

Dealing Number



## OFFICE USE ONLY

## Privacy Statement

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## 1. Nature of request

Request to record new Community Management Statement for Bethania Meadows Community Titles Scheme 47738

Lodger (Name, address, E-mail &amp; phone number)

Lodger Code

## 2. Lot on Plan Description

Common Property of Bethania Meadows Community Titles Scheme 47738

Title Reference

51006413

## 3. Registered Proprietor/State Lessee

Body Corporate for Bethania Meadows Community Titles Scheme 47738

## 4. Interest

Not applicable

## 5. Applicant

Body Corporate for Bethania Meadows Community Titles Scheme 47738

## 6. Request

I hereby request that: the new Community Management Statement deposited herewith which amends Schedule C of the existing Community Management Statement be recorded as the Community Management Statement for Bethania Meadows CTS 47738.

## 7. Execution by applicant



12/05/2021  
Execution Date

Applicant's Signature  
Chairperson / Secretary

Applicant's Signature  
Committee member

## THIS CMS MUST BE DEPOSITED WITH:

- A FORM 14 GENERAL REQUEST; AND
- A FORM 18C (IF NO EXEMPTION TO THE PLANNING BODY CMS NOTATION APPLIES).

A NEW CMS MUST BE LODGED WITHIN THREE (3) MONTHS OF THE DATE OF CONSENT BY THE BODY CORPORATE

Office use only  
CMS LABEL NUMBER

## This statement incorporates and must include the following:

- Schedule A - Schedule of lot entitlements  
Schedule B - Explanation of development of scheme land  
Schedule C - By-laws  
Schedule D - Any other details  
Schedule E - Allocation of exclusive use areas

<b>1. Name of community titles scheme</b> Bethania Meadows Community Titles Scheme 47738	<b>2. Regulation module</b> Accommodation Module
<b>3. Name of body corporate</b> Bethania Meadows Community Titles Scheme 47738	
<b>4. Scheme land</b>	
Lot on Plan Description Common Property of Bethania Meadows Community Titles Scheme 47738	Title Reference 51006413
Lots 1-70 on SP267645	51006414-51006483
Lots 71-128 on SP267646	51009481-51109538
<b>5. #Name and address of original owner</b> Not applicable.	<b>6. Reference to plan lodged with this statement</b> Not applicable

# first community management statement only

**7. New CMS exemption to planning body community management statement notation (if applicable\*)**

Insert exemption clause (if no exemption – insert 'N/A' or 'not applicable')

Not applicable. pursuant to s.60(6) of the Body Corporate and Community Management Act 1997.

\*If there is no exemption or for a first community management statement (CMS), a Form 18C must be deposited with the Request to record the CMS.

**8. Execution by original owner/Consent of body corporate**

12/05/2021  
Execution Date

\*Chairperson / Secretary

\*Committee Member

\*Original owner to execute for a first community management statement  
\*Body corporate to execute for a new community management statement

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**SCHEDULE A SCHEDULE OF LOT ENTITLEMENTS**

<b>Lot on Plan</b>	<b>Contribution</b>	<b>Interest</b>
1 on SP267645	10	243
2 on SP267645	10	156
3 on SP267645	10	152
4 on SP267645	10	152
5 on SP267645	10	152
6 on SP267645	10	152
7 on SP267645	10	156
8 on SP267645	10	152
9 on SP267645	10	152
10 on SP267645	10	156
11 on SP267645	10	156
12 on SP267645	10	156
13 on SP267645	10	153
14 on SP267645	10	156
15 on SP267645	10	156
16 on SP267645	10	156
17 on SP267645	10	152
18 on SP267645	10	149
19 on SP267645	10	152
20 on SP267645	10	152
21 on SP267645	10	152
22 on SP267645	10	152
23 on SP267645	10	152
24 on SP267645	10	156
25 on SP267645	10	152
26 on SP267645	10	149
27 on SP267645	10	152
28 on SP267645	10	152
29 on SP267645	10	152
30 on SP267645	10	152
31 on SP267645	10	152
32 on SP267645	10	156
33 on SP267645	10	152
34 on SP267645	10	152
35 on SP267645	10	152
36 on SP267645	10	152
37 on SP267645	10	141

38 on SP267645	10	141
39 on SP267645	10	156
40 on SP267645	10	152
41 on SP267645	10	149
42 on SP267645	10	152
43 on SP267645	10	152
44 on SP267645	10	152
45 on SP267645	10	156
46 on SP267645	10	145
47 on SP267645	10	145
48 on SP267645	10	145
49 on SP267645	10	145
50 on SP267645	10	145
51 on SP267645	10	145
52 on SP267645	10	145
53 on SP267645	10	145
54 on SP267645	10	145
55 on SP267645	10	145
56 on SP267645	10	145
57 on SP267645	10	145
58 on SP267645	10	145
59 on SP267645	10	145
60 on SP267645	10	145
61 on SP267645	10	145
62 on SP267645	10	152
63 on SP267645	10	152
64 on SP267645	10	152
65 on SP267645	10	152
66 on SP267645	10	156
67 on SP267645	10	152
68 on SP267645	10	152
69 on SP267645	10	152
70 on SP267645	10	152
71 on SP267646	10	152
72 on SP267646	10	152
73 on SP267646	10	152
74 on SP267646	10	152
75 on SP267646	10	152
76 on SP267646	10	152
77 on SP267646	10	152

78 on SP267646	10	149
79 on SP267646	10	152
80 on SP267646	10	156
81 on SP267646	10	156
82 on SP267646	10	156
83 on SP267646	10	156
84 on SP267646	10	153
85 on SP267646	10	156
86 on SP267646	10	156
87 on SP267646	10	156
88 on SP267646	10	152
89 on SP267646	10	152
90 on SP267646	10	156
91 on SP267646	10	152
92 on SP267646	10	152
93 on SP267646	10	152
94 on SP267646	10	152
95 on SP267646	10	152
96 on SP267646	10	152
97 on SP267646	10	152
98 on SP267646	10	152
99 on SP267646	10	152
100 on SP267646	10	152
101 on SP267646	10	152
102 on SP267646	10	152
103 on SP267646	10	152
104 on SP267646	10	152
105 on SP267646	10	152
106 on SP267646	10	152
107 on SP267646	10	152
108 on SP267646	10	152
109 on SP267646	10	152
110 on SP267646	10	152
111 on SP267646	10	152
112 on SP267646	10	152
113 on SP267646	10	152
114 on SP267646	10	152
115 on SP267646	10	152
116 on SP267646	10	152
117 on SP267646	10	152

118 on SP267646	10	152
119 on SP267646	10	152
120 on SP267646	10	149
121 on SP267646	10	152
122 on SP267646	10	156
123 on SP267646	10	141
124 on SP267646	10	141
125 on SP267646	10	152
126 on SP267646	10	152
127 on SP267646	10	156
128 on SP267646	10	156
<b>TOTALS</b>	<b>1280</b>	<b>19474</b>

#### Principles for deciding the contribution schedule lot entitlements

The contribution lot entitlements for the scheme are equal based on the principle of equality pursuant to section 46(7) and section 46A(1) of the Body Corporate and Community Management Act 1997 as amended.

#### Principles for deciding the interest schedule lot entitlements

The interest schedule lot entitlements reflect the respective market value of the lots and the market value of the lots has been principally determined by reference to the respective Gross Floor areas (G.F.A) of the respective lots.

These principals shall apply similarly in the event of any further development of the scheme land.

#### **SCHEDULE B EXPLANATION OF THE DEVELOPMENT OF SCHEME LAND**

Section 66(F) and (G) of the Body Corporate and Community Title Act 1997 are not applicable.

#### **SCHEDULE C BY-LAWS**

#### **PART A – PRELIMINARY**

#### **1 Structure**

1.1 These by-laws are set out in the following structure:

- (a) Part A – Preliminary
- (b) Part B – Interferences
- (c) Part C – Works
- (d) Part D – Regulation of use
- (e) Part E – Exclusive use

#### **2 Definitions and interpretation**

2.1 The terms set out in these by-laws mean:

- (a) **'Act'** means the *Body Corporate Community Management Act 1997* (Qld).
- (b) **'Body Corporate'** means the Body Corporate established upon the registration of the Scheme.
- (c) **'Caretaking Service Contractor'** means a service contractor for the Scheme who is also a letting agent for the Scheme.
- (d) **'Common Property'** means Scheme Land that is not included in a Lot.

- (e) **'Improvement'** means the erection of a building, a structural change or a non-structural change of any kind or the carrying out of any works.
- (f) **'Lot'** means a lot in the Scheme.
- (g) **'Occupier'** means any person that occupies a Lot.
- (h) **'Owner'** means an owner of a Lot.
- (i) **'Regulation Module'** means the regulation module of the Act that applies to the Scheme as identified in Item 2 of this community management statement.
- (j) **'Scheme'** means Bethania Meadows CTS 47738.
- (k) **'Scheme Land'** means any land within the Scheme, including any Lot or the Common Property.
- (l) **'Social Function'** means a gathering of number of people that causes other Owners or Occupiers to be excluded from the use and enjoyment of part or all of the Common Property.
- (m) **'Smoke'** means –
  - (i) for a smoking product other than a personal vaporiser or a hookah—smoke, hold or otherwise have control over an ignited smoking product; or
  - (ii) for a personal vaporiser—inhale through the vaporiser; or
  - (iii) for a hookah—inhale through the hookah.
- (n) **'Vehicle'** includes but is not limited to all types of automobiles, motor cycles, scooters, trucks, bicycles, boats, trailers, caravans, camper vans, mobile homes, golf buggies, Segways, skateboards, rollerblades or any other equivalent means of transportation.
- (o) **'Visitor'** means a person who is invited in any capacity onto Scheme Land by an Owner, Occupier or a Visitor.

