details - O

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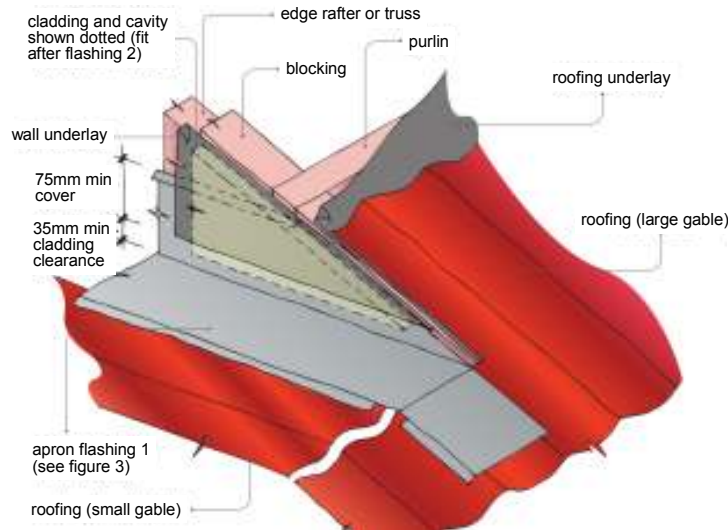
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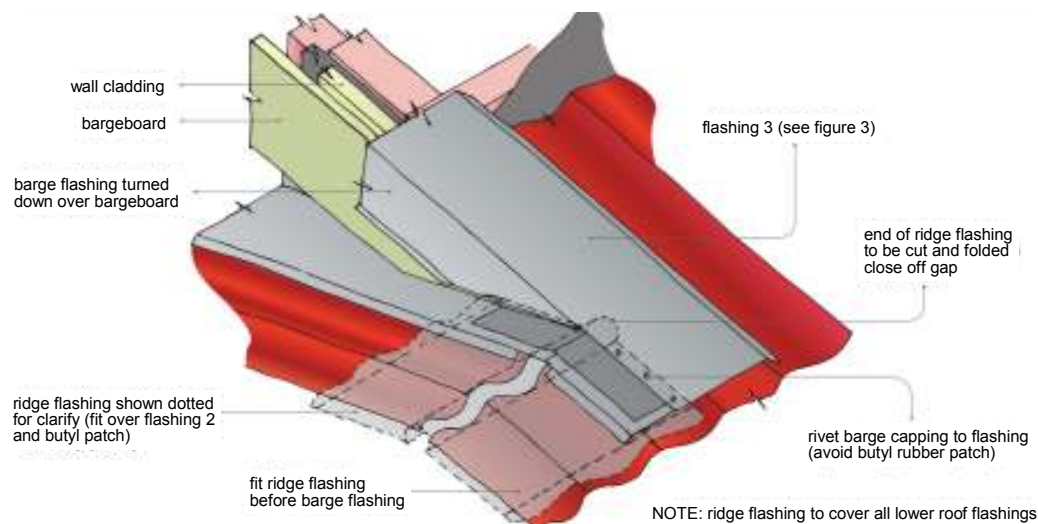
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JOB NO:	SHEET:	DRAWING:
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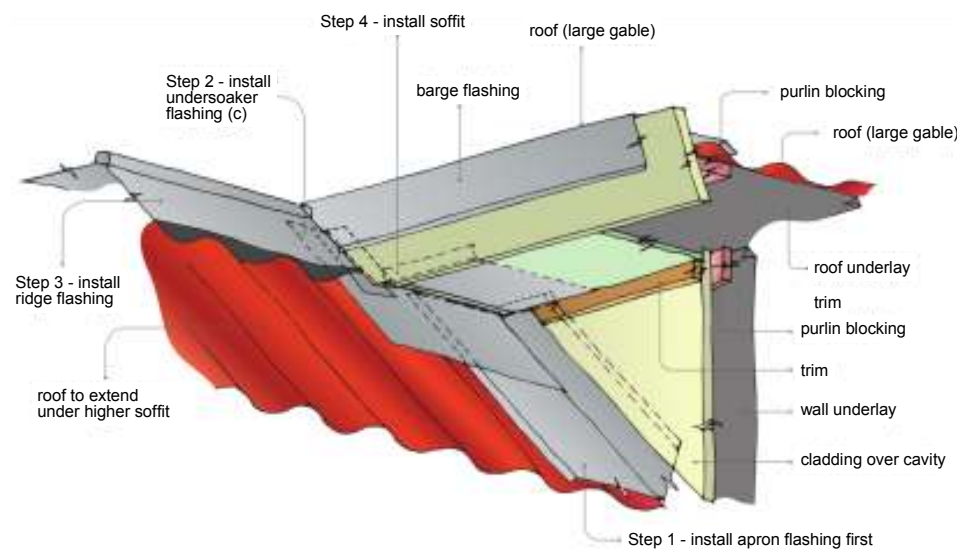
Western Bay of Plenty District Council, BC96971. APPROVED. THESE PLANS MUST REMAIN ONSITE.



