

REAL PROPERTY DESCRIPTION:

Lot 46 on SP301345
Site Area: 422.00 m²
Local Authority: LOGAN CC

DRAINAGE:
Soil & Sullage Drainage to Council Sewer in accordance with Water Supply & Sewerage Act & Amendments
Stormwater Drainage to be in accordance with A.S.3500 & Local Authority requirements

NOTES:
All Drainage to comply with B.C.A. Part 3.1.2 Drainage.
Fall finished ground @1:20 for min 1000mm around perimeter of Foundations.
Alternative methods of surface water control to be approved by private Certifier prior to installation.
All Earthworks to be in accordance with B.C.A. Part 3.1.1 OR Engineers Specification.

SITE WORKS:

- ALL CONTOURS AND LEVELS SHOWN SHOULD BE CONFIRMED BY A LICENSED SURVEYOR.
- ALL SURVEY PEGS ARE TO BE LOCATED BEFORE THE COMMENCEMENT OF ANY EARTH WORKS.
- THE SITE IS TO BE PREPARED IN ACCORDANCE WITH THE ENGINEER' REPORT IF APPLICABLE.
- FOUNDATIONS ARE TO BE PREPARED SO THAT FOOTINGS ARE PLACED ON LEVEL, UNDISTURBED MATERIAL.
- THE SITE IS TO BE EXCAVATED AND/OR FILL TO THE LEVELS SHOWN.
- CONSTRUCTION AREA IS TO BE CLEARED OF ALL VEGETATION, TOPSOIL AND UPPER STRATA CONTAINING ORGANIC MATTER.
- GROUND SURFACE IS TO BE SLOPED AWAY FROM THE BUILDING AT A MINIMUM SLOPE OF 1:20 FOR A MINIMUM DISTANCE OF 1000mm, AND TO A POINT WHERE PONDING WILL NOT OCCUR.
- DISH DRAINS, STORMWATER LINES OR AGG PIPES ARE TO BE PROVIDED AS REQUIRED OR INDICATED TO FACILITATE DRAINAGE OF WATER AWAY FROM THE BUILDING.
- ROOFWATER IS TO RUN OFF TO A STREET CHANNEL OR STORMWATER WITH PIPES AS SHOWN ON HYDRAULICS PLAN WITH A MINIMUM FALL OF 1:100 AWAY FROM THE BUILDING.
- ALL DOWN PIPES ARE TO BE CONNECTED TO STORMWATER LINES.
- TEMPORARY DOWN PIPES ARE TO BE PROVIDED AT DOWN PIPE LOCATIONS DURING CONSTRUCTION, TO ALLOW ROOF WATER TO DRAIN ONTO THE GROUND A MINIMUM OF 2m AWAY FROM THE BUILDING.
- ALL DOWNPIPE LOCATIONS, UNDERGROUND SERVICES AND STORMWATER LINE, ETC ARE TO BE LOCATED PRIOR TO CONSTRUCTION.
- ANY SLAB WHICH IS CONSTRUCTED ON EITHER CUT OR FILL, TAPER BATTERS WILL HAVE A MAXIMUM SLOPE OF 1:1 FOR CUT, AND 1:2 FOR FILL.
- ALL VEHICULAR ACCESS AND DRIVEWAY ARE TO HAVE A MAXIMUM SLOPE OF 1:4.
- ANY FENCES OR RETAINING WALLS ARE TO HAVE A MAXIMUM HEIGHT OF 1800mm WHEN PLACED ON A BOUNDARY UNLESS APPROVED OTHERWISE.
- SANITARY DRAINAGE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LOCAL AUTHORITY AND THE HYDRAULIC DRAWINGS OR PLANS PROVIDED BY THEM.
- PRIOR TO EXCAVATION OR CONSTRUCTION ON THE SITE, THE RELEVANT AUTHORITY SHALL BE CONTACTED BY THE BUILDER FOR THE POSSIBLE LOCATION OF FURTHER UNDERGROUND SERVICES.
- ALL WORKS ARE TO COMPLY WITH THE LOCAL AUTHORITY'S EROSION AND SEDIMENT CONTROL STANDARDS.
- EXTERNAL GROUND LEVELS ADJACENT TO THE BUILDING SHALL BE IN ACCORDANCE WITH BCA PART 3.3.2.3.

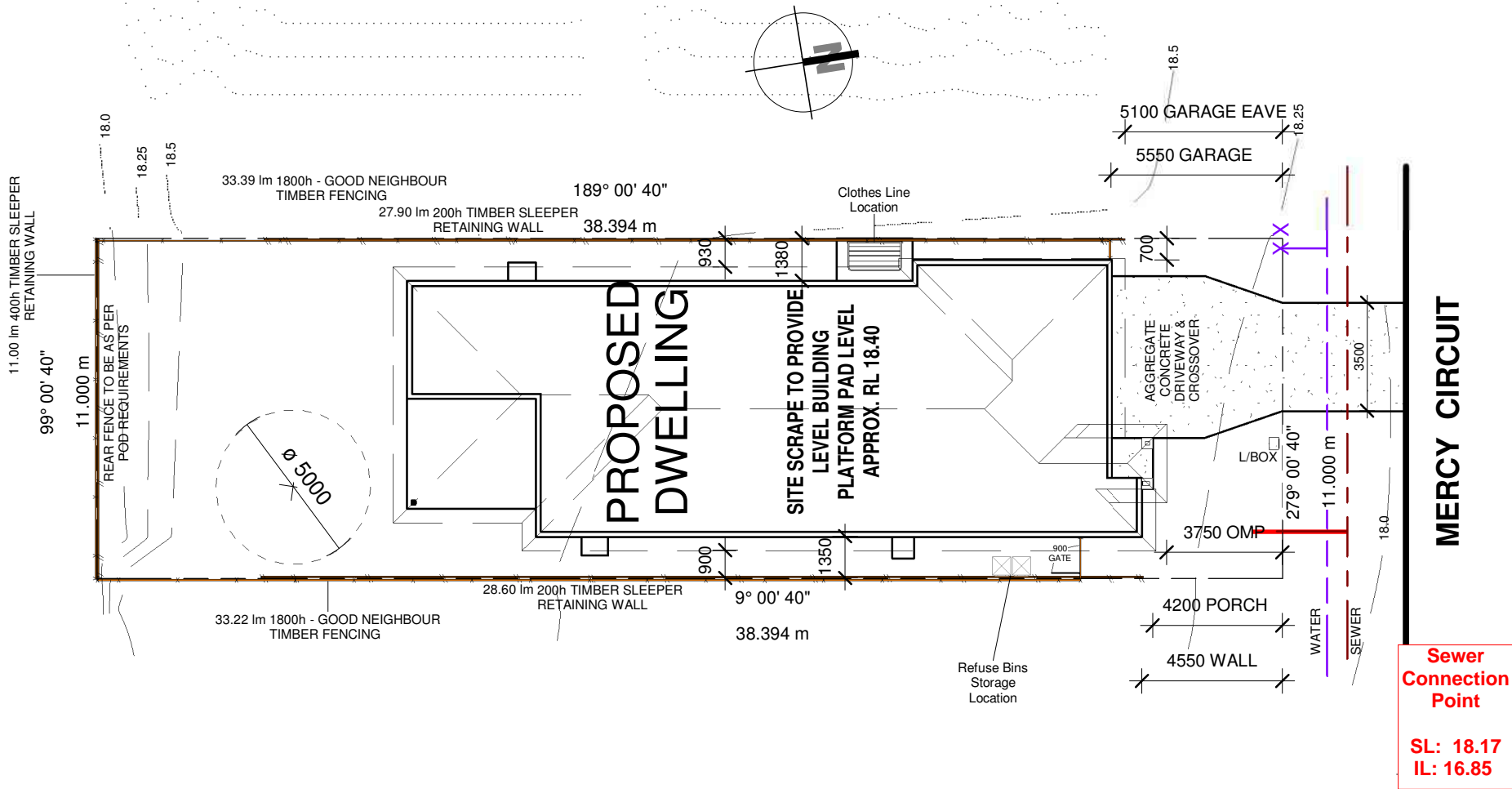
GENERAL NOTES
(APPLICABLE TO ALL DRAWINGS)

- IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE COMPLIANCE WITH THE RELEVANT AUSTRALIAN STANDARDS, RELEVANT LOCAL AUTHORITY CODES & THE BCA.
- TERMITE TREATMENT TO COMPLY WITH AUSTRALIAN STANDARD 3660.1, BCA & RELEVANT LOCAL AUTHORITY CODES.
- HANDRAILS AND BALUSTRADE TO COMPLY WITH THE BCA AND RELEVANT AUSTRALIAN STANDARDS.
- WHERE ITEMS REQUIRED FOR GOOD BUILDING PRACTICE, BUT NOT INCLUDED WITH SPECIFICATIONS OR DRAWINGS AND NOT REFERENCED IN EITHER, CONTRACTOR TO INCLUDE.
- IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO PHYSICALLY LOCATE THE EXTENT OF THE EXISTING SERVICES AND ONSITE FEATURES BOTH ABOVE AND BELOW THE GROUND AND NOTIFY THE PROPRIETOR OF ANY CLASH PRIOR TO CONSTRUCTION.
- ALL FLOOR AREAS SHOWN ARE INDICATIVE ONLY AND MAYBE SUBJECT TO CHANGE DUE TO CONSTRUCTION TOLERANCES.
- THESES DOCUMENTS HAVE BEEN PREPARED FOR THE BUILDING APPROVAL ONLY. CONTRACTOR TO CHECK DRAWINGS AND NOTIFY THE AUTHOR OF ANY DISCREPANCIES.
- CONTRACTOR TO PREPARE ADDITIONAL CONSTRUCTION DRAWINGS AND CONSTRUCTION DETAILS AS IS DEEMED NECESSARY.
- ALL WINDOWS TO HAVE CLEAR GLAZING UNLESS OTHERWISE SPECIFIED. LAMINATED GLAZING TO WET AREA WINDOWS TO AS1288-2006.
- WC DOOR TO BE REMOVABLE AND FITTED WITH LIFT OFF HINGES WHERE REQUIRED AS PER BCA PART 3.8.3.3.
- WATERPROOFING TO WET AREAS TO COMPLY WITH AS3740.

All construction to comply with the Building Code of Australia Vol 2 - 2019

Construction to comply with Cyber Energy energy efficiency assessment certificate ref. no: 0004385043

Reference Document for Building Approval
This document is referenced in making the decision to approve BA# 526/19




AREA SCHEDULE - Site...	
Gross Building Area	176.427 m²
Exterior Area	16.565 m²

AREA SCHEDULE	
GARAGE	37.72 m²
LIVING	138.70 m²
TOTAL HABITABLE AREAS	176.43 m²
PORCH	1.76 m²
ALFRESCO	14.81 m²
TOTAL OPEN ELEMENTS	16.56 m²
TOTAL FLOOR AREA	192.99 m²

SITE COVER			
SITE AREA :	422.00 m²	ACTUAL	REQUIRED
HABITABLE AREA :	176.43 m²	41.81 %	60 %
OPEN ELEMENTS:	16.56 m²	3.92 %	10 %
TOTAL SITE COVERAGE :	192.99 m²	45.73 %	

1 Site Plan
1 : 200

SITE INFORMATION
NOTE: CONCEPT DESIGN PREPARED PRIOR TO ACCURATE SITING INFORMATION BEING PROVIDED
ALL RETAINING AND SERVICES LOCATIONS NOTED ARE SUBJECT TO CHANGE WHEN THIS INFORMATION IS AVAILABLE. DESIGN &/OR ALLOWANCES ARE SUBJECT TO CHANGE IF REQUIRED

<p>© COPYRIGHT 2019</p> <p>This drawing is copyright, and cannot be reproduced in whole or in part by any medium without the written permission of Sunvista Homes Pty Ltd.</p> <p>The Licensed Builder retains sole authority & responsibility for the use of these drawings.</p> <p>Apex CC</p>	<p>SUNVISTA HOMES Unit 3/211 Leitchs Rd Brendale P.O.Box 6022 Brendale Qld 4500 Ph: 07 3205 3325 Fax: 07 3205 3327 ABN: 94482383824 QBCC Lic: 1033413</p> 	<p>ALL LEVELS TO BE CONFIRMED BY BUILDER ON SITE PRIOR TO CONSTRUCTION</p> <p>SUBJECT TO COVENANT & LOCAL GOVT. APPROVAL. ALL SETBACKS TBC ON SITE</p>	<p>WORKING DRAWINGS</p> <table><tr><th>Rev.</th><th>Date</th><th>Description</th><th>Iss.</th></tr><tr><td>A</td><td></td><td></td><td></td></tr></table>	Rev.	Date	Description	Iss.	A				<p>Drawing Title: Site Plan</p> <p>Proposed Residence for: New Client At : Lot 46 Mercy Cct, Park Ridge The Ridge Estate</p> <table><tr><td>Facade Type: 4</td><td>Colour Selection:</td><td>Landscape Selection:</td></tr></table>	Facade Type: 4	Colour Selection:	Landscape Selection:	<table><tr><td>Date: 2.12.19</td><td>Drawing No. 19363</td></tr><tr><td colspan="2">Design Name: HAVEN - 171 mod</td></tr><tr><td>Drawn: CW</td><td>Sheet No. 01</td></tr></table>	Date: 2.12.19	Drawing No. 19363	Design Name: HAVEN - 171 mod		Drawn: CW	Sheet No. 01
Rev.	Date	Description	Iss.																			
A																						
Facade Type: 4	Colour Selection:	Landscape Selection:																				
Date: 2.12.19	Drawing No. 19363																					
Design Name: HAVEN - 171 mod																						
Drawn: CW	Sheet No. 01																					

ALUMINIUM FRAMED WINDOWS AND DOORS
INSTALLED TO MANUF' SPEC.