2.2 In the interpretation of these by-laws, terms used in these by-laws may be interpreted by reference to how those terms are defined in the Act and Regulation Module.

2.3 If there is an inconsistency between a by-law and the Act or Regulation Module, the Act or Regulation Module prevails to the extent of the inconsistency.

2.4 The singular includes the plural and vice versa.

2.5 Words importing a gender include other genders.

### **3 Applicability of these by-laws**

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3.1 An Owner whose Lot is subject to a lease, licence or tenancy agreement must take reasonable steps to ensure that any lessee, licensee, tenant or other Occupier and their Visitors comply with and observe these by-laws.

3.2 Occupiers must:

- (a) comply with these by-laws to the extent they apply to an Owner; and
- (b) ensure that the by-laws are complied with by their Visitors to the extent they apply to an Occupier.

### **4 Tenancies**

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4.1 If an Owner lets their Lot for a term of six months or more, the Owner must, as soon as practicable, give the Body Corporate notice of:

- (a) the name of the tenant and all Occupiers;
- (b) the service address of the tenant;
- (c) the term of the tenancy;
- (d) the name and service address of the Owner's letting agent for the tenancy; and
- (e) any other information the Body Corporate may reasonably require.

### **5 Application and approval process**

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5.1 This by-law applies where an Owner or Occupier makes an application to the Body Corporate or otherwise seeks to obtain the Body Corporate's consent.

- 5.2 When deciding whether to approve any application made by an Owner or Occupier (the Applicant) under these by-laws, the Body Corporate may:
- (a) take into account previous approvals under these by-laws provided to the Applicant and the Applicant's compliance with any conditions of previous approvals;
  - (b) request the Applicant to provide all information reasonably required to make a decision, where the Body Corporate may make as many requests as reasonably necessary;
  - (c) grant its approval on reasonable and relevant conditions; or
  - (d) refuse any application if it is reasonable to do so.
- 5.3 An Owner or Occupier of a Lot granted approval under these by-laws must comply with any conditions of that approval, failing which, the Body Corporate may withdraw that approval after the Applicant has been provided with a reasonable opportunity to remedy any non-compliance.
- 5.4 If any approval under these by-laws by the Body Corporate is invalid, it is read down or severed to the extent required to be valid.

## **PART B - INTERFERENCES**

### **6 Noise and nuisances**

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- 6.1 An Owner or Occupier must not use, or permit the use of, a Lot or the Common Property in a way that:
- (a) causes a nuisance or hazard;
  - (b) interferes unreasonably with the use or enjoyment of another Lot; or
  - (c) interferes unreasonably with the use or enjoyment of the Common Property by a person who is lawfully on the Common Property.

### **7 Obstruction**

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- 7.1 An Owner or Occupier must not, without the written approval of the Body Corporate:
- (a) obstruct, or permit the obstruction of, the lawful use of the Common Property or another Lot by someone else; or
  - (b) use as storage, or place items on, the Common Property.

### **8 Smoking**

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- 8.1 An Owner or Occupier must not Smoke, or permit any Visitors to Smoke:
- (a) in a completely or substantially enclosed area on the Common Property;
  - (b) on the Common Property such that it unreasonably interferes with the use or enjoyment of another person in a Lot or the Common Property; or
  - (c) in their Lot such that it unreasonably interferes with the use or enjoyment of another person in a Lot or the Common Property.

### **9 Auctions**

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- 9.1 An Owner must not permit any auction to take place on their Lot or the Common Property without the written approval of the Body Corporate.

### **10 Garage sales**

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- 10.1 An Owner must not permit any garage sale to take place on their Lot or the Common Property without the written approval of the Body Corporate.

### **11 Parking**

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- 11.1 An Owner or Occupier must not, without the written approval of the Body Corporate:
- (a) park a Vehicle or allow a Vehicle to stand, on any part of the Common Property (other than in a designated cleaning bay or exclusive use area); or



- (b) permit a Visitor to park a Vehicle or allow a Vehicle to stand, on the Common Property (other than a designated visitor car parking bay).

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**12 Vehicles**

- 12.1 Vehicles must be operated in accordance with all public road rules and must not be driven at a speed that creates a danger to property or persons.

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**13 Communications**

- 13.1 Owners and Occupiers must only communicate and interact with the Body Corporate and other Owners and Occupiers in a reasonable manner and not in any way which may (including, but not limited to) be:
- (a) an annoyance;
  - (b) a nuisance;
  - (c) threatening or intimidating;
  - (d) defamatory; or
  - (e) anti-social.

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**PART C - WORKS**

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**14 Damage**

- 14.1 An Owner or Occupier must not damage, deface or alter any part of the Common Property without the written approval of the Body Corporate.

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**15 Common Property Improvements**

- 15.1 An Owner or Occupier must not make any Improvement to the Common Property without the written approval of the Body Corporate.
- 15.2 A Caretaking Service Contractor may without the consent of the Body Corporate display signs or notices for the purposes of letting any Lot for lease in the Scheme in or about the Common Property provided they are in keeping with the amenity of the Scheme.

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**16 Boundary Improvements**

- 16.1 An Owner or Occupier must not, without the written approval of the Body Corporate, make any Improvements to:
- (a) railings, parapets and balustrades on (whether precisely, or for all practical purposes) the boundary of a Lot and common property or the boundary of a Lot and another Lot;
  - (b) doors, fences, windows and associated fittings situated in a boundary wall separating a Lot from common property or the boundary of a Lot and another Lot; or
  - (c) roofing membranes that are not common property but that provide protection for lots or common property.

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**17 Structural Improvements**

- 17.1 An Owner or Occupier must not, without the written approval of the Body Corporate, make any structural alterations to:
- (a) foundation structures;
  - (b) roofing structures providing protection; or
  - (c) essential supporting framework, including but not limited to load-bearing walls.

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**18 Lot Improvements**

- 18.1 An Owner or Occupier must not make any Improvement (other than minor cosmetic work that does not in any way affect, alter or otherwise impact the Common Property or another Lot) to their Lot without the written approval of the Body Corporate.

**19 External appearance of a lot**

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- 19.1 The Owner or Occupier of a Lot must not, without the Body Corporate's written approval, make a change to the external appearance of the Lot (including without limitation, an improvement or the placement of an item) if it will result in a change of the appearance of the Lot being visible from another Lot or the Common Property, or from outside the Scheme Land.

**PART D – REGULATION OF USE****20 Animals**

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- 20.1 Unless a person who has the right to be accompanied by an assistance animal under any statute, an Owner or Occupier must not, without the Body Corporate's written approval:
- (a) bring or keep an animal on the Lot or the Common Property; or
  - (b) permit a Visitor to bring or keep an animal on the Lot or Common Property.
- 20.2 When keeping an animal in the Scheme, in addition to any other requirements under these by-laws, an approval by the Committee, the Act or the Regulation Module the Owner or Occupier must:
- (a) ensure that when passing through common property the animal will be suitably restrained or carried;
  - (b) register the animal with the local council;
  - (c) ensure that the animal is kept within the Lot and not allowed to roam, dig, soil or otherwise damage Common Property or another Lot;
  - (d) dispose of any animal waste left on the Common Property immediately in a suitable garbage receptacle; and
  - (e) ensure the animal carries a name tag identifying the animal and its Owners.

**21 Alienation**

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- 21.1 An Owner or Occupier must not, without the written approval of the Body Corporate:
- (a) use, take, or in any other way appropriate any part of the Common Property for their sole or exclusive use unless authorised by another by-law; or
  - (b) alienate in any way any part of the common property; or
  - (c) interfere with the lawful use and enjoyment of Common Property by other Owners or Occupiers.

**22 Lot Owner Garbage**

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- 22.1 An Owner or Occupier must not leave garbage or other materials on the Common Property except in a designated garbage receptacle.
- 22.2 An Owner or Occupier must:
- (a) keep its own garbage receptacle;
  - (b) keep such garbage receptacle in a clean and dry condition and adequately covered on:
    - (i) its Lot; or
    - (ii) a part of the Common Property designated by the Body Corporate for such purpose; and
  - (c) not deposit any garbage or other materials in a garbage receptacle designated for another Lot.
  - (d) comply with any local authority by-laws or local laws about the disposal of garbage that apply to the Scheme;
  - (e) remove all rubbish from their Lot at least weekly;
  - (f) keep their Lot free of pests and vermin;
  - (g) not, in disposing of garbage, adversely affect the health, hygiene or comfort of other Owners or Occupiers;
  - (h) not leave bulky items or furniture (including white goods) in the designated garbage receptacles, but must dispose of these items in a suitable place outside the Scheme land;
  - (i) not cause damage to the garbage receptacles;

- (j) not overfill the garbage receptacles; and
- (k) not allow rubbish to become stuck to the garbage receptacles or liquids to run in the garbage receptacles.

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**23 Dangerous substances**

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- 23.1 An Owner or Occupier must not, without the Body Corporate's written approval, store a flammable or dangerous item or substance on a Lot unless the item or substance is:
- (a) used or intended to be used for domestic purposes; or
  - (b) fuel stored within a fuel tank of a vehicle, boat, or internal combustion engine in which the fuel is stored under the requirements of any law regulating the storage of flammable materials.