STEP 1

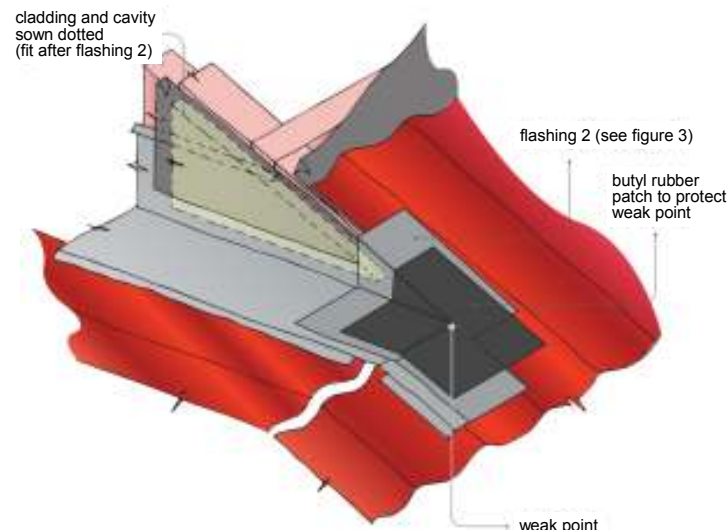


STEP 3



STEP 4

RD09: gable eaves to lower ridge junction
- as taken from the Branz Build website
not to scale