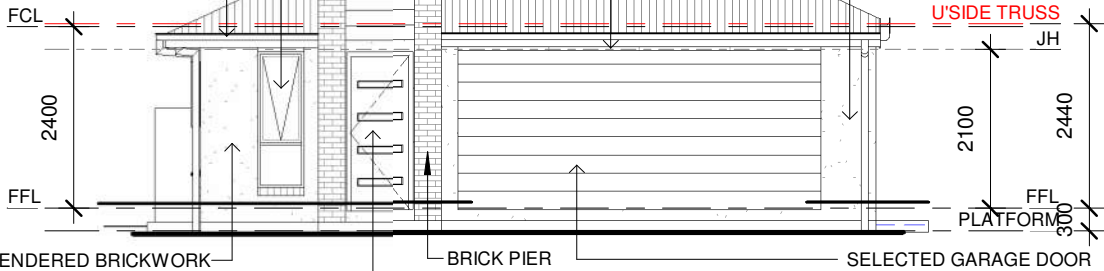
CORRIGATED METAL ROOF SHEETING FIXED
TO MANUFACTURERS SPECIFICATION

FC SHEET CLADDING IN SELECTED PAINTED
METAL FASCIA AND GUTTERS

CORRIGATED METAL ROOF SHEETING FIXED
TO MANUFACTURERS SPECIFICATION

METAL FASCIA AND GUTTERS

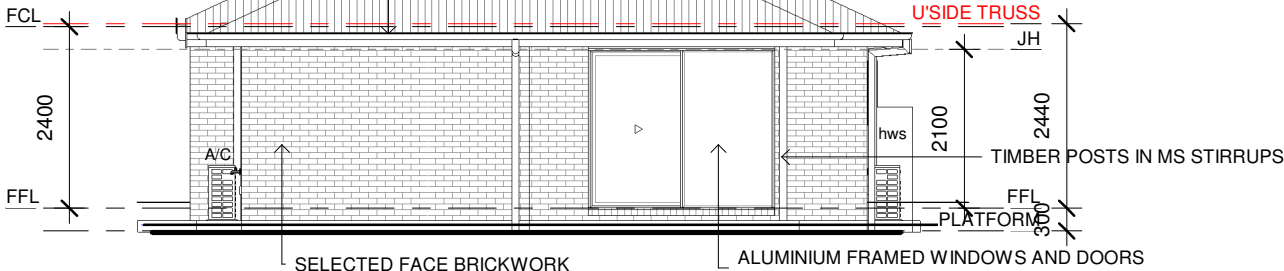
RENDERED BRICKWORK



Front Elevation

1

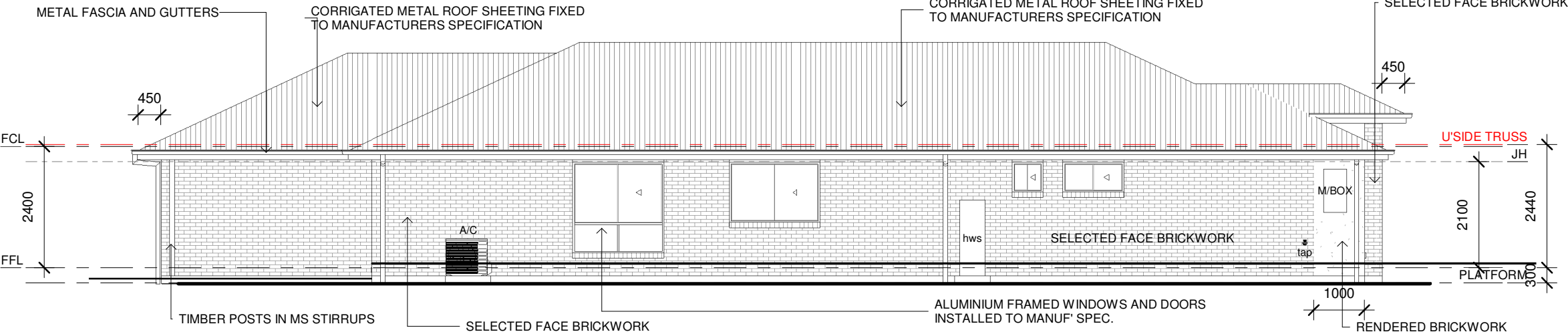
1 : 100



Rear Elevation

3

1 : 100

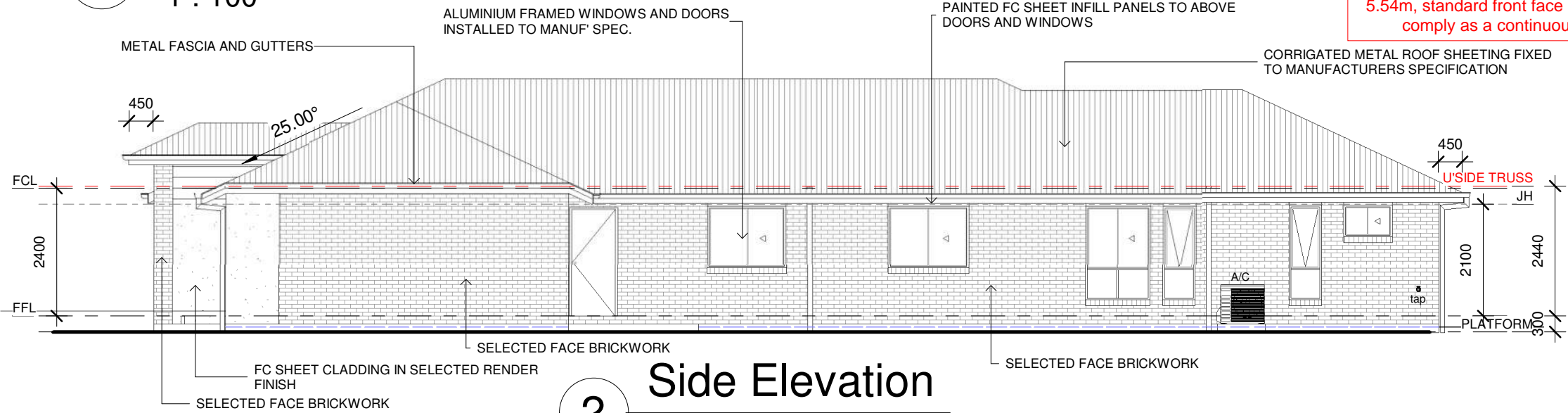


Side Elevation.

4

1 : 100

Gutter overflow capacity to comply with either BCA
Volume 2 - 2019 Part 3.5.3 - Table 3.5.3.3a or 3.5.3.3b.
Please note where the ridge to gutter length exceeds
5.54m, standard front face slotted guttering does not
comply as a continuous overflow measure.



Side Elevation

2

1 : 100

DOWNPIPE SCHEDULE

Level	QUANTITY
FFL	7
Total :	7

SITE INFORMATION

NOTE: CONCEPT DESIGN PREPARED
PRIOR TO ACCURATE SITING
INFORMATION BEING PROVIDED

ALL RETAINING AND SERVICES
LOCATIONS NOTED ARE SUBJECT TO
CHANGE WHEN THIS INFORMATION IS
AVAILABLE. DESIGN &/OR ALLOWANCES
ARE SUBJECT TO CHANGE IF REQUIRED

© COPYRIGHT 2019

This drawing is copyright, and cannot be
reproduced in whole or in part by any medium
without the written permission of
Sunvista Homes Pty Ltd.
The Licensed Builder retains sole authority &
responsibility for the use of these drawings.

SUNVISTA HOMES
Unit 3/211 Leitchs Rd
Brendale
P.O.Box 6022
Brendale
Qld 4500
Ph: 07 3205 3325
Fax: 07 3205 3327
ABN: 9448238324
QBCC Lic: 1033413



ALL LEVELS TO BE CONFIRMED BY BUILDER
ON SITE PRIOR TO CONSTRUCTION
SUBJECT TO COVENANT & LOCAL GOVT.
APPROVAL. ALL SETBACKS TBC ON SITE

WORKING DRAWINGS

Rev.	Date	Description	Iss.
A			

Drawing Title:
Elevations

Proposed Residence for: New Client
At : Lot 46 Mercy Cct, Park Ridge
The Ridge Estate

Facade Type: 4 Colour Selection: Landscape Selection:

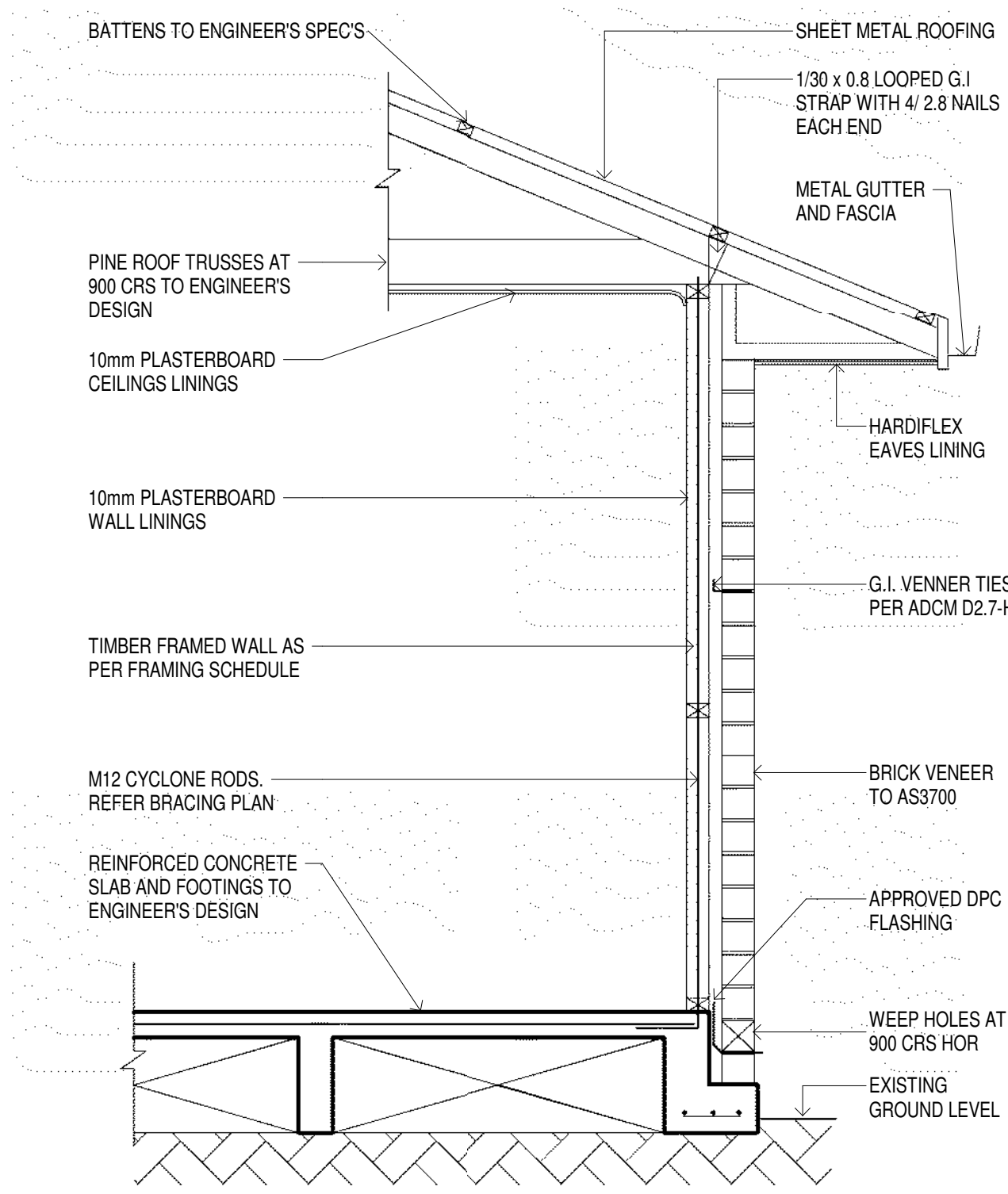
Date:
2.12.19

Drawing No.
19363

Design Name:
HAVEN - 171 mod

Drawn:
CW

Sheet No.
03



5 Typical Section Detail
1 : 20

TERMITE PROTECTION:
PROVIDE TERMITE PROTECTION IN ACCORDANCE WITH AS3660.1 REQUIREMENTS AND NCC 2019.
PROVIDE MIN 75MM CLEARANCE TO UNDERSIDE OF TIMBER POSTS FOR VISUAL TERMITE INSPECTION IN ACCORDANCE WITH NCC 2019 & AS3660.1 REQUIREMENTS

CONSTRUCTION NOTES:
1. THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE TENDER DOCUMENTS AND SCHEDULE OF FINISHES. THE TENDER DOCUMENTS ARE TO TAKE PRECEDENCE OVER THE DRAWINGS. ANY DISCREPANCY TO BE REFERRED TO THE AUTHOR.
2. ALL CONSTRUCTION METHODS TO BE IN ACCORDANCE WITH THE NCC 2019 AND ALL RELEVANT STANDARDS.
3. LEVELS ARE APPROXIMATE UNLESS ACCOMPANIED BY REDUCED LEVELS BY A REGISTERED SURVEYOR.
4. ALL WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALE. DO NOT SCALE PLANS
5. ALL BOUNDARY CLEARANCES MUST BE VERIFIED BY THE SURVEYOR PRIOR TO COMMENCEMENT OF ANY BUILDING WORKS.
6. WHERE ENGINEERING OR HYDRAULIC DRAWINGS ARE REQUIRED, SUCH MUST TAKE PRECEDENCE TO THIS DRAWINGS.
7. STORMWATER TO BE CONNECTED AND DISCHARGED TO COUNCIL'S SEWER REQUIREMENTS AND TO AS3500.3 1990
8. ALL SERVICES TO BE LOCATED AND VERIFIED BY THE BUILDER WITH THE RELEVANT AUTHORITIES PRIOR TO THE COMMENCEMENT OF ANY WORKS.

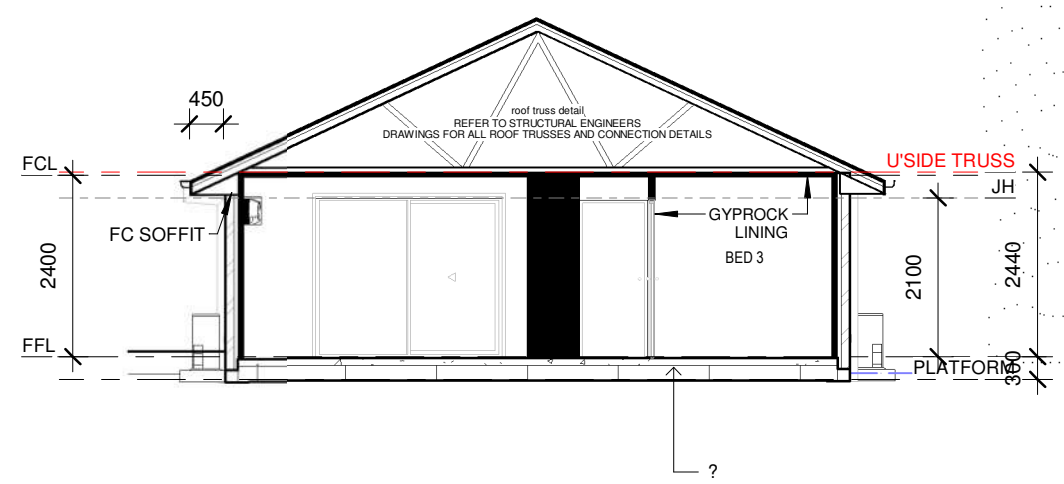
SUSTAINABLE HOUSING REQUIREMENTS
DWELLINGS TO COMPLY WITH QDC MP4.1 & MP4.2.
BACKFLOW PREVENTION DEVICE TO AS/NZS 3500-2003.
3 STAR WELS SHOWER ROSE TO NEW AND EXISTING FACILITIES.
4 STAR WELS DUAL FLUSH TOILETS TO NEW AND EXISTING FACILITIES.
3 STAR WELS TAPS TO LAUNDRY TUBS, KITCHEN SINKS & BASINS IN THE NEW FACILITIES.
HOT WATER SYSTEM TO COMPLY WITH THE QLD PLUMBING & WASTEWATER CODE.
ENERGY EFFICIENT LIGHTING TO 80% OF FIXED INTERNAL LIGHTING.
ALL EXHAUST FANS TO BE DISCHARGED TO OUTDOOR AIR IN ACCORDANCE WITH BCA Vol 2 - 2019 Part 3.8.7.3 (b)(i)

Reference Document for
Building Approval
apexcc
This document is referenced in making
the decision to approve BA# 526/19

FRAME - 70mm (UNLESS NOTED OTHERWISE)
WET AREAS IN ACCORDANCE WITH BCA VOLUME 2.


TERMITE PROTECTION AS PER SPECIFICATION

REFER TO STRUCTURAL ENGINEERS' DRAWINGS REQUIREMENTS FOR ALL SLAB REQUIREMENTS



1 Section
1 : 100

SITE INFORMATION
NOTE: CONCEPT DESIGN PREPARED PRIOR TO ACCURATE SITING INFORMATION BEING PROVIDED
ALL RETAINING AND SERVICES LOCATIONS NOTED ARE SUBJECT TO CHANGE WHEN THIS INFORMATION IS AVAILABLE. DESIGN &/OR ALLOWANCES ARE SUBJECT TO CHANGE IF REQUIRED

<div>© COPYRIGHT 2019</div> <div>This drawing is copyright, and cannot be reproduced in whole or in part or by any medium without the written permission of Sunvista Homes Pty Ltd.</div> <div>The Licensed Builder retains sole authority & responsibility for the use of these drawings.</div>		<div>SUNVISTA HOMES</div> <div>Unit 3/211 Leitchs Rd</div> <div>Brendale</div> <div>P.O.Box 6022</div> <div>Brendale</div> <div>Qld 4500</div> <div>Ph: 07 3205 3325</div> <div>Fax: 07 3205 3327</div> <div>ABN: 94482383824</div> <div>QBCC Lic: 1033413</div>	<div></div> <div>SUNVISTA HOMES</div> <div>HOMES FOR THE FUTURE</div>	<div>ALL LEVELS TO BE CONFIRMED BY BUILDER ON SITE PRIOR TO CONSTRUCTION</div> <div>SUBJECT TO COVENANT & LOCAL GOVT. APPROVAL. ALL SETBACKS TBC ON SITE</div>	<div>WORKING DRAWINGS</div> <table><tr><td>Rev.</td><td>Date</td><td>Description</td><td>Iss.</td></tr><tr><td>A</td><td></td><td></td><td></td></tr></table>				Rev.	Date	Description	Iss.	A				<div>Drawing Title:</div> <div>Section</div> <div>Proposed Residence for: New Client</div> <div>At : Lot 46 Mercy Cct, Park Ridge</div> <div>The Ridge Estate</div> <table><tr><td>Facade Type:</td><td>Colour Selection:</td><td>Landscape Selection:</td></tr><tr><td>4</td><td></td><td></td></tr></table>			Facade Type:	Colour Selection:	Landscape Selection:	4			<div>Date:</div> <div>2.12.19</div>	<div>Drawing No.</div> <div>19363</div>
Rev.	Date	Description	Iss.																								
A																											
Facade Type:	Colour Selection:	Landscape Selection:																									
4																											
Apex CC					<div>Design Name:</div> <div>HAVEN - 171 mod</div>			<div>Drawn:</div> <div>CW</div>	<div>Sheet No.</div> <div>04</div>																		

SMOKE ALARMS NOTES

DWELLING SMOKE ALARMS TO BE INSTALLED IN ACCORDANCE WITH THE QUEENSLAND BUILDING REGULATION 2006 PART 3A


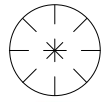









































Placement of smoke alarms to be in accordance with the Queensland Building Regulation 2006 Part 3A Section 13AD -















For section 13AC(1), the place a smoke alarm is installed—

- (a) must be on—
- (i) if it is practicable to mount a smoke alarm on a ceiling—the ceiling; or
- (ii) if subparagraph (i) does not apply and an exposed joist or beam has a depth of no more than 300mm when measured from the ceiling—the underside of the exposed joist or beam; or
- (iii) otherwise—a wall in an area that is between 100mm and 300mm from the ceiling and more than 300mm from the corner of 2 walls; and
- (b) if the smoke alarm is installed on a ceiling that slopes - must be in an area of the ceiling that is between 500mm and 1500mm from the apex of the ceiling; or
- (c) must not be—
- (i) within 300mm of a light fitting; and
- (ii) if the smoke alarm is installed on a ceiling—within 300mm of a corner of the ceiling and a wall; and
- (iii) if the smoke alarm is installed in a stairwell - where smoke rising in the stairwell will not reach the smoke alarm because of an obstruction; and
- (iv) within 400mm of an opening from which air is supplied from an air conditioner or forced air ventilation; and
- (v) within 400mm of the blades of a ceiling fan.