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**24 No interference**

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- 24.1 An Owner or Occupier must not, without the written approval of the Body Corporate:
- (a) interfere with, hinder, harass or otherwise obstruct contractors or employees engaged by the Body Corporate; or
  - (b) give instructions to contractors or employees on the Scheme Land engaged by the Body Corporate.

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**25 Interference with support, shelter, utility infrastructure**

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- 25.1 An Owner or Occupier must not, without the written approval of the Body Corporate, interfere or permit interference with:
- (a) support or shelter provided for a Lot or the Common Property;
  - (b) utility infrastructure or utility services; or
  - (c) body corporate assets.

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**26 Health and safety**

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- 26.1 Owners and Occupiers must give notice as soon as reasonably practicable to the Body Corporate after becoming aware of any:
- (a) infectious disease which is present at the Scheme requiring notification by statute or ordinance;
  - (b) accident or incident causing personal injury or any property or other damage which occurs on Scheme Land; or
  - (c) other event that may affect the insurance of the Body Corporate, health or safety of owners or occupiers or may otherwise create liability for the Body Corporate.

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**27 Social functions**

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- 27.1 An Owner or Occupier must not use an area of the Common Property for the purposes of a Social Function without the written approval of the Body Corporate.

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**28 Use of lots**

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- 28.1 Without the approval of the Body Corporate, an Owner or Occupier may not use their Lot for anything other than:
- (a) residential purposes; or
  - (b) a home office that does not compete with the Caretaking Service Contractor; or
  - (c) if the Owner or Occupier is a Caretaking Service Contractor, for:
    - (i) the purposes of management of the Scheme;
    - (ii) the letting or sales of Lots in the Scheme on behalf of the Owners and the rendering of such other services to Owners and Occupiers; and
    - (iii) the letting and sales of Lots outside the Scheme and the rendering of such other services.
- 28.2 An Owner or Occupier of a Lot shall not use, or permit the use of, their Lot for any purpose which may be illegal, immoral or bring the Scheme into disrepute.

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**29 Letterbox**

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29.1 An Owner or Occupier of a Lot must not interfere with the letterbox designated for another Lot or the Body Corporate.

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**30 Recreational Area**

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30.1 Owners and Occupiers may use, and permit the use by its Visitors of, the recreational area on the Common Property without approval by the Body Corporate on the conditions that the recreational area and facilities are:

- (a) not already being used by another Owner or Occupier;
- (b) not used in a way that causes damage to the surface, fixtures or fittings of the barbecue area or facilities;
- (c) not used in a way that causes nuisance or an unreasonable interference to any Owner or Occupier; and
- (d) cleaned and tidied after use.

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**31 Gym**

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31.1 Owners and Occupiers must use, and permit the use by its Visitors of, the gymnasium in a way which:

- (a) does not cause damage to the Common Property or body corporate assets;
- (b) does not cause a nuisance or an unreasonable interference to any Owner or Occupier (through noise or otherwise);
- (c) does not cause a hazard or safety risk;
- (d) ensures that the Owner, Occupier or their Visitors are appropriately supervised;
- (e) is for the equipment's intended purpose;
- (f) places towels on equipment during use to prevent sweat on the equipment;
- (g) leaves the area clean and tidy after use;
- (h) places all moveable equipment back in its designated place after use; and
- (i) wipes and sanitises any sweat on the equipment after use.

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**32 Pool**

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32.1 Owners and Occupiers must use, and permit the use by its Visitors of, the pool in a way which:

- (a) does not cause damage;
- (b) does not cause a nuisance or an unreasonable interference to any Owner or Occupier (through noise or otherwise);
- (c) does not interfere with the maintenance or upkeep of the pool or the surrounding areas;
- (d) does not cause a hazard or safety risk;
- (e) ensures that the Owner, Occupier or their Visitors are appropriately supervised;
- (f) leaves the area clean and tidy after use;
- (g) does not bring animals into the area; and
- (h) does not bring glass into the area.

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**33 Cleaning bay**

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33.1 Owners and Occupiers must not use a designated cleaning bay in a way which:

- (a) causes damage to the designated cleaning bay area, body corporate asset, any Lot or the Common Property;
- (b) causes an unreasonable interference with the use of enjoyment of another Lot or the Common Property;
- (c) backlogs or causes a blockage in any drainage system;
- (d) is for any purpose other than the cleaning of Vehicles; and
- (e) allows a Vehicle to be parked longer than is reasonably necessary to use the designated cleaning bay for the cleaning of Vehicles.

**PART E – EXCLUSIVE USE****34 Exclusive Use**

The owners of the lots identified in Schedule E are entitled to exclusive use of the areas allocated and for the purposes described therein and the owners shall be responsible at their own expense for the proper care, upkeep, repair and maintenance of the respective exclusive use areas

<b>SCHEDULE D</b>	<b>OTHER DETAILS REQUIRED/PERMITTED TO BE INCLUDED</b>
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A services location plan marked "A" is attached hereto identifying the lots and common property affected by public utility statutory easements including easements for water, sewerage, Telstra/telephone, underground electricity, stormwater and drainage as set out in the table format hereunder.

\*Letters "u/g" denotes underground, "s/water" denotes stormwater.

Lot Numbers	Statutory Easements
Common Property on SP267645	Water, sewer, u/g electricity, communications, stormwater, projection
Common Property on SP267646	Water, sewer, u/g electricity, communications, stormwater, projection
Lot 1 on SP267645	Water, sewer, u/g electricity, communications, stormwater, projection
Lot 2 on SP267645	Water, sewer, u/g electricity, communications, stormwater, projection
Lot 3 on SP267645	Water, sewer, u/g electricity, communications, stormwater, projection, support
Lot 4 on SP267645	Water, sewer, u/g electricity, communications, stormwater, projection, support
Lot 5 on SP267645	Water, sewer, u/g electricity, communications, stormwater, projection, support
Lot 6 on SP267645	Water, sewer, u/g electricity, communications, stormwater, projection, support
Lot 7 on SP267645	Water, sewer, u/g electricity, communications, stormwater, projection
Lot 8 on SP267645	Water, sewer, u/g electricity, communications, stormwater, projection, support
Lot 9 on SP267645	Water, sewer, u/g electricity, communications, stormwater, projection, support
Lot 10 on SP267645	Water, sewer, u/g electricity, communications, stormwater, projection, support
Lot 11 on SP267645	Water, sewer, u/g electricity, communications, stormwater, projection, support
Lot 12 on SP267645	Water, sewer, u/g electricity, communications, stormwater, projection, support
Lot 13 on SP267645	Water, sewer, u/g electricity, communications, stormwater, projection, support
Lot 14 on SP267645	Water, sewer, u/g electricity, communications, stormwater, projection, support
Lot 15 on SP267645	Water, sewer, u/g electricity, communications, stormwater, projection, support
Lot 16 on SP267645	Water, sewer, u/g electricity, communications, stormwater, projection, support
Lot 17 on SP267645	Water, sewer, u/g electricity, communications, stormwater, projection, support
Lot 18 on SP267645	Water, sewer, u/g electricity, communications, stormwater, projection, support
Lot 19 on SP267645	Water, sewer, u/g electricity, communications, stormwater, projection, support
Lot 20 on SP267645	Water, sewer, u/g electricity, communications, stormwater, projection, support
Lot 21 on SP267645	Water, sewer, u/g electricity, communications, stormwater, projection, support
Lot 22 on SP267645	Water, sewer, u/g electricity, communications, stormwater, projection, support
Lot 23 on SP267645	Water, sewer, u/g electricity, communications, stormwater, projection, support
Lot 24 on SP267645	Water, sewer, u/g electricity, communications, stormwater, projection
Lot 25 on SP267645	Water, sewer, u/g electricity, communications, stormwater, projection, support
Lot 26 on SP267645	Water, sewer, u/g electricity, communications, stormwater, projection, support



[illegible]

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Lot 108 on SP267646	Water, sewer, u/g electricity, communications, stormwater, projection, support
Lot 109 on SP267646	Water, sewer, u/g electricity, communications, stormwater, projection, support
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Lot 111 on SP267646	Water, sewer, u/g electricity, communications, stormwater, projection, support
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Lot 116 on SP267646	Water, sewer, u/g electricity, communications, stormwater, projection, support
Lot 117 on SP267646	Water, sewer, u/g electricity, communications, stormwater, projection, support
Lot 118 on SP267646	Water, sewer, u/g electricity, communications, stormwater, projection, support
Lot 119 on SP267646	Water, sewer, u/g electricity, communications, stormwater, projection, support
Lot 120 on SP267646	Water, sewer, u/g electricity, communications, stormwater, projection, support
Lot 121 on SP267646	Water, sewer, u/g electricity, communications, stormwater, projection, support
Lot 122 on SP267646	Water, sewer, u/g electricity, communications, stormwater, projection
Lot 123 on SP267646	Water, sewer, u/g electricity, communications, stormwater, projection, support
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Lot 126 on SP267646	Water, sewer, u/g electricity, communications, stormwater, projection, support
Lot 127 on SP267646	Water, sewer, u/g electricity, communications, stormwater, projection
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Title Reference 51006413