STEP 2

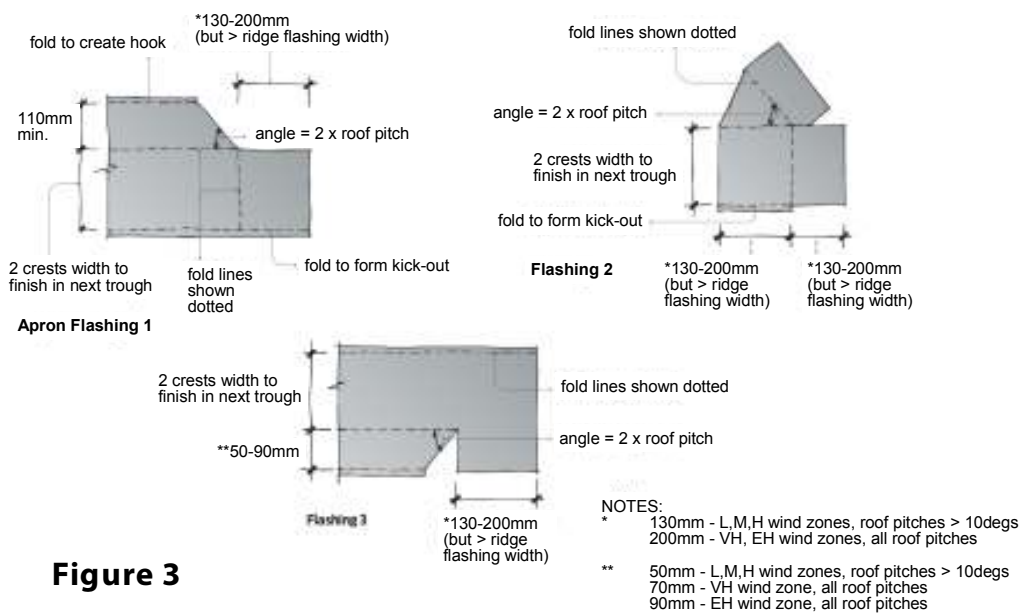


Figure 3

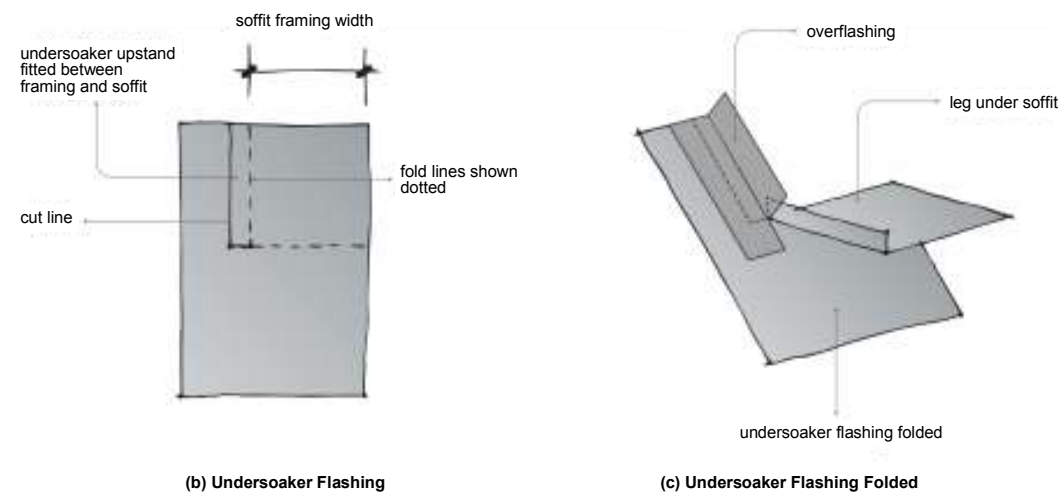


Figure 4

KINGSON COURT

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DRAWING STAGE:

CONSENT PLAN

CONTENTS:

construction details - P

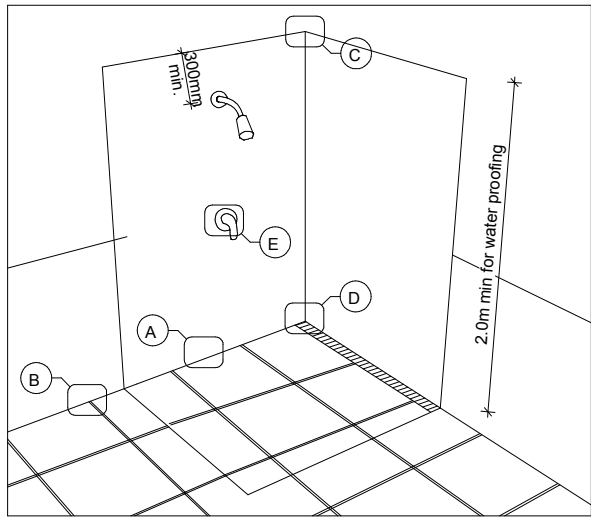
PROJECT STAGE	DATE
Plans for truss design	12.11.2021
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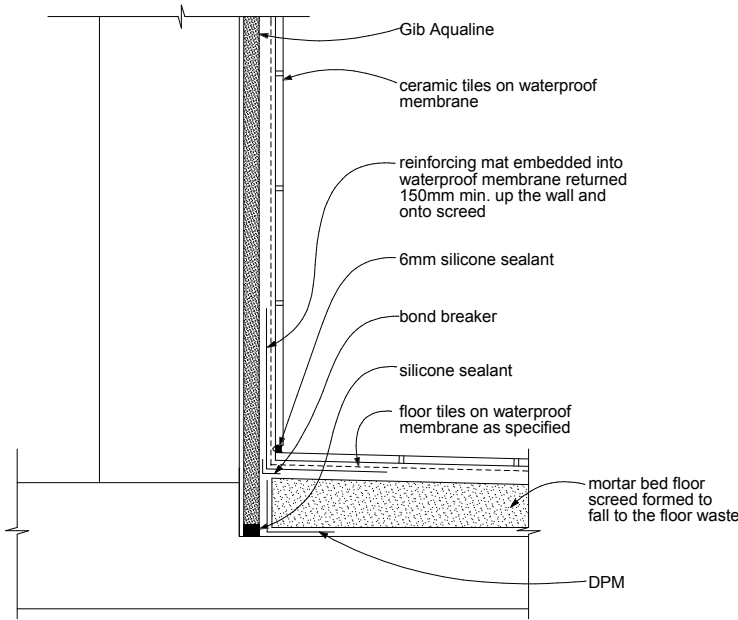
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JOB NO:	SHEET:
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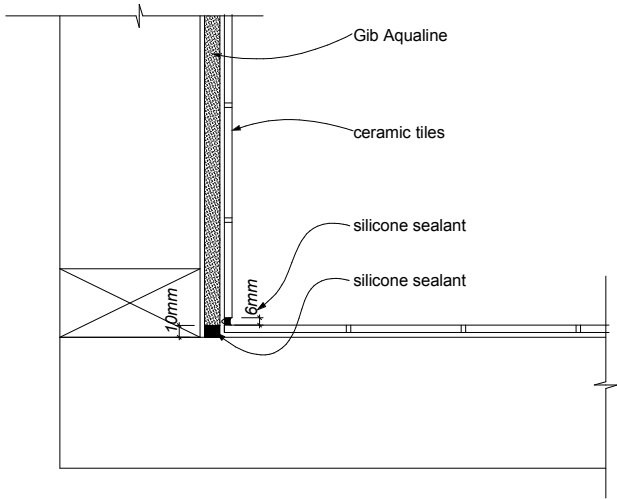
Western Bay of Plenty District Council, BC96971. APPROVED. THESE PLANS MUST REMAIN ONSITE.



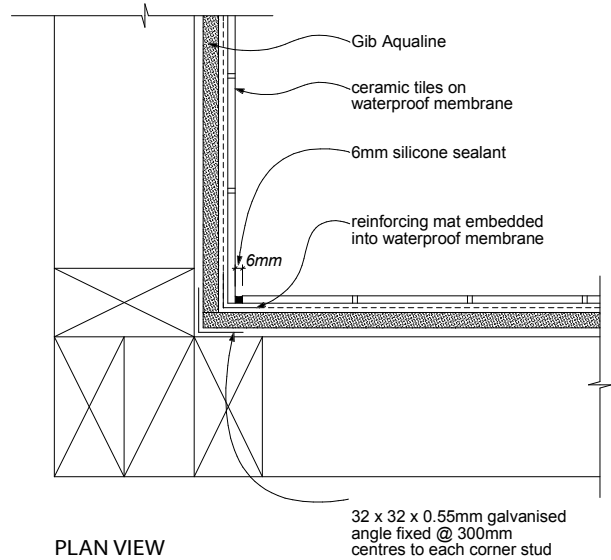
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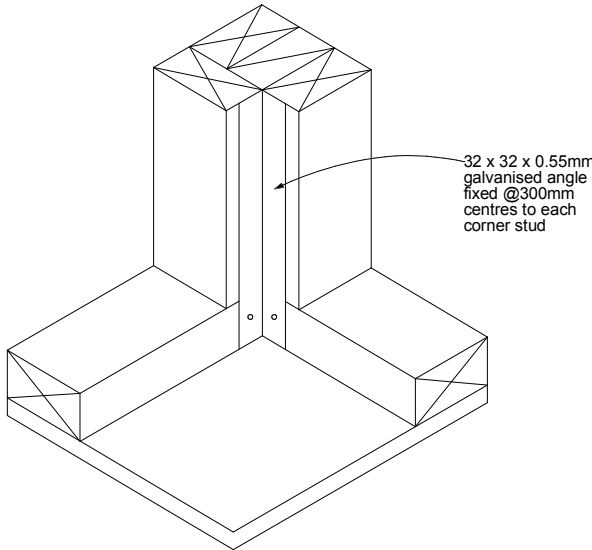
A: wall to floor shower