ITEM	LEVEL	TOTAL
SMOKE ALARM	FFL	6
TOTAL		6

ELECTRICAL LEGEND

	EXHAUST FAN SWITCHED WITH LIGHT		CEILING FAN
	EXHAUST FAN		THERMOSTAT
	FAN / LIGHT / HEATER		CEILING DUCT
	TELEPHONE POINT 200 AFL		DATA POINT 200 AFL
	TELEPHONE POINT @ NOMINATED AFL		JUNCTION BOX- WALL MOUNTED 1000 AFL
	TELEVISION POINT 200 AFL		WHITE DOWNLIGHTS (LED)
	TELEVISION POINT @ NOMINATED AFL		SMALL WHITE DOWNLIGHTS (LED)
	DIMMER SWITCH		BATTEN
	SMOKE ALARM		BATTEN & COMPACT FLURO
	METER BOX		ROUND FLURO
	(2 Way) 2 WAY SWITCH		30cm OYSTER LIGHT (FLURO)
	TRACK LIGHT - 2 LIGHT		WALL LIGHT (INTERNAL)
	TRACK LIGHT - 3 LIGHT		WALL LIGHT (INTERNAL - STEP LIGHT)
	WALL MOUNTED FLOOD LIGHT		WALL LIGHT (EXTERNAL - UP/DOWN ONLY)
	EAVE MOUNTED FLOOD LIGHT		GAS CONNECTION POINT
	WALL MOUNTED DOUBLE FLOOD LIGHT		PENDANT LIGHT (SUPPLIED BY CLIENT)
	EAVE MOUNTED DOUBLE FLOOD LIGHT		GAS HOT WATER UNIT
	WALL MOUNTED DOUBLE FLOOD LIGHT WITH SENSOR		ELECTRIC HOT WATER SYSTEM
	EAVE MOUNTED DOUBLE FLOOD LIGHT WITH SENSOR		ISOLATING SWITCH 1000 AFL
	DOUBLE FLUORESCENT LIGHT		EXTERNAL GAS CONNECTION POINT
	SINGLE FLUORESCENT LIGHT		DOORBELL VIDEO/MONITOR LOCATION
			LED STRIP LIGHT

GPO	DBL GPO	MEASURED TO BOTTOM PLATE	LIGHT SWITCHES TO BE APPROXIMATE 1300 AFL	
		300 AFL	Locations of all Electrical Outlets, Switching and Lighting are Approximate and are to be Determined on Site by Electrical Contractor	
		1000 AFL		
		1300 AFL		
		1500 AFL	Air Conditioning Outlets and Return Air Grill (if applicable) to be determined by Air Conditioning Specialist on Site.	
		1600 AFL	HWS,GHW & A/C Condenser height to be determined onsite	
		2000 AFL	GPO	DBL GPO
		CEILING MOUNTED	EXTERNAL MEASURED TO BOTTOM PLATE	EXTERNAL 200 AFL
			1000	1000
			EXTERNAL @ NOMINATED AFL	EXTERNAL @ NOMINATED AFL
			4 in 1	4in1 GPO 200 AFL

ELECTRICAL SCHEDULE

GPO TYPE	QUANTITY
Data point	2
DGPO 300	10
DGPO 1000	6
DGPO 1300	1
EXT DGPO	1
Phone Point	1
SGPO 300	2
SGPO 1300	1
SGPO 2000	1
SGPO CEILING MOUNTED	1
TV Point	2

LIGHTING SCHEDULE

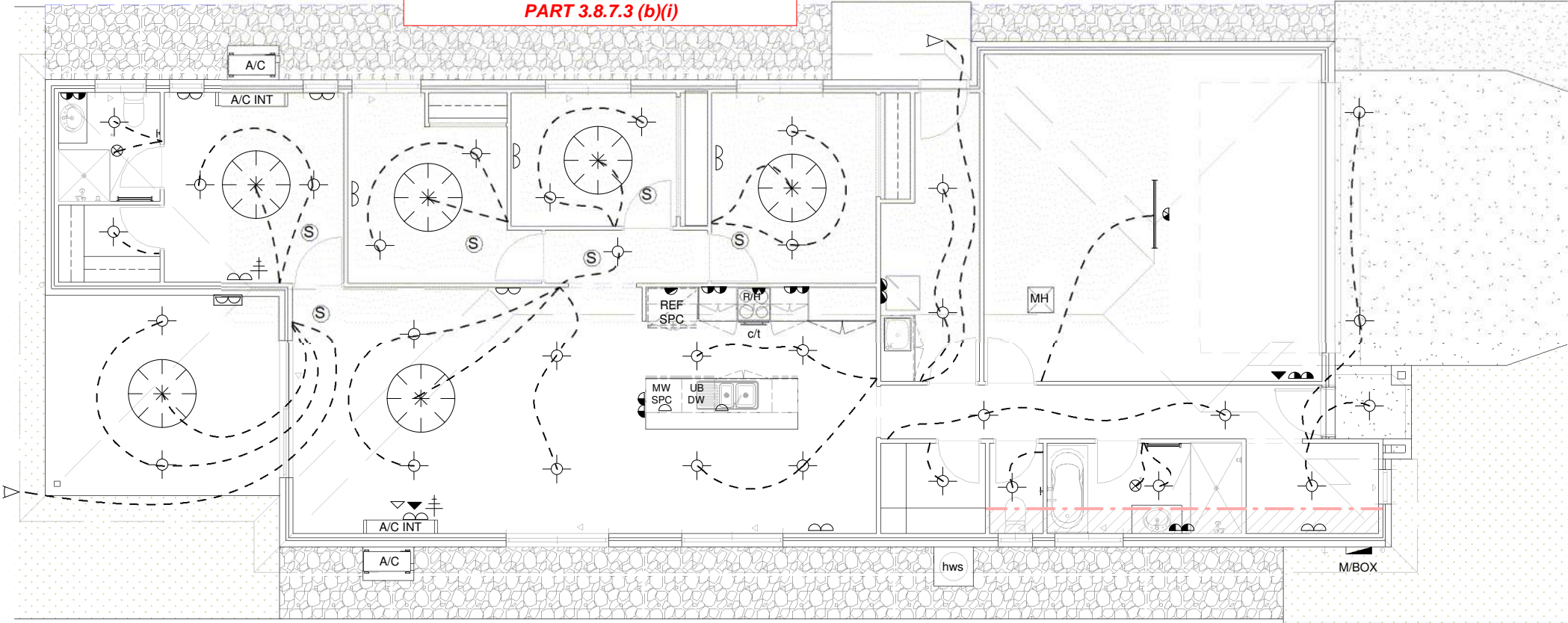
LIGHT TYPE	QUANTITY
1200 Double Fluro	1
Ceiling Fan	6
Eave Mounted Flood Light	2
Exhaust Fan	2
LED Downlight	32

Construction to comply with
Cyber Energy energy efficiency
assessment certificate ref. no:
0004385043

Reference Document for
Building Approval

apexcc
This document is referenced in making
the decision to approve BA# 526/19

ALL EXHAUST FANS TO BE DISCHARGED
TO OUTDOOR AIR VIA DUCTWORK IN
ACCORDANCE WITH BCA VOL. 2 - 2019 -
PART 3.8.7.3 (b)(i)



1 Electrical
1 : 100

SITE INFORMATION

NOTE: CONCEPT DESIGN PREPARED
PRIOR TO ACCURATE SITING
INFORMATION BEING PROVIDED
ALL RETAINING AND SERVICES
LOCATIONS NOTED ARE SUBJECT TO
CHANGE WHEN THIS INFORMATION IS
AVAILABLE. DESIGN &/OR ALLOWANCES
ARE SUBJECT TO CHANGE IF REQUIRED

© COPYRIGHT 2019

This drawing is copyright, and cannot be reproduced in whole or in part by any medium without the written permission of Sunvista Homes Pty Ltd.
The Licensed Builder retains sole authority & responsibility for the use of these drawings.

SUNVISTA HOMES
Unit 3/211 Leitchs Rd
Brendale
P.O.Box 6022
Brendale
Qld 4500
Ph: 07 3205 3325
Fax: 07 3205 3327
ABN: 9448238324
QBCC Lic: 1033413



ALL LEVELS TO BE CONFIRMED BY BUILDER
ON SITE PRIOR TO CONSTRUCTION
SUBJECT TO COVENANT & LOCAL GOVT.
APPROVAL. ALL SETBACKS.TBC ON SITE

WORKING DRAWINGS

Rev.	Date	Description	Iss.
A			

Drawing Title:

Electrical

Proposed Residence for: New Client
At : Lot 46 Mercy Cct, Park Ridge
The Ridge Estate

Facade Type:

4

Colour Selection:

Landscape Selection:

Date:

2.12.19

Drawing No.

19363

Design Name:

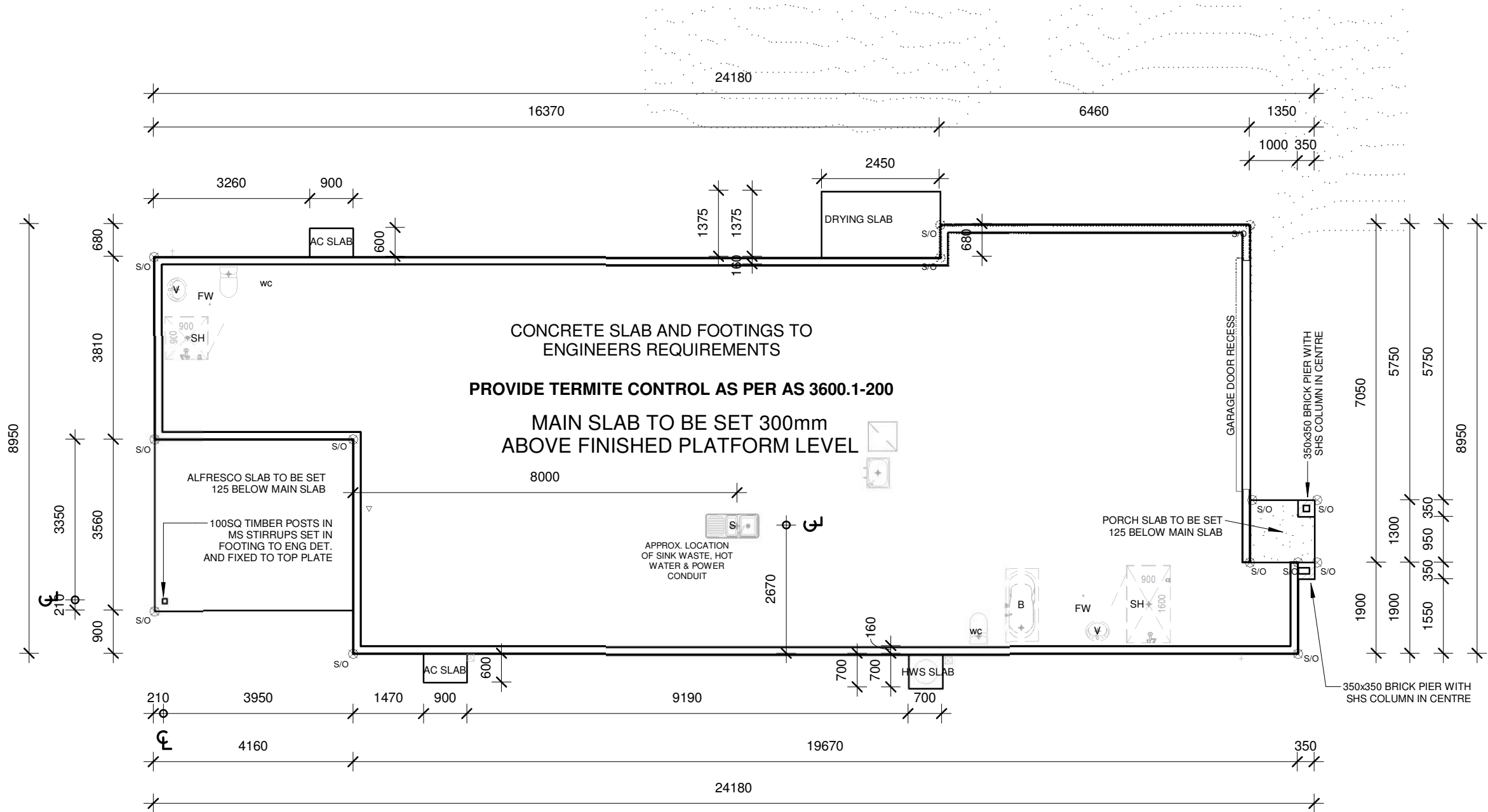
HAVEN - 171 mod

Drawn:

CW

Sheet No.