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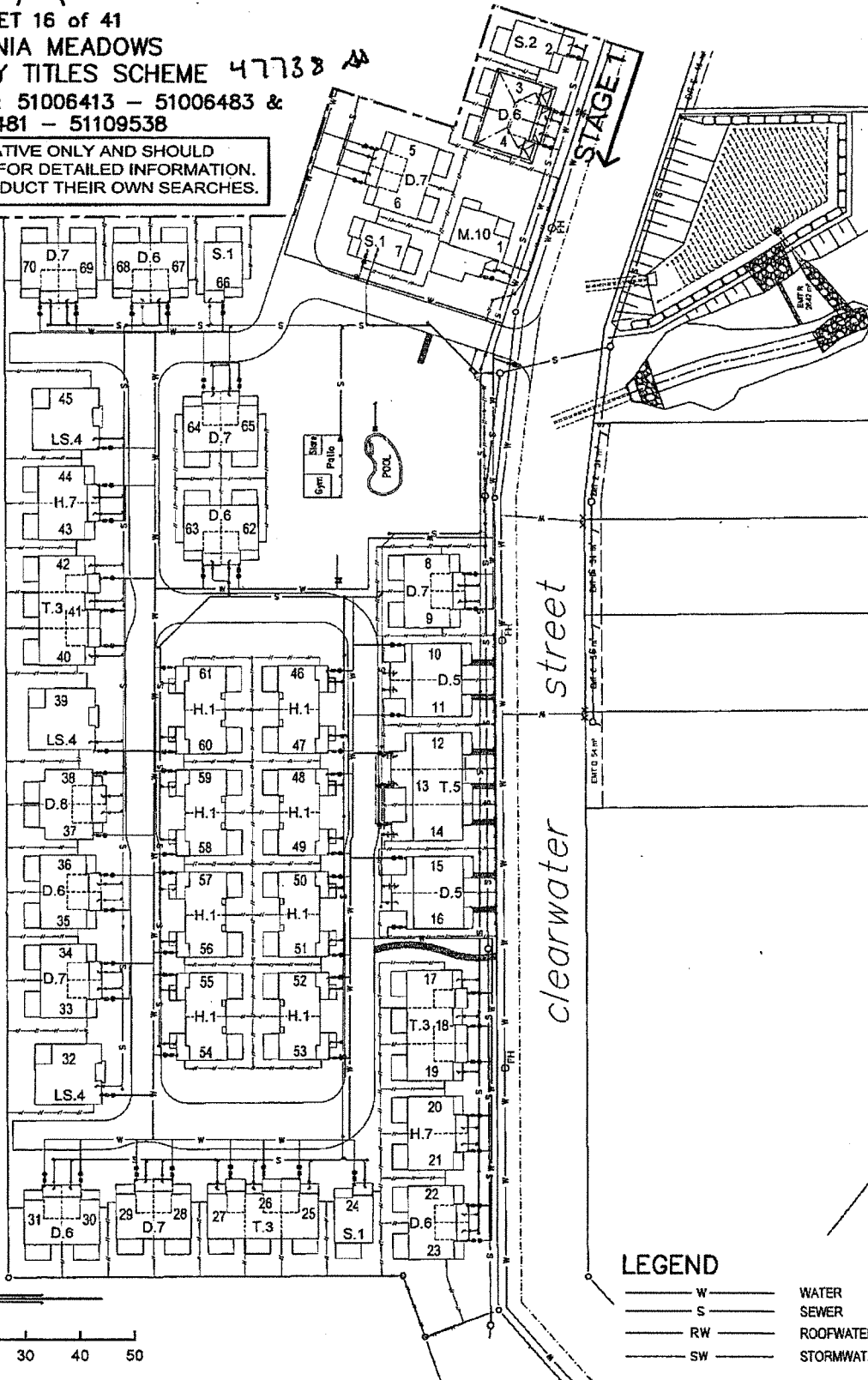
99 A 99

**SHEET 16 of 41**  
**BETHANIA MEADOWS**  
**COMMUNITY TITLES SCHEME 47738**

**TITLE REFERENCE: 51006413 - 51006483 &**  
**51109481 - 51109538**

THIS LAYOUT IS INDICATIVE ONLY AND SHOULD  
NOT BE RELIED UPON FOR DETAILED INFORMATION.  
BUYER'S SHOULD CONDUCT THEIR OWN SEARCHES.

STAGE 1



**LEGEND**

— W — WATER  
— S — SEWER  
— RW — ROOFWATER  
— SW — STORMWATER



A.C.N. 011 008 101 REGISTERED BUILDERS 023226/GZH

32 TRADELINK ROAD  
BROWNS PLAINS QLD.  
TELEPHONE: (07) 3600 1666 FAX: (07) 3600 1740

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# DIMENSIONS TO BE READ IN PREFERENCE TO SCALING

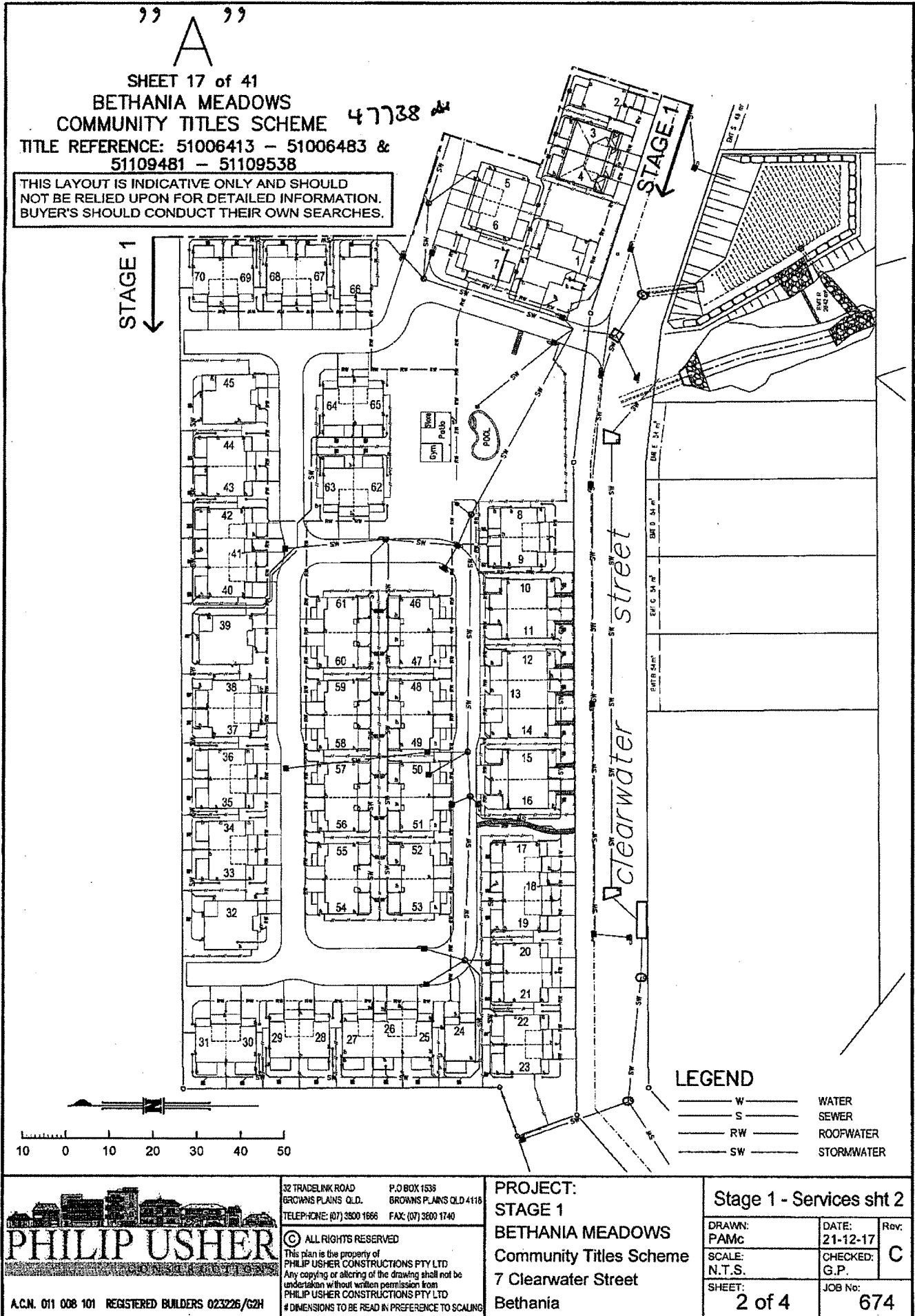
**PROJECT:**  
**STAGE 1**  
**BETHANIA MEADOWS**  
**Community Titles Scheme**  
**7 Clearwater Street**  
**Bethania**

