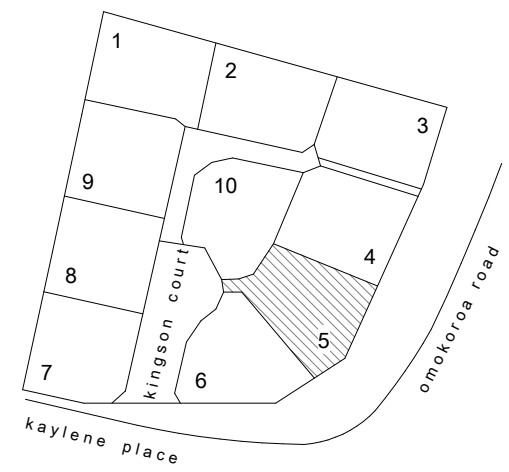
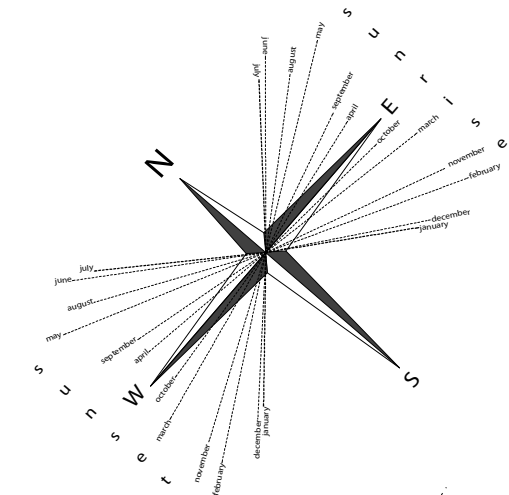




subdivision scheme plan
scale = n.t.s

- NOTE:** all setback dimensions to be checked and confirmed on site prior to commencement of foundations - if any discrepancies contact designer immediately
- NOTE:** ensure all finished ground levels comply with E2-AS1 as detailed once final landscaping requirements have been determined with owner during construction.
- NOTE:** ensure all finished ground levels comply with E2-AS1 as detailed once final landscaping requirements have been determined with owner during construction
- min FFL to paving 150mm
 - min FFL to natural ground 225mm
 - ensure fall away from building as required

Erosion and Sediment Control Measures - Definitions:

divert overland flow path:
divert overland stormwater flow path with site bunding to direct water away from earth works areas

waste and washing:
waste concrete and household paints to be disposed of appropriately and should not be allowed to wash off site

minimise disturbed areas when working:
preserve as much grassed area as possible to reduce sediment discharge and filter sediments from other areas. once grading is complete stabilise soils as soon as possible

install perimeter control barriers:
silt fence or other barrier (straw bale or site bunding etc.) to intercept sediment laden runoff. to work with the site contours provide adequate locations and numbers of perimeter controls to ensure no runoff from site

material stockpiles:
stockpiles to be placed upslope of perimeter controls and covered when not in use

early stormwater drainage:
to avoid localised erosion, connect temporary or permanent down pipes to stormwater system as soon after laying the roof as possible. alternatively, slow and spread the flow from downpipes by placing non-erosive, temporary ground cover (eg. roofing iron sheets) under the down pipes to prevent splash erosion and convey water to turfed areas

temporary construction area:
restrict site access to one entry / exit point. ensure all-weather access is provided in a manner that prevents the access from becoming a source of sediment

SITE COVER CALCULATIONS:		
total floor plan area	=	214.70 sq. meters
external columns or features	=	0.30 sq. meters
total site cover area	=	215.00 sq. meters
net site area (less access way from title plan)	=	610.00 sq. meters
(total site cover area / net site area) x 100	=	35.25% site cover

AREA'S KEY:	
	building footprint area (nett site area)
	site area (excluding accessway)
	outdoor living court (min. 50 sq.m.) with one area of 4m x 3m min. dimensions

= overland flow path

site plan layout - site cover, daylight & management
scale = 1 : 100 @ A1 1:200 @ A3

in conjunction with

JOB DETAILS:

Proposed New Four Bedroom Home
at
4 Kingson Court Omokoroa
for
Kingson Construction Ltd

GENERAL DESIGN NOTES:

Do not scale from plans or details, consult with designer for confirmation if required