05



Foundation

1 : 100

Plumbing Fixtures	
BATHTUB	1
EXT. HOSECOCK	2
FLOOR WASTE	2
KITCHEN SINK	1
LAUNDRY TUB	1
SHOWER	2
VANITY BASIN	2
WC	2
TOTAL	13

Reference Document for Building Approval

apexcc

This document is referenced in making the decision to approve BA# 526/19

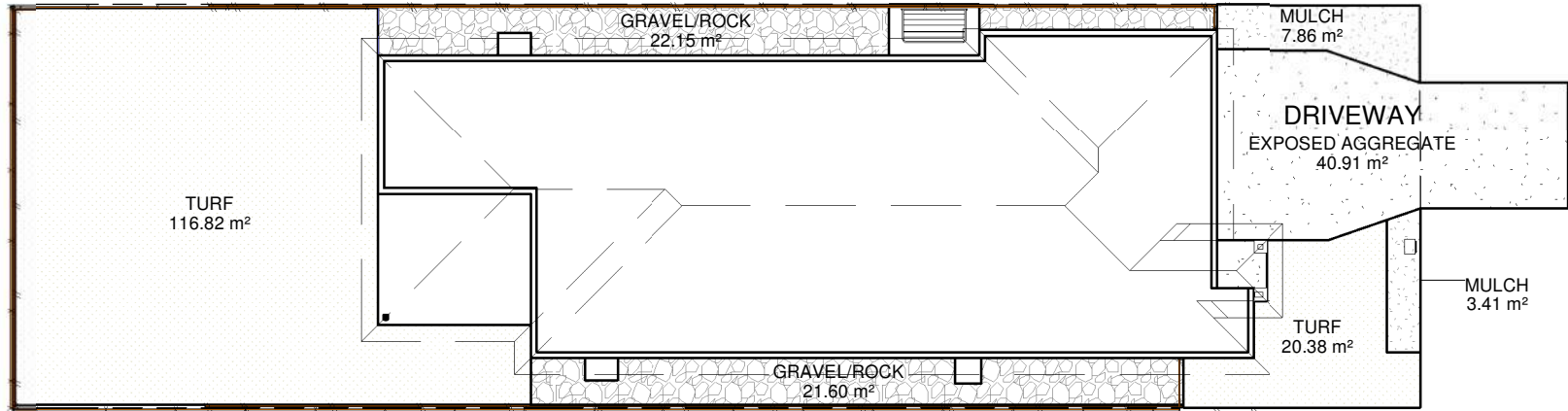
SITE INFORMATION

NOTE: CONCEPT DESIGN PREPARED PRIOR TO ACCURATE SITING INFORMATION BEING PROVIDED

ALL RETAINING AND SERVICES LOCATIONS NOTED ARE SUBJECT TO CHANGE WHEN THIS INFORMATION IS AVAILABLE. DESIGN &/OR ALLOWANCES ARE SUBJECT TO CHANGE IF REQUIRED

SETOUT POINTS	
Slab Setout Point	14

© COPYRIGHT 2019 This drawing is copyright, and cannot be reproduced in whole or in part by any medium without the written permission of Sunvista Homes Pty Ltd. The Licensed Builder retains sole authority & responsibility for the use of these drawings.		SUNVISTA HOMES Unit 3/211 Leitchs Rd Brendale P.O.Box 6022 Brendale Qld 4500 Ph: 07 3205 3325 Fax: 07 3205 3327 ABN: 94482383824 QBCC Lic: 1033413		HOMES FOR THE FUTURE		ALL LEVELS TO BE CONFIRMED BY BUILDER ON SITE PRIOR TO CONSTRUCTION SUBJECT TO COVENANT & LOCAL GOVT. APPROVAL. ALL SETBACKS TBC ON SITE		WORKING DRAWINGS		Drawing Title: Foundation		Date: 2.12.19	Drawing No. 19363
Apex CC										Proposed Residence for: New Client At : Lot 46 Mercy Cct, Park Ridge The Ridge Estate		Design Name: HAVEN - 171 mod	
										Facade Type: 4		Colour Selection:	Sheet No. 06
										Landscape Selection:		Drawn: CW	



1

External Works_

1 : 200

Reference Document for
Building Approval

apexcc

This document is referenced in making
the decision to approve BA# 526/19

GENERAL LANDSCAPING NOTES

PLANTS & PLANTING
ALL PLANTS SHALL BE HEALTHY AND DISEASE FREE SPECIMENS. REFER TO PLANTING SCHEDULE FOR POT DIAMETER AND SIZE OF PLANT WHEN FULLY MATURED. OVER EXCAVATE ALL PLANT HOLES TO AT LEAST TWICE THE POT SIZE DIAMETER AND DEPTHS. APPLY OSMOCOTE FERTILISER TO EACH PLANT HOLE AVOIDING DIRECT ROOT CONTACT WITH FERTILISER. APPLY AS PER MANUFACTURERS INSTRUCTIONS. THOUROUGHLY WATER IN PLANTS AT PLANTING. STAKE ALL TREES AND LARGE SHRUBS WITH HW STAKES OF SUFFICIENT SIZE TO ENABLE SECURE TIES OF FLEXIBLE RUBBER, CANVAS OR HESSIAN ALONG THE STEM OF THE PLANTS.

CULTIVATION
REMOVE BUILDERS DEBRIS BY MECHANICAL MEANS PRIOR TO THE COMMENCEMENT OF LANDSCAPING

LAWN
TO AREAS OF GRASS TOP SOIL SHALL BE LIGHTLY ROLLED TO A COMPACTED DEPTH OF 100mm

MULCH
SPREAD SHREDDED PINE AS A 100mm LAYER ABOVE TOP SOIL LEVEL SEEK APPROVAL OF MULCH SAMPLE INTENDED FOR USE AT THE TIME OF TENDERING.
NOTE: IN HEAVY CLAY SOILS APPLY GYPSUM AT A RATE OF 2kg/m2. BREAK UP SOIL BELOW THE PLANTING HOLE. APPLY 1/2 A BUCKET OF WATER IMMEDIATELY AFTER PLANTING.

PLANTING SCHEDULE			
	Type	Pot Size	Count
	CORDYLINE	300mm	4
	DRACAENA	300mm	3
	DIETES	140mm	5

EXTERNAL WORKS SCHEDULE	
FINISH	AREA
GRAVEL/ROCK	43.75 m²
MULCH	11.27 m²
TURF	137.19 m²

FENCING AND RETAINING SCHEDULE	
TYPE	LENGTH (lm)
200h TIMBER SLEEPER	56.50 m
400h TIMBER SLEEPER	11.00 m
RETAINING WALL	67.50 m
1800h - GOOD NEIGHBOUR	77.63 m
TIMBER FENCING	77.63 m

SITE INFORMATION

NOTE: CONCEPT DESIGN PREPARED PRIOR TO ACCURATE SITING INFORMATION BEING PROVIDED

ALL RETAINING AND SERVICES LOCATIONS NOTED ARE SUBJECT TO CHANGE WHEN THIS INFORMATION IS AVAILABLE. DESIGN &/OR ALLOWANCES ARE SUBJECT TO CHANGE IF REQUIRED

© COPYRIGHT 2019

This drawing is copyright, and cannot be reproduced in whole or in part by any medium without the written permission of Sunvista Homes Pty Ltd.
The Licensed Builder retains sole authority & responsibility for the use of these drawings.

Apex CC

SUNVISTA HOMES

HOMES FOR THE FUTURE

Unit 3/211 Leitchs Rd
Brendale
P.O.Box 6022
Brendale
Qld 4500
Ph: 07 3205 3325
Fax: 07 3205 3327
ABN: 94482383824
QBCC Lic: 1033413

ALL LEVELS TO BE CONFIRMED BY BUILDER ON SITE PRIOR TO CONSTRUCTION
SUBJECT TO COVENANT & LOCAL GOVT. APPROVAL. ALL SETBACKS TBC ON SITE

WORKING DRAWINGS

Rev.	Date	Description	Iss.

Drawing Title:
External Works

Proposed Residence for: New Client
At : Lot 46 Mercy Cct, Park Ridge
The Ridge Estate

Facade Type:
4

Colour Selection:

Landscape Selection:

Date:
2.12.19

Drawing No.
19363

Design Name:
HAVEN - 171 mod

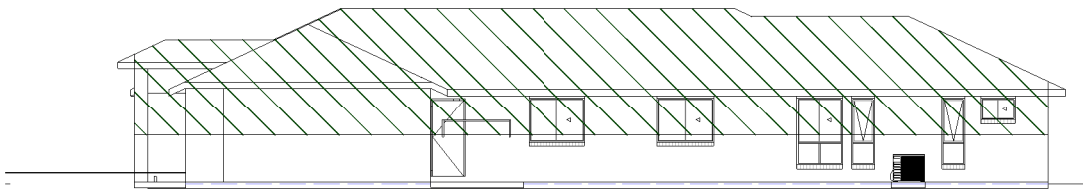
Drawn:
CW

Sheet No.
07

Z:\Documents\DRAWING\Jobs\19363 - L46 Mercy Circuit, Park Ridge (The Ridge Estate) - PLAN CORP\Plans\Working Drawings\WD_-_L46 Mercy Cct, Park Ridge 19363.rvt

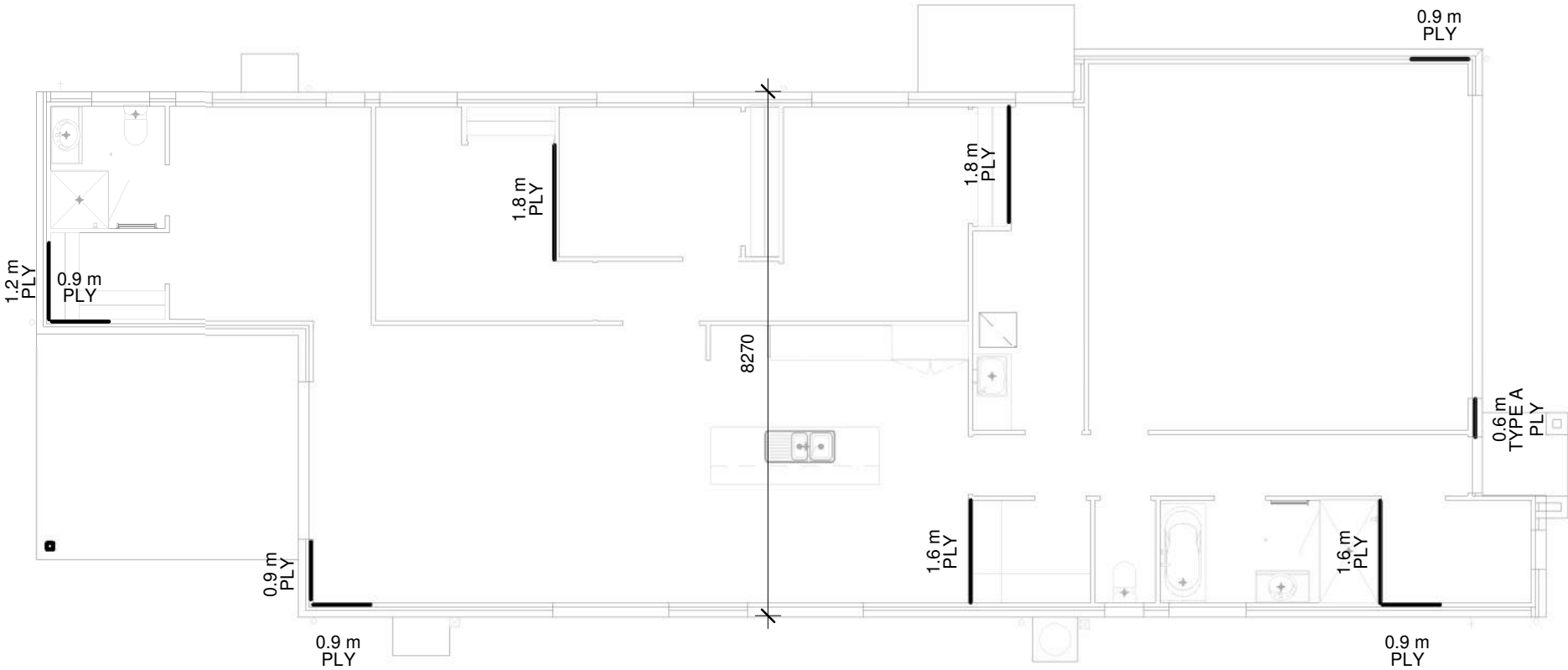
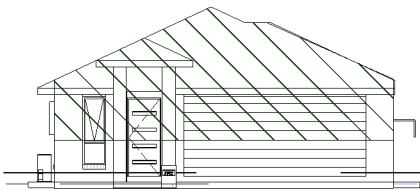
LONG LENGTH - DIRECTION Y

WIND RATING = N2
HOUSE WIDTH = 7.750 m
ROOF PITCH = 25 deg
WALL & ROOF AREA = 73 m2
0.71kPa





SHORT LENGTH - DIRECTION X

WIND RATING = N2
HOUSE WIDTH = 8.220 m
ROOF PITCH = 25 deg
WALL & ROOF AREA = 24 m2
0.77kPa



1 Bracing
1 : 100


N2 WIND REGION BRACING CALCS		BRACING CALCS RESULTS	
END WALL AREA:	73 sq.m.		Reg'd: 51.83 kN
END WALL PRESSURE:	0.71 kPa		Ach'd: 57.24 kN
END WALL RACKING FORCE:	51.83 kN		
SIDE WALL AREA:	24 sq.m.		Reg'd: 18.48 kN
SIDE WALL PRESSURE:	0.77 kPa		Ach'd: 21.60 kN
SIDE WALL RACKING FORCE:	18.48 kN		