**Stage 1 - Services sht 1**

DRAWN: PAMc	DATE: 21-12-17	Rev: C
SCALE: N.T.S.	CHECKED: G.P.	
SHEET: 1 of 4	JOB No: 674	

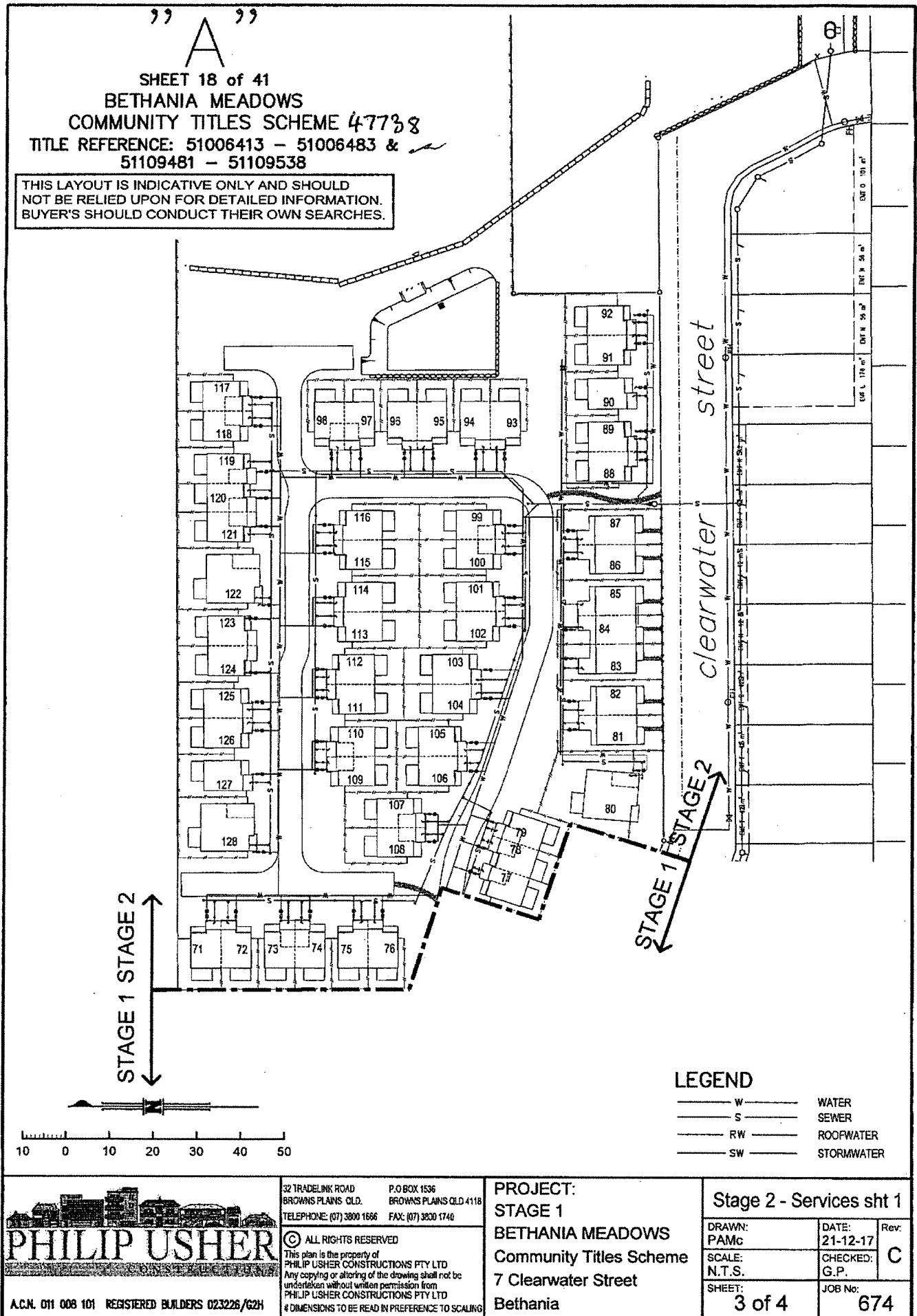
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page 17 of 42



Title Reference 51006413

Page 18 of 42



Title Reference 51006413

page 19 of 42

99 A 99

SHEET 19 of 41  
BETHANIA MEADOWS  
COMMUNITY TITLES SCHEME 47738  
TITLE REFERENCE: 51006413 - 51006483 &  
51109481 - 51109538

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BUYER'S SHOULD CONDUCT THEIR OWN SEARCHES.

STAGE 1 STAGE 2

STAGE 1 STAGE 2

clearwater street

10 0 10 20 30 40 50

# LEGEND

W WATER  
S SEWER  
RW ROOFWATER  
SW STORMWATER



A.C.N. 011 008 101 REGISTERED BUILDERS 023226/GZH

22 TRADELINK ROAD  
BROWNS PLAINS QLD.  
TELEPHONE: (07) 3800 1666 FAX: (07) 3800 1740

P.O BOX 1636  
BROWNS PLAINS QLD 4118  
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PROJECT:  
STAGE 1  
BETHANIA MEADOWS  
Community Titles Scheme  
7 Clearwater Street  
Bethania

Stage 2 - Services sht 2

DRAWN: PAMc	DATE: 21-12-17	Rev:
SCALE: N.T.S.	CHECKED: G.P.	C
SHEET: 4 of 4	JOB No:	674

**SCHEDULE E DESCRIPTION OF LOTS ALLOCATED EXCLUSIVE USE AREAS OF COMMON PROPERTY**

Lot on Plan	Exclusive Use Area	Purpose
Lot 1 on SP267645	Area 1A on sheet 1 and 2 of SB2919-01-A	Private Yard
Lot 2 on SP267645	Area 2A on sheet 1 and 2 of SB2919-01-A	Private Yard
Lot 3 on SP267645	Area 3A on sheet 1 and 2 of SB2919-01-A	Private Yard
Lot 4 on SP267645	Area 4A on sheet 1 and 2 of SB2919-01-A	Private Yard
Lot 5 on SP267645	Area 5A on sheet 1 and 2 of SB2919-01-A	Private Yard
Lot 6 on SP267645	Area 6A on sheet 1 and 2 of SB2919-01-A	Private Yard
Lot 7 on SP267645	Area 7A on sheet 1 and 2 of SB2919-01-A	Private Yard
Lot 8 on SP267645	Area 8A on sheet 1 and 3 of SB2919-01-A	Private Yard
Lot 9 on SP267645	Area 9A on sheet 1 and 3 of SB2919-01-A	Private Yard
Lot 10 on SP267645	Area 10A on sheet 1 and 3 of SB2919-01-A	Private Yard
Lot 11 on SP267645	Area 11A on sheet 1 and 3 of SB2919-01-A	Private Yard
Lot 12 on SP267645	Area 12A on sheet 1 and 3 of SB2919-01-A	Private Yard
Lot 13 on SP267645	Area 13A & 13B on sheet 1 and 3 of SB2919-01-A	Private Yard
Lot 14 on SP267645	Area 14A & 14B on sheet 1 and 3 of SB2919-01-A	Private Yard
Lot 15 on SP267645	Area 15A on sheet 1 and 3 of SB2919-01-A	Private Yard
Lot 16 on SP267645	Area 16A on sheet 1 and 3 of SB2919-01-A	Private Yard
Lot 17 on SP267645	Area 17A on sheet 1 and 4 of SB2919-01-A	Private Yard
Lot 18 on SP267645	Area 18A on sheet 1 and 4 of SB2919-01-A	Private Yard
Lot 19 on SP267645	Area 19A on sheet 1 and 4 of SB2919-01-A	Private Yard
Lot 20 on SP267645	Area 20A on sheet 1 and 4 of SB2919-01-A	Private Yard
Lot 21 on SP267645	Area 21A on sheet 1 and 4 of SB2919-01-A	Private Yard
Lot 22 on SP267645	Area 22A on sheet 1 and 4 of SB2919-01-A	Private Yard
Lot 23 on SP267645	Area 23A on sheet 1 and 4 of SB2919-01-A	Private Yard
Lot 24 on SP267645	Area 24A on sheet 1 and 5 of SB2919-01-A	Private Yard
Lot 25 on SP267645	Area 25A on sheet 1 and 5 of SB2919-01-A	Private Yard
Lot 26 on SP267645	Area 26A on sheet 1 and 5 of SB2919-01-A	Private Yard
Lot 27 on SP267645	Area 27A on sheet 1 and 5 of SB2919-01-A	Private Yard
Lot 28 on SP267645	Area 28A on sheet 1 and 5 of SB2919-01-A	Private Yard
Lot 29 on SP267645	Area 29A on sheet 1 and 5 of SB2919-01-A	Private Yard
Lot 30 on SP267645	Area 30A on sheet 1 and 5 of SB2919-01-A	Private Yard
Lot 31 on SP267645	Area 31A on sheet 1 and 5 of SB2919-01-A	Private Yard
Lot 32 on SP267645	Area 32A on sheet 1 and 6 of SB2919-01-A	Private Yard
Lot 33 on SP267645	Area 33A on sheet 1 and 6 of SB2919-01-A	Private Yard
Lot 34 on SP267645	Area 34A on sheet 1 and 6 of SB2919-01-A	Private Yard
Lot 35 on SP267645	Area 35A on sheet 1 and 6 of SB2919-01-A	Private Yard
Lot 36 on SP267645	Area 36A on sheet 1 and 6 of SB2919-01-A	Private Yard
Lot 37 on SP267645	Area 37A on sheet 1 and 7 of SB2919-01-A	Private Yard

Lot 38 on SP267645	Area 38A on sheet 1 and 7 of SB2919-01-A	Private Yard
Lot 39 on SP267645	Area 39A on sheet 1 and 7 of SB2919-01-A	Private Yard
Lot 40 on SP267645	Area 40A on sheet 1 and 7 of SB2919-01-A	Private Yard
Lot 41 on SP267645	Area 41A on sheet 1 and 7 of SB2919-01-A	Private Yard
Lot 42 on SP267645	Area 42A on sheet 1 and 8 of SB2919-01-A	Private Yard
Lot 43 on SP267645	Area 43A on sheet 1 and 8 of SB2919-01-A	Private Yard
Lot 44 on SP267645	Area 44A on sheet 1 and 8 of SB2919-01-A	Private Yard
Lot 45 on SP267645	Area 45A on sheet 1 and 8 of SB2919-01-A	Private Yard
Lot 46 on SP267645	Area 46A on sheet 1 and 7 of SB2919-01-A	Private Yard
Lot 47 on SP267645	Area 47A on sheet 1 and 7 of SB2919-01-A	Private Yard
Lot 48 on SP267645	Area 48A on sheet 1 and 7 of SB2919-01-A	Private Yard
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Lot 65 on SP267645	Area 65A on sheet 1 and 8 of SB2919-01-A	Private Yard
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Lot 77 on SP267646	Area 77A on sheet 1 and 3 of SB2919-02-A	Private Yard