Plans to be read in conjunction with the Building Specifications, Bracing Calculations, Truss Designs, Engineering Designs and Specification and Manufacturers Specifications

all building work shall be strictly in accordance with NZS 3604 and The New Zealand Building Code and all relevant Standards and Codes

All works shall satisfy the requirements of E2-AS1 External Moisture

All Changes or Amendments to the Plans or Specifications to be Consulted with Insignia Design & Architecture Ltd prior to commencement

Contractor to confirm all Dimensions, Levels, Boundary Setbacks and Setouts, Service Connections, Locations and Levels, Daylighting and Height Restriction Requirements prior to commencement of works

Consult with Plumbing, Drainage, Electrical and All Required Sub Contractors prior to commencement of construction stages to ensure all applicable works have been completed accordingly and as required.

All Construction Materials and Systems shall be stored, handled and installed strictly to manufacturers specifications and details

Timber and Wood Based Products and Timber Treatment for use in the Building to comply with NZS 3602

All Framing Shall be min. H1.2 treatment and strength grade or SGB or higher unless specified, refer to the plans for all timber strengths as required.

All Glazing shall comply with NZS 4223 and the Code of Practice for Glazing in Buildings.

Provide WANZ support bars under all Full Height Openings strictly to WANZ WIS Details.

Concrete to be min. 20.0 mPa as per engineers design ready mixed to as per engineers design

Concrete Construction to as per engineers design

Reinforcing Bars and Welded Reinforcing Mesh to as per engineers design

Construct Floor Slabs, DPM, Reinforcing and Saw Cuts to as per engineers design

DRAWING STAGE:

CONSENT PLAN

CONTENTS:

- site plan layout -
- site cover, daylight and management

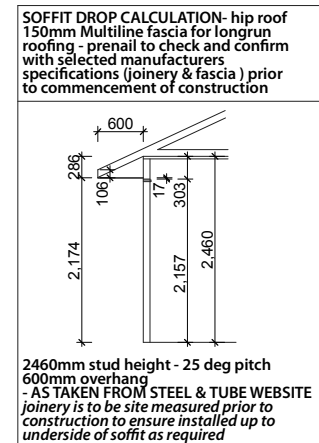
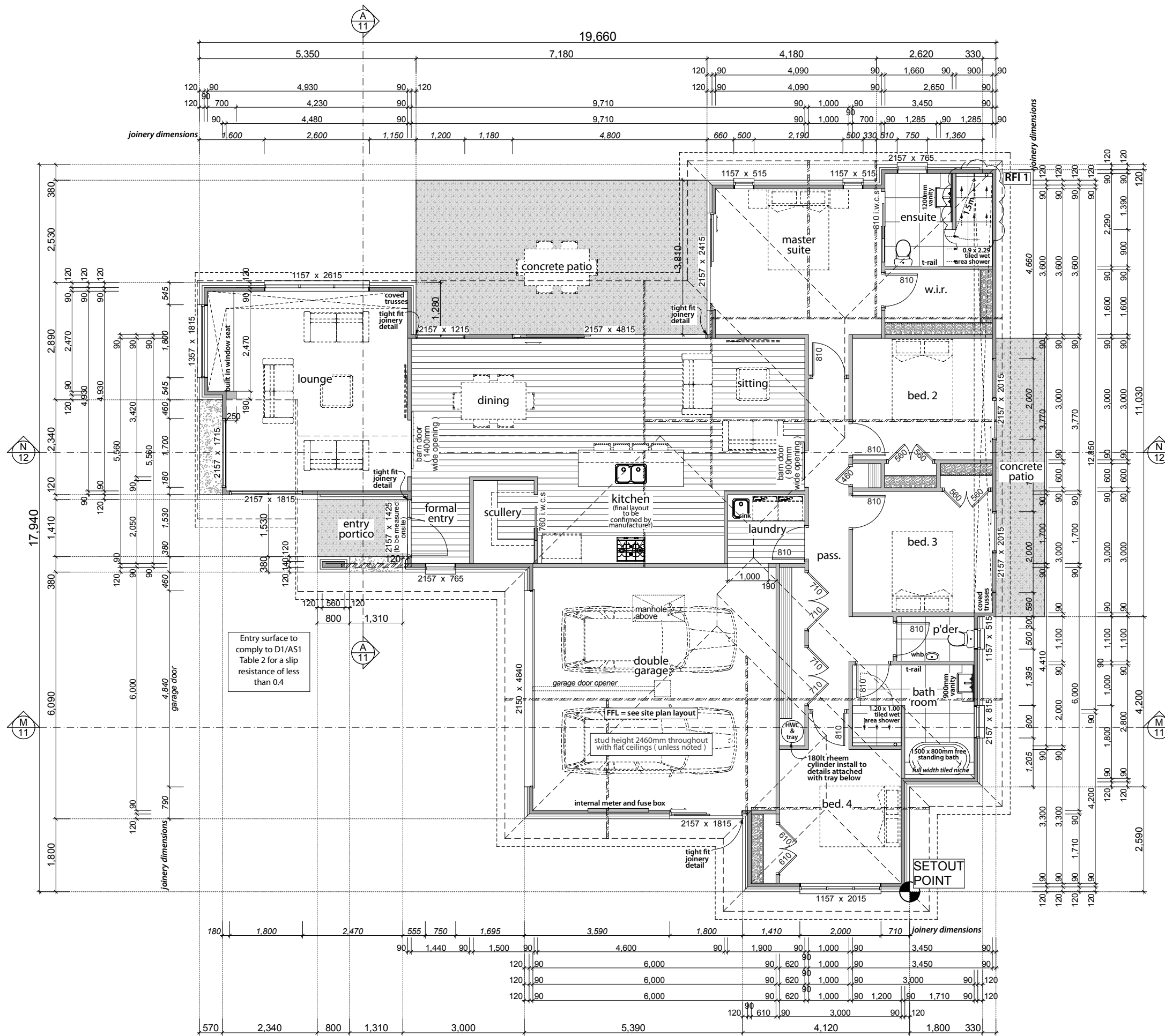
PROJECT STAGE	DATE
Plans for truss design	12.11.2021
Plans for truss design	17.11.2021
Plans for sw tank design	17.11.2021
Plans for Baseup design	14.12.2021
Owner Review	02.06.2022
Plans for Consent Application	04.07.2022