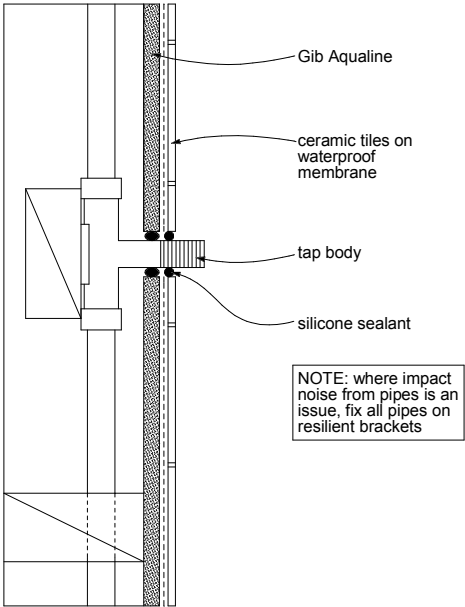
B: wall to floor



C: internal corner



D: corner angle



E: pipe penetration

WA01: gib tiled shower wet area system details
not to scale

KINGSON COURT

in conjunction with

insignia DESIGN & ARCHITECTURE LTD

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DRAWING STAGE:

CONSENT PLAN
-RFI 1-

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construction details - Q

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Owner Review	02.06.2022
Plans for Consent Application	04.07.2022
RFI 1	20.07.2022

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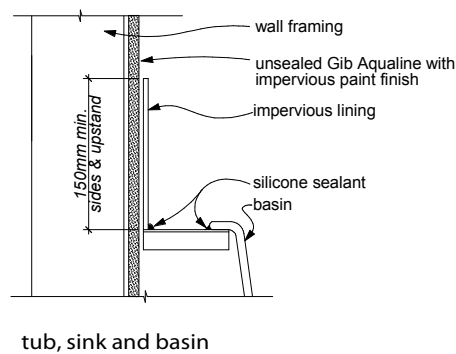
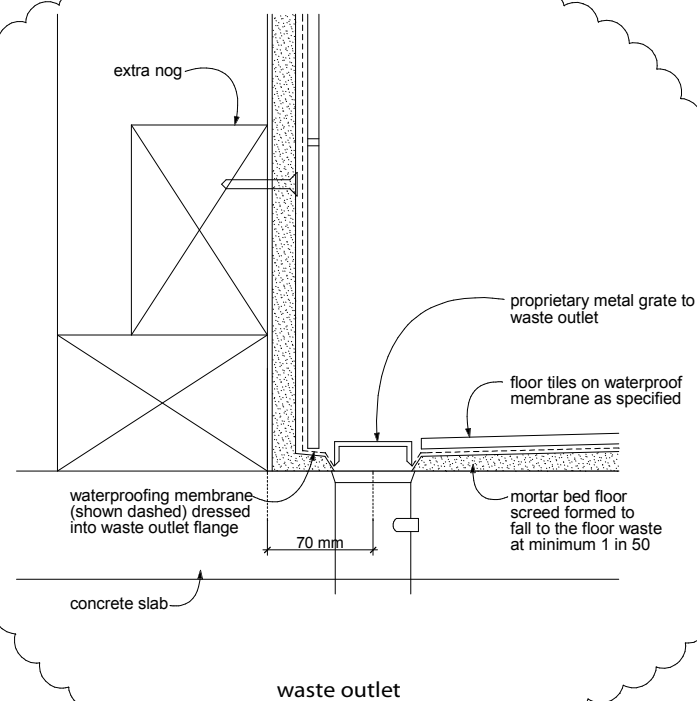
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2019-143	29 of 30

DRAWING:
A3

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RFI 1



WA02: tiled wet area system details
not to scale

construction details - R
scale = as noted

RFI 1

TABLE 1A - STRONGBACK LOCATION FOR WEBS @ 600MM CRS.