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Lot 128 on SP267646	Area 128A on sheet 1 and 10 of SB2919-02-A	Private Yard



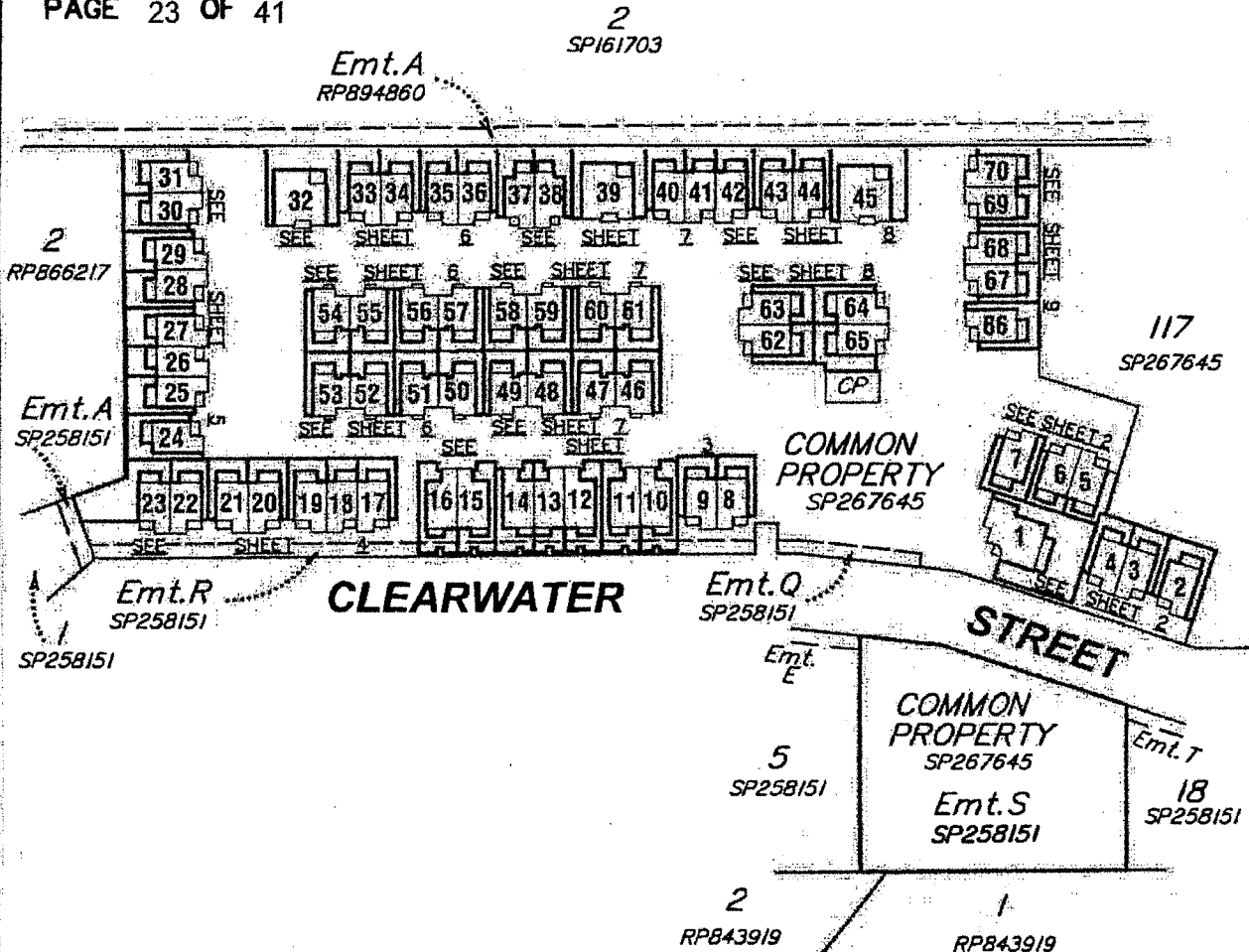
## EXCLUSIVE USE PLAN

Sheet  
1 of  
9

BETHANIA MEADOWS COMMUNITY TITLES SCHEME 47738

TITLE REFERENCE: 51006413-51006483 &amp; 51109481-51109538

PAGE 23 OF 41



## STAGE I

NOTES:  
AREAS AND DIMENSIONS ARE SUBJECT TO SURVEY & REGISTRATION OF PLANS IN THE DEPARTMENT OF NATURAL RESOURCES AND MINES.

EXCLUSIVE USE AREAS ARE DEFINED BY THE FACE OF BUILDING WALLS, FENCE LINES, EDGE OF CONCRETE SLABS AND FACE OF BLOCK RETAINING WALLS UNLESS OTHERWISE NOTED.

THIS NOTE IS AN INTEGRAL PART OF THIS PLAN. THIS PLAN MAY NOT BE REPRODUCED WITHOUT THIS NOTATION BEING INCLUDED.

Walter Consulting Group Pty Ltd (ACN 147 343 084) hereby certify that the details shown in this sketch plan are correct.

Director

Authorised Delegate  
Date

3-10-2014

Scale 1:1500 @ A4

20 0 20 40 60



■ LICENSED SURVEYORS ■ TOWN PLANNERS  
■ DEVELOPMENT CONSULTANTS

SUITE 1  
30 FLORENCE ST. ☎ (07) 36665200  
NEWSTEAD F (07) 36665202  
P.O. Box 436  
NEW FARM  
QLD 4005  
E ☒ surveying@walterconsulting.com.au

**Plan of Exclusive Use Areas of  
Common Property on SP267645  
Level A**

**Bethania Meadows C.T.S. 47738**

PARISH: **BOYD**

COUNTY: **Ward**

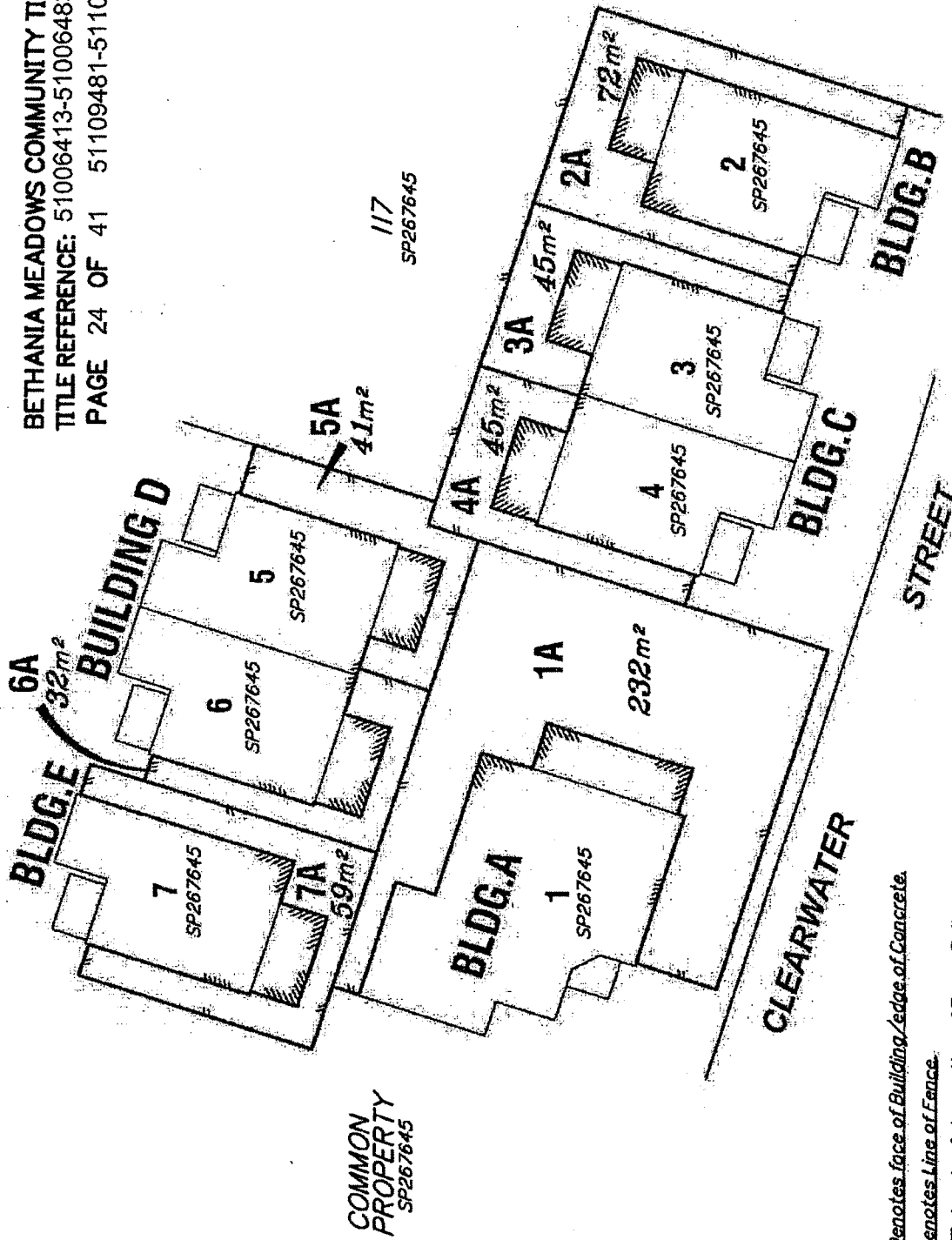
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**SB2919-01-A**