PLYSHEET BRACING 900mm (OR GREATER) TO BE INSTALLED IN ACCORDANCE WITH A.S.1684 TABLE 8.18 TYPE H - METHOD B
PLYSHEET BRACING 600mm (UP TO 900) TO BE INSTALLED IN ACCORDANCE WITH A.S.1684 TABLE 8.18 TYPE H - METHOD A

SITE INFORMATION

NOTE: CONCEPT DESIGN PREPARED
PRIOR TO ACCURATE SITING
INFORMATION BEING PROVIDED

ALL RETAINING AND SERVICES
LOCATIONS NOTED ARE SUBJECT TO
CHANGE WHEN THIS INFORMATION IS
AVAILABLE. DESIGN &/OR ALLOWANCES
ARE SUBJECT TO CHANGE IF REQUIRED

<div>© COPYRIGHT 2019</div> <div>This drawing is copyright, and cannot be reproduced in whole or in part by any medium without the written permission of Sunvista Homes Pty Ltd. The Licensed Builder retains sole authority & responsibility for the use of these drawings.</div> <div>Apex CC</div>	<div>SUNVISTA HOMES</div> <div>Unit 3/211 Leitchs Rd Brendale P.O.Box 6022 Brendale Qld 4500 Ph: 07 3205 3325 Fax: 07 3205 3327 ABN: 94482383824 QBCC Lic: 1033413</div> <div></div> <div>HOMES FOR THE FUTURE</div>	<div>ALL LEVELS TO BE CONFIRMED BY BUILDER ON SITE PRIOR TO CONSTRUCTION</div> <div>SUBJECT TO COVENANT & LOCAL GOVT. APPROVAL. ALL SETBACKS TBC ON SITE</div>	<div>WORKING DRAWINGS</div> <table><tr><th>Rev.</th><th>Date</th><th>Description</th><th>Iss.</th></tr><tr><td colspan="4"></td></tr></table>				Rev.	Date	Description	Iss.					<div>Drawing Title:</div> <div>Bracing</div> <div>Proposed Residence for: New Client At : Lot 46 Mercy Cct, Park Ridge The Ridge Estate</div> <table><tr><td>Facade Type:</td><td>Colour Selection:</td><td>Landscape Selection:</td></tr><tr><td>4</td><td></td><td></td></tr></table>			Facade Type:	Colour Selection:	Landscape Selection:	4			<div>Date:</div> <div>2.12.19</div> <div>Design Name:</div> <div>HAVEN - 171 mod</div> <table><tr><td>Drawn:</td><td>Sheet No.</td></tr><tr><td>CW</td><td>08</td></tr></table>	Drawn:	Sheet No.	CW	08	<div>Drawing No.</div> <div>19363</div>
Rev.	Date	Description	Iss.																										
Facade Type:	Colour Selection:	Landscape Selection:																											
4																													
Drawn:	Sheet No.																												
CW	08																												