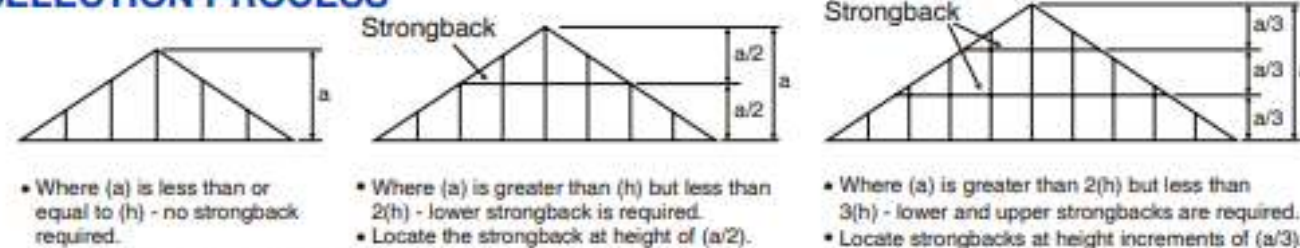
WIND ZONE	MAXIMUM STRONGBACK HEIGHT (h)											
	70x45 Web		90x45 Web		Double Component Gable End Webs				45x70 on flat		45x90 on flat	
	SG6	SG8	SG6	SG8	2/ 70x45		2/ 90x45		SG6	SG8	SG6	SG8
LOW	1750	1950	1900	2100	2200	2450	2400	2650	2350	2600	2950	3150
MEDIUM	1600	1750	1750	1900	2000	2200	2200	2400	2150	2350	2750	2950
HIGH	1400	1500	1500	1650	1750	1900	1900	2100	1800	2050	2350	2650
VERY HIGH	1250	1400	1400	1500	1600	1750	1750	1900	1600	1900	2050	2400
EXTRA HIGH	1150	1350	1300	1450	1550*	1700*	1650*	1850*	1450	1700	1850*	2200*

TABLE 1B - STRONGBACK LOCATION FOR WEBS @ 400MM CRS.

WIND ZONE	MAXIMUM STRONGBACK HEIGHT (h)											
	70x45 Web		90x45 Web		Double Component Gable End Webs				45x70 on flat		45x90 on flat	
	SG6	SG8	SG6	SG8	2/ 70x45		2/ 90x45		SG6	SG8	SG6	SG8
LOW	2000	2200	2200	2400	2550	2750	2750	2950	2700	2900	3250	3500
MEDIUM	1800	2000	2000	2200	2300	2550	2500	2750	2450	2700	3050	3300
HIGH	1600	1750	1750	1900	2000	2200	2200	2400	2150	2350	2750	2950
VERY HIGH	1450	1600	1600	1750	1850	2000	2000	2200	1950	2200	2500	2750
EXTRA HIGH	1400	1550	1500	1650	1750*	1950*	1900*	2100*	1800	2100	2300*	2650*

*Use these values for full height brick veneer attached to gable end.
Please note that the maximum height of brick veneer on a gable end wall is 5.5m.