Sheet  
2  
of  
9

BETHANIA MEADOWS COMMUNITY TITLES SCHEME 47738  
TITLE REFERENCE: 51006413-51006483 &  
PAGE 24 OF 41 51109481-51109538

EXCLUSIVE USE PLAN



Scale 1:300 @ A4

0 5 10 15 20

SB2919\_01\_A

Title Reference 51006413

page 26 of 42

Sheet  
3 of  
9

# EXCLUSIVE USE PLAN

BETHANIA MEADOWS COMMUNITY TITLES SCHEME 47738  
TITLE REFERENCE: 51006413 - 51006483 & 51109481-51109538  
PAGE 25 OF 41

COMMON  
PROPERTY  
SP267645

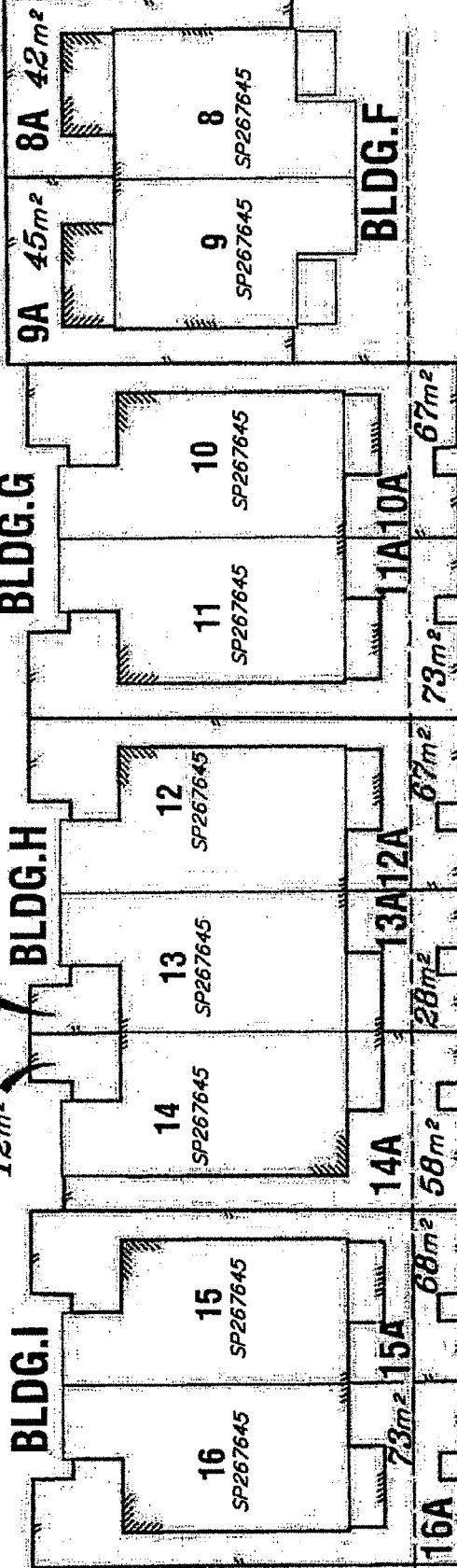
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13B 12m<sup>2</sup>

BLDG.I

BLDG.H

BLDG.G

BLDG.F



STREET

CLEARWATER

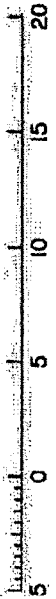
Emt.R  
SP258151

Denotes face of Building/edge of Concrete.

Denotes Line of Fence.

IFR denotes Intersection of Fence Rails.