BUILDING SPECIFICATION - SINGLE STOREY - SHEET ROOF				TIE DOWN SPECIFICATION N2				JOINT GROUP																																																																																																																																																																																																																																																																																			
<p>ROOF TYPE : COLORBOND</p> <p>ROOF PITCH : max 35°</p> <p>TRUSS/RAFTER SPACING : 900mm ctrs</p> <p>BATTEN SPACING : Metal to manufacturers spec.</p> <p>WALL STUD SPACING (LOAD BEARING) : 450mm ctrs</p>				<p>BATTENS : METAL</p> <p>TRUSSES/RAFTERS : MGP10</p> <p>WALL FRAMING : MGP10</p> <p>WALL STUD SPACING (NON-LOAD BEARING) : 600mm ctrs</p>				<p>JD4</p> <p>JD4</p>																																																																																																																																																																																																																																																																																			
<p>NOTE</p> <p>TIMBER SIZES ARE INDICATIVE ONLY ALL TIMBER TO MANUFACTURERS SPECIFICATION AND TO COMPLY WITH AS 1684.2-2006</p> <p>NOTE</p> <p>BUILDING DETAILS AS PER THIS UNLESS OTHERWISE ON OVERIDDEN BY</p>				<p>MAXIMUM DIMENSIONS APPLICABLE TO THIS SHEET</p> <p>BASIC SPEC.</p> <p>WIND N2</p> <p>1 or 2 STOREY : 1</p> <p>ROOF TYPE : COLORBOND</p>																																																																																																																																																																																																																																																																																							
<p>STUD & PLATE SCHEDULE</p> <table><thead><tr><th>EXT. WALLS - 2.4m</th><th>EXT. WALLS - 2.7m</th><th></th></tr></thead><tbody><tr><td>WALL STUDS</td><td>90x35 MGP10</td><td>90x35 MGP10</td></tr><tr><td>TOP PLATES</td><td>2/90x35 MGP12</td><td>2/90x35 MGP12</td></tr><tr><td>BTM PLATES</td><td>90x35 MGP12</td><td>90x35 MGP12</td></tr></tbody></table>				EXT. WALLS - 2.4m	EXT. WALLS - 2.7m		WALL STUDS	90x35 MGP10	90x35 MGP10	TOP PLATES	2/90x35 MGP12	2/90x35 MGP12	BTM PLATES	90x35 MGP12	90x35 MGP12	<p>TIE DOWN DETAILS</p> <table><thead><tr><th colspan="4">4500 - 6000 ULW</th><th colspan="4">7500 ULW</th><th colspan="4">6000 ULW</th><th colspan="4">4500 ULW</th></tr><tr><th>TABLE NO.</th><th>UPLIFT FORCE kN</th><th>FIG. NO.</th><th>ALLOW FORCE kN</th><th>NOTES</th><th>TABLE NO.</th><th>UPLIFT FORCE kN</th><th>FIG. NO.</th><th>ALLOW FORCE kN</th><th>NOTES</th><th>TABLE NO.</th><th>UPLIFT FORCE kN</th><th>FIG. NO.</th><th>ALLOW FORCE kN</th><th>NOTES</th><th>TABLE NO.</th><th>UPLIFT FORCE kN</th><th>FIG. NO.</th><th>ALLOW FORCE kN</th><th>NOTES</th></tr></thead><tbody><tr><td colspan="4">BATTENS TO TRUSS/RAFTER (SINGLE OR UPPER)</td><td colspan="4">LINTELS TO STUDS (UP TO 900 WIDE)</td><td colspan="4">LINTELS TO STUDS (UP TO 1350 WIDE)</td><td colspan="4">LINTELS TO STUDS (UP TO 1800 WIDE)</td></tr><tr><td>9.13</td><td>5.00</td><td>9.25(b)</td><td>5.90</td><td>SEE SECTION</td><td>9.13</td><td>5.00</td><td>9.25(a)</td><td>5.90</td><td>SEE TABLE 9.20 (a)</td><td>9.13</td><td>5.00</td><td>9.20(a)</td><td>5.90</td><td>SEE TABLE 9.20 (a)</td><td>9.13</td><td>5.90</td><td>9.20(a)</td><td>5.90</td><td>SEE TABLE 9.20 (a)</td></tr><tr><td colspan="4">LINTELS TO STUDS (901 TO 1350 WIDE)</td><td colspan="4">LINTELS TO STUDS (1351 TO 1800 WIDE)</td><td colspan="4">LINTELS TO STUDS (1801 TO 3600 WIDE)</td><td colspan="4">LINTELS TO STUDS (3601 TO 4800 WIDE)</td></tr><tr><td>9.13</td><td>7.40</td><td>9.20(a)</td><td>8.40</td><td>SEE TABLE 9.20 (a)</td><td>9.13</td><td>7.90</td><td>9.20(a)</td><td>8.40</td><td>SEE TABLE 9.20 (a)</td><td>9.13</td><td>11.90</td><td>9.20(b)</td><td>12.00</td><td>SEE TABLE 9.20 (a)</td><td>9.13</td><td>15.80</td><td>9.20(b)</td><td>17.00</td><td>SEE TABLE 9.20 (b)</td></tr><tr><td colspan="4">LINTELS TO STUDS (1801 TO 3000 WIDE)</td><td colspan="4">LINTELS TO STUDS (3001 TO 3900 WIDE)</td><td colspan="4">LINTELS TO STUDS (3901 TO 4350 WIDE)</td><td colspan="4">LINTELS TO STUDS (4351 TO 4800 WIDE)</td></tr><tr><td>9.13</td><td>4.00</td><td>9.25(b)</td><td>5.90</td><td>SEE TABLE 9.20 (b)</td><td>9.13</td><td>13.00</td><td>9.20(b)</td><td>17.00</td><td>SEE TABLE 9.20 (b)</td><td>9.13</td><td>18.90</td><td>9.20(b)</td><td>20.00</td><td>SEE TABLE 9.20 (b)</td><td>9.13</td><td>25.90</td><td>9.20(b)</td><td>35.00</td><td>SEE TABLE 9.20 (b)</td></tr><tr><td colspan="4">NOGGINGS TO STUDS</td><td colspan="4">LINTELS TO STUDS (1801 TO 3000 WIDE)</td><td colspan="4">LINTELS TO STUDS (3001 TO 3900 WIDE)</td><td colspan="4">LINTELS TO STUDS (3901 TO 4350 WIDE)</td></tr><tr><td>9.4</td><td>NOM</td><td></td><td></td><td>2/75 x 3.0b</td><td>9.13</td><td>17.00</td><td>9.20(b)</td><td>17.00</td><td>SEE TABLE 9.20 (b)</td><td>9.13</td><td>18.90</td><td>9.20(b)</td><td>20.00</td><td>SEE TABLE 9.20 (b)</td><td>9.13</td><td>25.90</td><td>9.20(b)</td><td>35.00</td><td>SEE TABLE 9.20 (b)</td></tr><tr><td colspan="4">BOTTOM PLATE TO SLAB (900 ctrs)</td><td colspan="4">LINTELS TO STUDS (1801 TO 3000 WIDE)</td><td colspan="4">LINTELS TO STUDS (3001 TO 3900 WIDE)</td><td colspan="4">LINTELS TO STUDS (3901 TO 4350 WIDE)</td></tr><tr><td>9.11</td><td>2.20</td><td>9.18(d)</td><td>-</td><td>M10 BOLT FIXED TO MANUFACTURERS SPECIFICATIONS</td><td>9.13</td><td>18.90</td><td>9.20(b)</td><td>20.00</td><td>SEE TABLE 9.20 (b)</td><td>9.13</td><td>18.90</td><td>9.20(b)</td><td>20.00</td><td>SEE TABLE 9.20 (b)</td><td>9.13</td><td>25.90</td><td>9.20(b)</td><td>35.00</td><td>SEE TABLE 9.20 (b)</td></tr><tr><td colspan="4">LINTELS TO STUDS</td><td colspan="4">LINTELS TO STUDS (1801 TO 3000 WIDE)</td><td colspan="4">LINTELS TO STUDS (3001 TO 3900 WIDE)</td><td colspan="4">LINTELS TO STUDS (3901 TO 4350 WIDE)</td></tr><tr><td>9.13</td><td>25.90</td><td>9.20(b)</td><td>35.00</td><td>SEE TABLE 9.20 (b)</td><td>9.13</td><td>25.90</td><td>9.20(b)</td><td>35.00</td><td>SEE TABLE 9.20 (b)</td><td>9.13</td><td>25.90</td><td>9.20(b)</td><td>35.00</td><td>SEE TABLE 9.20 (b)</td><td>9.13</td><td>25.90</td><td>9.20(b)</td><td>35.00</td><td>SEE TABLE 9.20 (b)</td></tr></tbody></table>				4500 - 6000 ULW				7500 ULW				6000 ULW				4500 ULW				TABLE NO.	UPLIFT FORCE kN	FIG. NO.	ALLOW FORCE kN	NOTES	TABLE NO.	UPLIFT FORCE kN	FIG. NO.	ALLOW FORCE kN	NOTES	TABLE NO.	UPLIFT FORCE kN	FIG. NO.	ALLOW FORCE kN	NOTES	TABLE NO.	UPLIFT FORCE kN	FIG. NO.	ALLOW FORCE kN	NOTES	BATTENS TO TRUSS/RAFTER (SINGLE OR UPPER)				LINTELS TO STUDS (UP TO 900 WIDE)				LINTELS TO STUDS (UP TO 1350 WIDE)				LINTELS TO STUDS (UP TO 1800 WIDE)				9.13	5.00	9.25(b)	5.90	SEE SECTION	9.13	5.00	9.25(a)	5.90	SEE TABLE 9.20 (a)	9.13	5.00	9.20(a)	5.90	SEE TABLE 9.20 (a)	9.13	5.90	9.20(a)	5.90	SEE TABLE 9.20 (a)	LINTELS TO STUDS (901 TO 1350 WIDE)				LINTELS TO STUDS (1351 TO 1800 WIDE)				LINTELS TO STUDS (1801 TO 3600 WIDE)				LINTELS TO STUDS (3601 TO 4800 WIDE)				9.13	7.40	9.20(a)	8.40	SEE TABLE 9.20 (a)	9.13	7.90	9.20(a)	8.40	SEE TABLE 9.20 (a)	9.13	11.90	9.20(b)	12.00	SEE TABLE 9.20 (a)	9.13	15.80	9.20(b)	17.00	SEE TABLE 9.20 (b)	LINTELS TO STUDS (1801 TO 3000 WIDE)				LINTELS TO STUDS (3001 TO 3900 WIDE)				LINTELS TO STUDS (3901 TO 4350 WIDE)				LINTELS TO STUDS (4351 TO 4800 WIDE)				9.13	4.00	9.25(b)	5.90	SEE TABLE 9.20 (b)	9.13	13.00	9.20(b)	17.00	SEE TABLE 9.20 (b)	9.13	18.90	9.20(b)	20.00	SEE TABLE 9.20 (b)	9.13	25.90	9.20(b)	35.00	SEE TABLE 9.20 (b)	NOGGINGS TO STUDS				LINTELS TO STUDS (1801 TO 3000 WIDE)				LINTELS TO STUDS (3001 TO 3900 WIDE)				LINTELS TO STUDS (3901 TO 4350 WIDE)				9.4	NOM			2/75 x 3.0b	9.13	17.00	9.20(b)	17.00	SEE TABLE 9.20 (b)	9.13	18.90	9.20(b)	20.00	SEE TABLE 9.20 (b)	9.13	25.90	9.20(b)	35.00	SEE TABLE 9.20 (b)	BOTTOM PLATE TO SLAB (900 ctrs)				LINTELS TO STUDS (1801 TO 3000 WIDE)				LINTELS TO STUDS (3001 TO 3900 WIDE)				LINTELS TO STUDS (3901 TO 4350 WIDE)				9.11	2.20	9.18(d)	-	M10 BOLT FIXED TO MANUFACTURERS SPECIFICATIONS	9.13	18.90	9.20(b)	20.00	SEE TABLE 9.20 (b)	9.13	18.90	9.20(b)	20.00	SEE TABLE 9.20 (b)	9.13	25.90	9.20(b)	35.00	SEE TABLE 9.20 (b)	LINTELS TO STUDS				LINTELS TO STUDS (1801 TO 3000 WIDE)				LINTELS TO STUDS (3001 TO 3900 WIDE)				LINTELS TO STUDS (3901 TO 4350 WIDE)				9.13	25.90	9.20(b)	35.00	SEE TABLE 9.20 (b)	9.13	25.90	9.20(b)	35.00	SEE TABLE 9.20 (b)	9.13	25.90	9.20(b)	35.00	SEE TABLE 9.20 (b)	9.13	25.90	9.20(b)	35.00	SEE TABLE 9.20 (b)	<p>NOTE</p> <p>1/30x0.8mm G.I. STRAP WITH 2/2.8 Ø NAILS</p> <p>1/30x0.8mm G.I. STRAP WITH 4/2.8 Ø NAILS EACH END, M12 BOLT TO SLAB</p> <p>1/30x0.8mm G.I. STRAP WITH 4/2.8 Ø NAILS EACH END, M12 BOLT TO SLAB</p>				<p>NOTE</p> <p>1/30x0.8mm G.I. STRAP WITH 4/2.8 Ø NAILS EACH END, M12 BOLT TO SLAB</p> <p>1/30x0.8mm G.I. STRAP WITH 4/2.8 Ø NAILS EACH END, M12 BOLT TO SLAB</p>				<p>NOTE</p> <p>1/30x0.8mm G.I. STRAP WITH 4/2.8 Ø NAILS EACH END, M12 BOLT TO SLAB</p> <p>1/30x0.8mm G.I. STRAP WITH 4/2.8 Ø NAILS EACH END, M12 BOLT TO SLAB</p>			
EXT. WALLS - 2.4m	EXT. WALLS - 2.7m																																																																																																																																																																																																																																																																																										
WALL STUDS	90x35 MGP10	90x35 MGP10																																																																																																																																																																																																																																																																																									
TOP PLATES	2/90x35 MGP12	2/90x35 MGP12																																																																																																																																																																																																																																																																																									
BTM PLATES	90x35 MGP12	90x35 MGP12																																																																																																																																																																																																																																																																																									
4500 - 6000 ULW				7500 ULW				6000 ULW				4500 ULW																																																																																																																																																																																																																																																																															
TABLE NO.	UPLIFT FORCE kN	FIG. NO.	ALLOW FORCE kN	NOTES	TABLE NO.	UPLIFT FORCE kN	FIG. NO.	ALLOW FORCE kN	NOTES	TABLE NO.	UPLIFT FORCE kN	FIG. NO.	ALLOW FORCE kN	NOTES	TABLE NO.	UPLIFT FORCE kN	FIG. NO.	ALLOW FORCE kN	NOTES																																																																																																																																																																																																																																																																								
BATTENS TO TRUSS/RAFTER (SINGLE OR UPPER)				LINTELS TO STUDS (UP TO 900 WIDE)				LINTELS TO STUDS (UP TO 1350 WIDE)				LINTELS TO STUDS (UP TO 1800 WIDE)																																																																																																																																																																																																																																																																															
9.13	5.00	9.25(b)	5.90	SEE SECTION	9.13	5.00	9.25(a)	5.90	SEE TABLE 9.20 (a)	9.13	5.00	9.20(a)	5.90	SEE TABLE 9.20 (a)	9.13	5.90	9.20(a)	5.90	SEE TABLE 9.20 (a)																																																																																																																																																																																																																																																																								
LINTELS TO STUDS (901 TO 1350 WIDE)				LINTELS TO STUDS (1351 TO 1800 WIDE)				LINTELS TO STUDS (1801 TO 3600 WIDE)				LINTELS TO STUDS (3601 TO 4800 WIDE)																																																																																																																																																																																																																																																																															
9.13	7.40	9.20(a)	8.40	SEE TABLE 9.20 (a)	9.13	7.90	9.20(a)	8.40	SEE TABLE 9.20 (a)	9.13	11.90	9.20(b)	12.00	SEE TABLE 9.20 (a)	9.13	15.80	9.20(b)	17.00	SEE TABLE 9.20 (b)																																																																																																																																																																																																																																																																								
LINTELS TO STUDS (1801 TO 3000 WIDE)				LINTELS TO STUDS (3001 TO 3900 WIDE)				LINTELS TO STUDS (3901 TO 4350 WIDE)				LINTELS TO STUDS (4351 TO 4800 WIDE)																																																																																																																																																																																																																																																																															
9.13	4.00	9.25(b)	5.90	SEE TABLE 9.20 (b)	9.13	13.00	9.20(b)	17.00	SEE TABLE 9.20 (b)	9.13	18.90	9.20(b)	20.00	SEE TABLE 9.20 (b)	9.13	25.90	9.20(b)	35.00	SEE TABLE 9.20 (b)																																																																																																																																																																																																																																																																								
NOGGINGS TO STUDS				LINTELS TO STUDS (1801 TO 3000 WIDE)				LINTELS TO STUDS (3001 TO 3900 WIDE)				LINTELS TO STUDS (3901 TO 4350 WIDE)																																																																																																																																																																																																																																																																															
9.4	NOM			2/75 x 3.0b	9.13	17.00	9.20(b)	17.00	SEE TABLE 9.20 (b)	9.13	18.90	9.20(b)	20.00	SEE TABLE 9.20 (b)	9.13	25.90	9.20(b)	35.00	SEE TABLE 9.20 (b)																																																																																																																																																																																																																																																																								
BOTTOM PLATE TO SLAB (900 ctrs)				LINTELS TO STUDS (1801 TO 3000 WIDE)				LINTELS TO STUDS (3001 TO 3900 WIDE)				LINTELS TO STUDS (3901 TO 4350 WIDE)																																																																																																																																																																																																																																																																															
9.11	2.20	9.18(d)	-	M10 BOLT FIXED TO MANUFACTURERS SPECIFICATIONS	9.13	18.90	9.20(b)	20.00	SEE TABLE 9.20 (b)	9.13	18.90	9.20(b)	20.00	SEE TABLE 9.20 (b)	9.13	25.90	9.20(b)	35.00	SEE TABLE 9.20 (b)																																																																																																																																																																																																																																																																								
LINTELS TO STUDS				LINTELS TO STUDS (1801 TO 3000 WIDE)				LINTELS TO STUDS (3001 TO 3900 WIDE)				LINTELS TO STUDS (3901 TO 4350 WIDE)																																																																																																																																																																																																																																																																															
9.13	25.90	9.20(b)	35.00	SEE TABLE 9.20 (b)	9.13	25.90	9.20(b)	35.00	SEE TABLE 9.20 (b)	9.13	25.90	9.20(b)	35.00	SEE TABLE 9.20 (b)	9.13	25.90	9.20(b)	35.00	SEE TABLE 9.20 (b)																																																																																																																																																																																																																																																																								
<p>CONCRETE (See also typical section below)</p> <p>FOOTING & SLAB TO ENGINEERS SPECIFICATION</p> <p>LININGS</p> <p>WALLS: 10mm PLASTERBOARD</p> <p>CEILINGS: 10mm SUPACEIL PLASTERBOARD</p> <p>WET AREAS: 6mm VILLABOARD</p>				<p>NOTE</p> <p>1/30x0.8mm G.I. STRAP WITH 4/2.8 Ø NAILS EACH END, M12 BOLT TO SLAB</p> <p>1/30x0.8mm G.I. STRAP WITH 4/2.8 Ø NAILS EACH END, M12 BOLT TO SLAB</p>				<p>NOTE</p> <p>1/30x0.8mm G.I. STRAP WITH 4/2.8 Ø NAILS EACH END, M12 BOLT TO SLAB</p> <p>1/30x0.8mm G.I. STRAP WITH 4/2.8 Ø NAILS EACH END, M12 BOLT TO SLAB</p>				<p>NOTE</p> <p>1/30x0.8mm G.I. STRAP WITH 4/2.8 Ø NAILS EACH END, M12 BOLT TO SLAB</p> <p>1/30x0.8mm G.I. STRAP WITH 4/2.8 Ø NAILS EACH END, M12 BOLT TO SLAB</p>																																																																																																																																																																																																																																																																															
<p>TABLE 9.20 (a)</p> <p>Capacity of 5.9 kN, Fixing details : 4 Nails each end of Strap</p> <p>Capacity of 8.4 kN, Fixing details : 6 Nails each end of Strap</p>				<p>TABLE 9.20 (b)</p> <p>Capacity of 12.0 kN, Fixing details : 4 Nails each end of Strap and M10 bolt to floor</p> <p>Capacity of 17.0 kN, Fixing details : 6 Nails each end of Strap and M12 bolt to floor</p>				<p>TABLE 9.20 (c)</p> <p>Capacity of 15.0 kN, Fixing details : M10 bolt</p> <p>Capacity of 20.0 kN, Fixing details : M12 bolt</p>				<p>TABLE 9.20 (d)</p> <p>Capacity of 35.0 kN, Fixing details : M16 bolt</p>																																																																																																																																																																																																																																																																															

SAFE DESIGN NOTES

1. FALLS, SLIPS, TRIPS a) WORKING AT HEIGHTS DURING CONSTRUCTION

Wherever possible, components for this building should be prefabricated off-site or at ground level to minimise the risk of workers falling more than two metres. However, construction of this building will require workers to be working at heights where a fall in excess of two metres is possible and injury is likely to result from such a fall. The builder should provide a suitable barrier wherever a person is required to work in a situation where falling more than two metres is a possibility.