SELECTION PROCESS



STRONGBACK OPTIONS

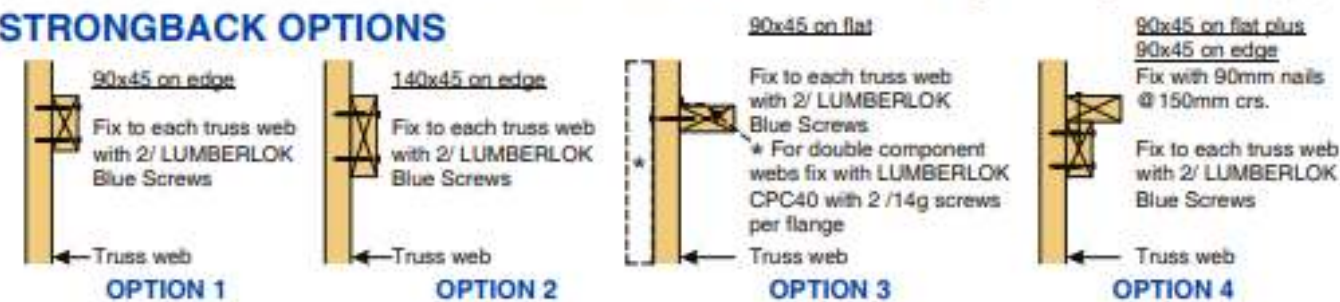


TABLE 2 - STRONGBACK SPAN AND GABLE BRACE LOCATION

OPTION 1	OPTION 2	OPTION 3	OPTION 4
90x45 on edge	140x45 on edge	90x45 on flat	90x45 on flat plus 90x45 on edge
Max. span and/or gable brace location 1200mm	Max. span and/or gable brace location 1400mm	Max. span and/or gable brace location 1600mm	Max. span and/or gable brace location 2000mm

RD09: gable brace chart - detail
- as taken from Mitek Structural fixings on-site guide
not to scale



Proposed New Four Bedroom Home
at
4 Kingson Court Omokoroa
for
Kingson Construction Ltd

GENERAL DESIGN NOTES:

Do not scale from plans or details, consult with designer for confirmation if required.

Plans to be read in conjunction with the Building Specifications, Bracing Calculations, Truss Designs, Engineering Designs and Specification and Manufacturers Specifications.

all building work shall be strictly in accordance with NZS 3604 and The New Zealand Building Code and all relevant Standards and Codes.

All works shall satisfy the requirements of E2-AS1 External Moisture.

All Changes or Amendments to the Plans or Specifications to be Consulted with Insignia Design & Architecture Ltd prior to commencement.

Contractor to confirm all Dimensions, Levels, Boundary Setbacks and Setouts, Service Connections, Locations and Levels, Daylighting and Height Restriction Requirements prior to commencement of works.

Consult with Plumbing, Drainage, Electrical and All Required Sub Contractors prior to commencement of construction stages to ensure all applicable works have been completed accordingly and as required.

All Construction Materials and Systems shall be stored, handled and installed strictly to manufacturers specifications and details.

Timber and Wood Based Products and Timber Treatment for use in the Building to comply with NZS 3602.

All Framing Shall be min. H1.2 treatment and strength grade or SG8 or higher unless specified, refer to the plans for all timber strengths as required.

All Glazing shall comply with NZS 4223 and the Code of Practice for Glazing in Buildings.

Provide WANZ support bars under all Full Height Openings strictly to WANZ WIS Details.

Concrete to be min. 20.0 mPa as per engineers design ready mixed to as per engineers design.

Concrete Construction to as per engineers design.

Reinforcing Bars and Welded Reinforcing Mesh to as per engineers design.

Construct Floor Slabs, DPM, Reinforcing and Saw Cuts to as per engineers design.

DRAWING STAGE:
CONSENT PLAN
-RFI 1-

CONTENTS:
construction details - R

PROJECT STAGE	DATE
Plans for truss design	12.11.2021
Plans for truss design	17.11.2021
Plans for sw tank design	17.11.2021
Plans for Baseup design	14.12.2021
Owner Review	02.06.2022
Plans for Consent Application	04.07.2022
RFI 1	20.07.2022

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SCALE:	refer drawing title	
JOB NO:	SHEET:	DRAWING:
2019-143	30 of 30	A3

Western Bay of Plenty District Council, BC96971. APPROVED. THESE PLANS MUST REMAIN ONSITE.