

## Statement of Information

# Single residential property located in the Melbourne metropolitan area

Section 47AF of the Estate Agents Act 1980

### Property offered for sale

Address  
Including suburb and  
postcode

3 COLEMAN COURT DANDENONG NORTH VIC 3175

### Indicative selling price

For the meaning of this price see [consumer.vic.gov.au/underquoting](http://consumer.vic.gov.au/underquoting) (\*Delete single price or range as applicable)

Single Price

or range  
between

\$630,000

&

\$690,000

### Median sale price

(\*Delete house or unit as applicable)

Median Price

\$760,000

Property type

House

Suburb

Dandenong North

Period-from

01 Aug 2024

to

31 Jul 2025

Source

Cotality

### Comparable property sales (\*Delete A or B below as applicable)

**A\*** These are the three properties sold within two kilometres of the property for sale in the last 6 months that the estate agent or agent's representative considers to be most comparable to the property for sale.

Address of comparable property

Price

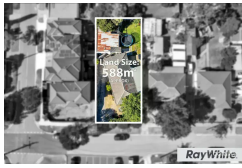
Date of sale

|                                               |           |           |
|-----------------------------------------------|-----------|-----------|
| 12 NICOLE AVENUE DANDENONG NORTH VIC 3175     | \$675,000 | 05-Jul-25 |
| 80 FIRST AVENUE DANDENONG NORTH VIC 3175      | \$740,000 | 24-Jun-25 |
| 80 RAWDON HILL DRIVE DANDENONG NORTH VIC 3175 | \$740,000 | 08-Apr-25 |

OR

**B\*** ~~The estate agent or agent's representative reasonably believes that fewer than three comparable properties were sold within two kilometres of the property for sale in the last 6 months.~~

This Statement of Information was prepared on: 11 August 2025



## 12 NICOLE AVENUE DANDENONG NORTH VIC 3175

4 2 2

Sold Price

<sup>RS</sup> \$675,000

Sold Date

05-Jul-25

Distance

1.27km



## 80 FIRST AVENUE DANDENONG NORTH VIC 3175

4 2 2

Sold Price

<sup>RS</sup> \$740,000 <sup>UN</sup>

Sold Date

24-Jun-25

Distance

0.46km



## 80 RAWDON HILL DRIVE DANDENONG NORTH VIC 3175

4 2 4

Sold Price

\$740,000

Sold Date

08-Apr-25

Distance

1.21km

**RS** = Recent sale

**UN** = Undisclosed Sale

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