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SCALE:	refer drawing title	
JOB NO:	SHEET:	DRAWING:
2019-143	04 of 30	A3

Western Bay of Plenty District Council, BC96971. APPROVED. THESE PLANS MUST REMAIN ONSITE.



in conjunction with

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DRAWING STAGE:

CONSENT PLAN
-RFI 1-

CONTENTS:

ground floor plan layout - dimensioned

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Plans for truss design	12.11.2021
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SCALE: refer drawing title

JOB NO:	SHEET:	DRAWING:
2019-143	05 of 30	A3

ground floor plan layout - dimensioned
scale = 1 : 50 @ A1 1:100 @ A3

SINGLE LEVEL DWELLING AREA'S : (to outside of framing)	
house floor plan area	= 168.12 sq. meters
garage plan area	= 40.36 sq. meters
total floor plan area	= 208.48sq. meters
outside of foundation plan area	= 214.72 sq. meters
covered entry plan area	= 3.95 sq. meters



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**KINGSON
COURT**

in conjunction with



**Proposed New
Four Bedroom
Home**

at

**4 Kingdon Court
Omokoroa**

for

**Kingson
Construction Ltd**

Table of Contents:

0.	title page / 3D artists impressions	
1.	elevations / risk matrix	
2.	elevations / risk matrix	
3.	site plan layout	
4.	site plan layout - site cover, daylight and management	
5.	ground floor plan layout - dimensioned	
6.	ground floor plan layout - structure / bracing	
7.	ground floor plan layout - drainage	
8.	ground floor plan layout - electrical	
9.	ground floor plan layout - foundations	
10.	ground floor plan layout - roof framing	
11.	cross section	
12.	cross section	
13.	construction details - A	25. construction details - M
14.	construction details - B	26. construction details - N
15.	construction details - C	27. construction details - O
16.	construction details - D	28. construction details - P
17.	construction details - E	29. construction details - Q
18.	construction details - F	30. construction details - R
19.	construction details - G	
20.	construction details - H	
21.	construction details - I	
22.	construction details - J	
23.	construction details - K	
24.	construction details - L	



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CONSENT PLAN
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job number: 2019-143

total pages: 30

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