DURING OPERATION OR MAINTENANCE

For houses or other low-rise buildings where scaffolding is appropriate:

Cleaning and maintenance of windows, walls, roof or other components of this building will require persons to be situated where a fall from a height in excess of two metres is possible. Where this type of activity is required, scaffolding, ladders or trestles should be used in accordance with relevant codes of practice, regulations or legislation.

For buildings where scaffold, ladders, trestles are not appropriate:

Cleaning and maintenance of windows, walls, roof or other components of this building will require persons to be situated where a fall from a height in excess of two metres is possible. Where this type of activity is required, scaffolding, fall barriers or Personal Protective Equipment (PPE) should be used in accordance with relevant codes of practice, regulations or legislation.

ANCHORAGE POINTS

Anchorage points for portable scaffold or fall arrest devices have been included in the design for use by maintenance workers. Any persons engaged to work on the building after completion of construction work should be informed about the anchorage points.

b) SLIPPERY OR UNEVEN SURFACES

FLOOR FINISHES Specified

If finishes have been specified by designer, these have been selected to minimise the risk of floors and paved areas becoming slippery when wet or when walked on with wet shoes/feet. Any changes to the specified finish should be made in consultation with the designer or, if this is not practical, surfaces with an equivalent or better slip resistance should be chosen.

FLOOR FINISHES By Owner

If designer has not yet been involved in the selection of surface finishes, the owner is responsible for the selection of surface finishes in the pedestrian trafficable areas of this building. Surfaces should be selected in accordance with AS HB 197:1999 and AS/NZ 4586:2004.

STEPS, LOOSE OBJECTS AND UNEVEN SURFACES

Due to design restrictions for this building, steps and/or ramps are included in the building which may be a hazard to workers carrying objects or otherwise occupied. Steps should be clearly marked with both visual and tactile warning during construction, maintenance, demolition and at all times when the building operates as a workplace. Building owners and occupiers should monitor the pedestrian access ways and in particular access to areas where maintenance is routinely carried out to ensure that surfaces have not moved or cracked so that they become uneven and present a trip hazard. Spills, loose material, stray objects or any other matter that may cause a slip or trip hazard should be cleaned or removed from access ways. Contractors should be required to maintain a tidy work site during construction, maintenance or demolition to reduce the risk of trips and falls in the workplace. Materials for construction or maintenance should be stored in designated areas away from access ways and work areas.

2. FALLING OBJECTS LOOSE MATERIALS OR SMALL OBJECTS

Construction, maintenance or demolition work on or around this building is likely to involve persons working above ground level or above floor levels. Where this occurs one or more of the following measures should be taken to avoid objects falling from the area where the work is being carried out onto persons below.

1. Prevent or restrict access to areas below where the work is being carried out.
2. Provide toeboards to scaffolding or work platforms.
3. Provide protective structure below the work areas.
4. Ensure that all persons below the work area have Personal Protective Equipment (PPE).

BUILDING COMPONENTS

During construction, renovation or demolition of this building, parts of the structure including fabricated steelwork, heavy panels and many other components will remain standing prior to or after supporting parts are in place. Contractors should ensure that temporary bracing or other required support is in place at all times when collapse which may injure persons in the area is a possibility.

Mechanical lifting of materials and components during construction, maintenance or demolition presents a risk of falling objects. Contractors should ensure that appropriate lifting devices are used, that loads are properly secured and that access to areas below the load is prevented or restricted.

3. TRAFFIC MANAGEMENT

For building on a major road, narrow road or steeply sloping road:

Parking of vehicles or loading/unloading of vehicles on this roadway may cause a traffic hazard. During construction, maintenance or demolition of this building designated parking for workers and loading areas should be provided. Trained traffic management personnel should be responsible for the supervision of these areas.

For building where on-site loading/unloading is restricted:

Construction of this building will require loading and unloading of materials on the roadway. Deliveries should be well planned to avoid congestion of loading areas and trained traffic management personnel should be used to supervise loading/unloading areas.

For all buildings:

Busy construction and demolition sites present a risk of collision where deliveries and other traffic are moving within the site. A traffic management plan supervised by trained traffic management personnel should be adopted for the work site.

4. SERVICES

GENERAL

Rupture of services during excavation or other activity creates a variety of risks including release of hazardous material. Existing services are located on or around this site. Where known, these are identified on the plans but the exact location and extent of services may vary from that indicated. Services should be located using an appropriate service (such as Dial Before You Dig), appropriate excavation practice should be used and, where necessary, specialist contractors should be sued.

Locations with underground power:

Underground power lines MAY be located in or around this site. All underground power lines must be disconnected or carefully located and adequate warnings signs used prior to any construction, maintenance or demolition commencing.

Locations with overhead power lines:

Overhead power lines MAY be near or on this site. These pose a risk of electrocution if struck or approached by lifting devices or other plant and persons working above ground level. Where there is a danger of this occurring, power lines should be, where practical, disconnected or relocated. Where this is not practical adequate warning in the form of bright coloured tape or signage should be used or a protective barrier provided.

5. MANUAL TASKS

Components within this design with a mass in excess of 25kg should be lifted by two or more workers or by mechanical lifting device. Where this is not practical, suppliers or fabricators should be required to limit the component mass.

All material packaging, building and maintenance components should clearly show the total mass of packages and where practical all items should be stored on site in a way which minimises bending before lifting. Advice should be provided on safe lifting methods in all areas where lifting may occur.

Construction, maintenance and demolition of this building will require the use of portable tools and equipment. These should be fully maintained in accordance with manufacturer's specifications and not used where faulty or (in the case of electrical equipment) not carrying a current electrical safety tag. All safety guards or devices should be regularly checked and Personal Protective Equipment should be used in accordance with manufacturer's specification.

6. HAZARDOUS SUBSTANCES

ASBESTOS

For alterations to a building constructed prior to 1990:

If this existing building was constructed prior to:

1990 – it therefore may contain asbestos

1986 – it therefore is likely to contain asbestos

either in cladding material or in fire retardant insulation material. In either case the builder should check and, if necessary, take appropriate action before demolishing, cutting, sanding, drilling or otherwise disturbing the existing structure.

POWDERED MATERIALS

Many materials used in the construction of this building can cause harm if inhaled in powered form. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation while using powdered material or when sanding, drilling, cutting or otherwise disturbing or creating powdered material.

TREATED TIMBER

The design of this building may include provision for the inclusion of treated timber within the structure. Dust or fumes from this material can be harmful. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation of harmful material when sanding, drilling, cutting or using treated timber in any way that may cause harmful material to be released. Do not burn treated timber.

VOLATILE ORGANIC COMPOUNDS

Many types of glue, solvents, spray packs, paints, varnishes and some cleaning materials and disinfectants have dangerous emissions. Areas where these are used should be kept well ventilated while the material is being used and for a period after installation. Personal Protective Equipment may also be required. The manufacturer's recommendations for use must be carefully considered at all times.

SYNTHETIC MINERAL FIBRE

Fibreglass, rockwool, ceramic and other material used for thermal or sound insulation may contain synthetic mineral fibre which may be harmful if inhaled or if it comes in contact with the skin, eyes or other sensitive parts of the body. Personal Protective Equipment including protection against inhalation of harmful materials should be used when installing, removing or working near bulk insulation material.

TIMBER FLOORS

This building may contain timber floors which have an applied finish. Areas where finishes are applied should be kept well ventilated during sanding and application and for a period after installation. Personal Protective Equipment may also be required. The manufacturer's recommendations for use must be carefully considered at all times.

7. CONFINED SPACES

EXCAVATION

Construction of this building and some maintenance on the building will require excavation and installation of items within excavations. Where practical, installation should be carried out using methods which do not require workers to enter the excavation. Where this is not practical, adequate support for the excavated areas should be provided to prevent collapse. Warning signs and barriers to prevent accidental or unauthorised access to all excavations should be provided.

ENCLOSED SPACES

For buildings with enclosed spaces where maintenance or other access may be required:

Enclosed spaces within this building may present a risk to persons entering for construction, maintenance or any other purpose. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter enclosed spaces, air testing equipment and Personal Protective Equipment should be provided.

SMALL SPACES

For buildings with small spaces where maintenance or other access may be required:

Some small spaces within this building will require access by construction or maintenance workers. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter small spaces they should be scheduled so that access is for short periods. Manual lifting and other manual activity should be restricted in small spaces.

8. PUBLIC ACCESS

Public access to construction and demolition sites and to areas under maintenance causes risk to workers and public. Warning signs and secure barriers to unauthorised access should be provided. Where electrical installations, excavations, plant or loose materials are present they should be secured when not fully supervised.

9. OPERATIONAL USE OF BUILDING

RESIDENTIAL BUILDINGS

This building has been designed as a residential building. If it, at a later date, is used or intended to be used as a workplace, the provisions of the Work Health and Safety Act 2011 or subsequent replacement Act should be applied to the new use.

NON-RESIDENTIAL BUILDINGS

For non-residential buildings where the end-use has not been identified:

This building has been designed to the requirements of the classification identified on the drawings. The specific use of the building is not known at the time of the design and a further assessment of the workplace health and safety issues should be undertaken at the time of fit-out for the end-user.

For non-residential buildings where the end use is known:

This building has been designed for the specific use as identified on the drawings. Where a change of use occurs at a later date a further assessment of the workplace health and safety issues should be undertaken.

10. OTHER HIGH RISK ACTIVITY

All electrical work should be carried out in accordance with Code of Practice: Managing Electrical Risks at the Workplace, AS/NZ 3012 and all licensing requirements.

All work using Plant should be carried out in accordance with Code of Practice: Managing Risks of Plant at the Workplace.

All work should be carried out in accordance with Code of Practice: Managing Noise and Preventing Hearing Loss at Work.

Due to the history of serious incidents it is recommended that particular care be exercised when undertaking work involving steel construction and concrete placement. All the above applies.


SITE INFORMATION

NOTE: CONCEPT DESIGN PREPARED PRIOR TO ACCURATE SITING INFORMATION BEING PROVIDED

ALL RETAINING AND SERVICES LOCATIONS NOTED ARE SUBJECT TO CHANGE WHEN THIS INFORMATION IS AVAILABLE. DESIGN &/OR ALLOWANCES ARE SUBJECT TO CHANGE IF REQUIRED

THESE NOTES MUST BE READ AND UNDERSTOOD BY ALL INVOLVED IN THE PROJECT.

THIS INCLUDES (but is not excluded to): OWNER, BUILDER, SUB-CONTRACTORS, CONSULTANTS, RENOVATORS, OPERATORS, MAINTENORS and DEMOLISHERS.

<div>© COPYRIGHT 2019</div> <div>This drawing is copyright, and cannot be reproduced in whole or in part or by any medium without the written permission of Sunvista Homes Pty Ltd.</div> <div>The Licensed Builder retains sole authority & responsibility for the use of these drawings.</div>	<div>SUNVISTA HOMES</div> <div>Unit 3/211 Leitchs Rd</div> <div>Brendale</div> <div>P.O.Box 6022</div> <div>Brendale</div> <div>Qld 4500</div> <div>Ph: 07 3205 3325</div> <div>Fax: 07 3205 3327</div> <div>ABN: 94482383824</div> <div>QBCC Lic: 1033413</div> <div></div> <div>SUNVISTA HOMES</div> <div>HOMES FOR THE FUTURE</div>	<div>ALL LEVELS TO BE CONFIRMED BY BUILDER</div> <div>ON SITE PRIOR TO CONSTRUCTION</div> <div>SUBJECT TO COVENANT & LOCAL GOVT.</div> <div>APPROVAL. ALL SETBACKS TBC ON SITE</div>	<div>WORKING DRAWINGS</div>				<div>Drawing Title:</div> <div>Safe Design</div>			<div>Date:</div> <div>2.12.19</div>	<div>Drawing No.</div> <div>19363</div>	
			Rev.	Date	Description		Iss.	<div>Proposed Residence for: New Client</div> <div>At : Lot 46 Mercy Cct, Park Ridge</div> <div>The Ridge Estate</div>			<div>Design Name:</div> <div>HAVEN - 171 mod</div>	
											<div>Facade Type:</div> <div>4</div>	<div>Colour Selection:</div>