Scale 1:300 @ A4

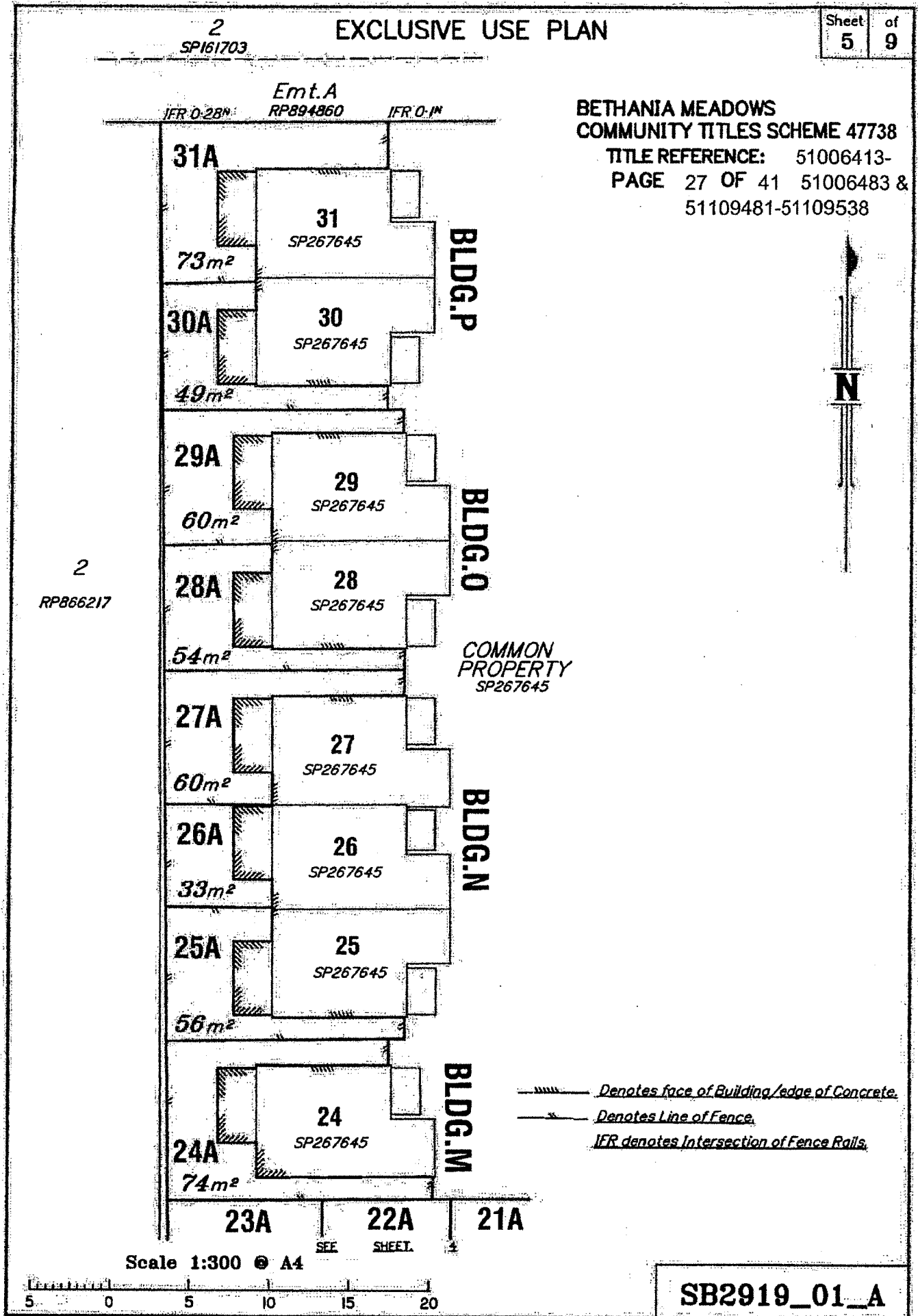


SB2919\_01\_A



Title Reference 51006413

page 28 of 42



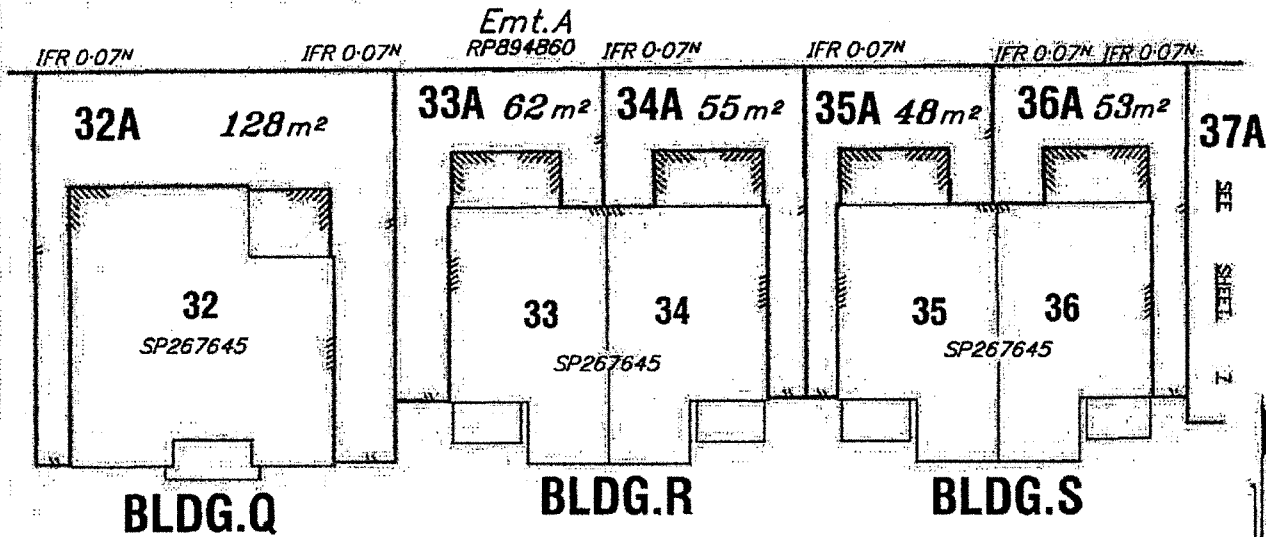
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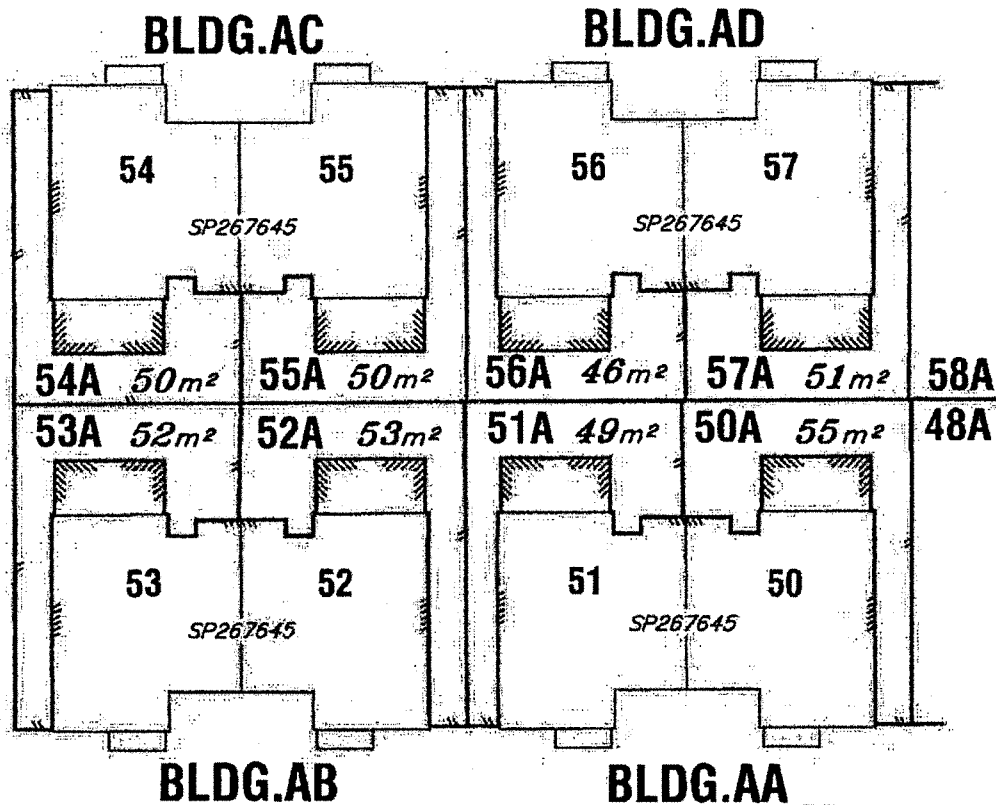
Sheet 6 of 9

# EXCLUSIVE USE PLAN

2  
SP161703



COMMON  
PROPERTY  
SP267645



Denotes face of Building/edge of Concrete.  
Denotes Line of Fence.  
IFR denotes Intersection of Fence Rails.

Scale 1:300 @ A4

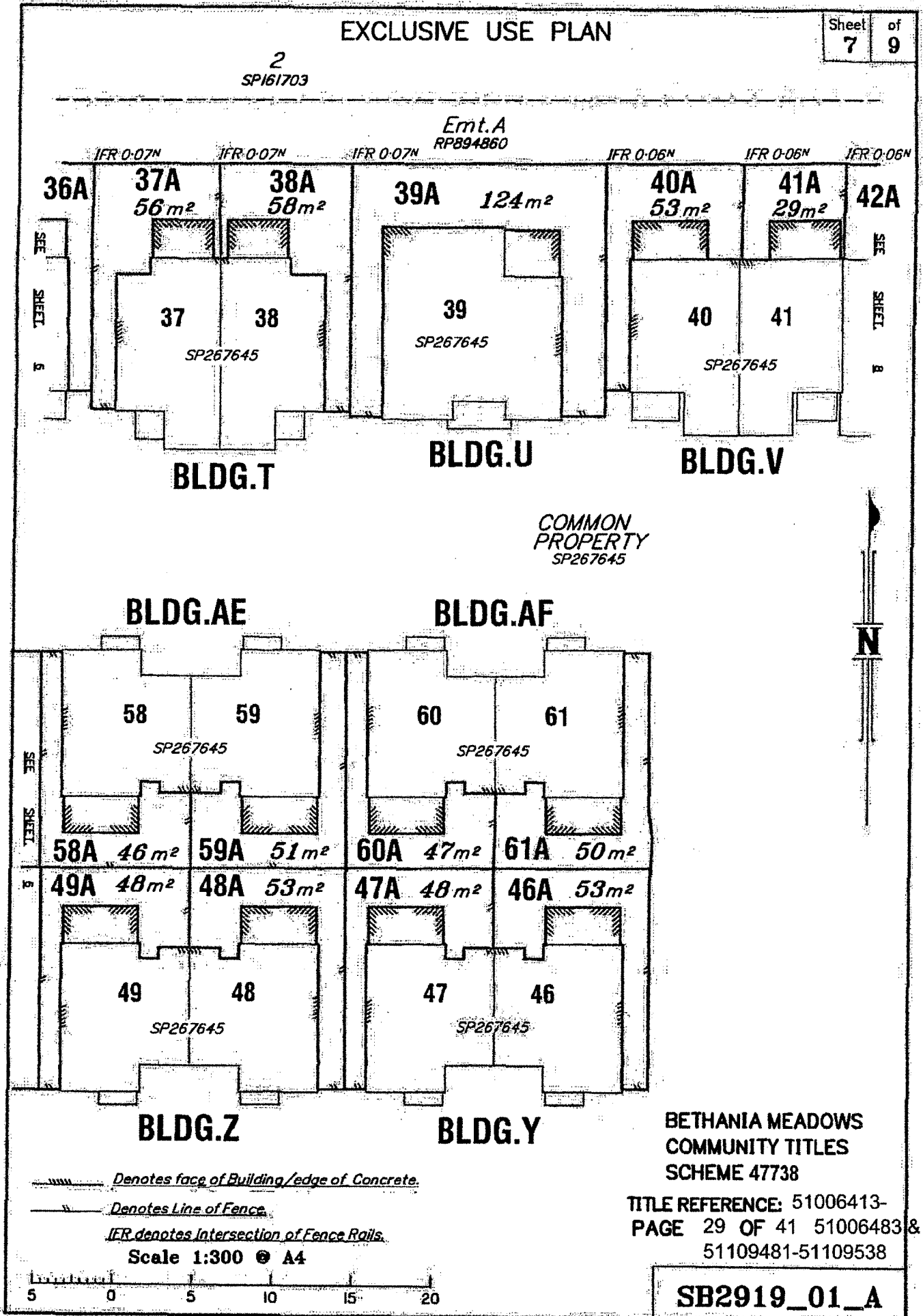
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BETHANIA MEADOWS  
COMMUNITY TITLES SCHEME 47738  
TITLE REFERENCE: 51006413-  
PAGE 28 OF 41 51006483 &  
51109481-51109538

SB2919\_01\_A

Title Reference 51006413

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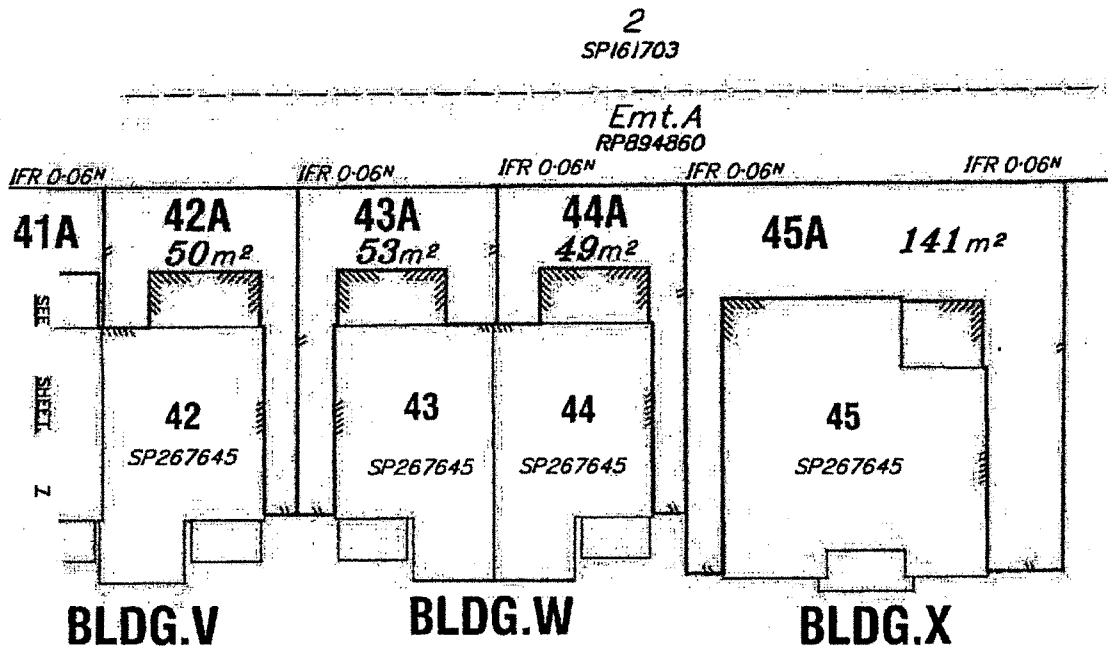


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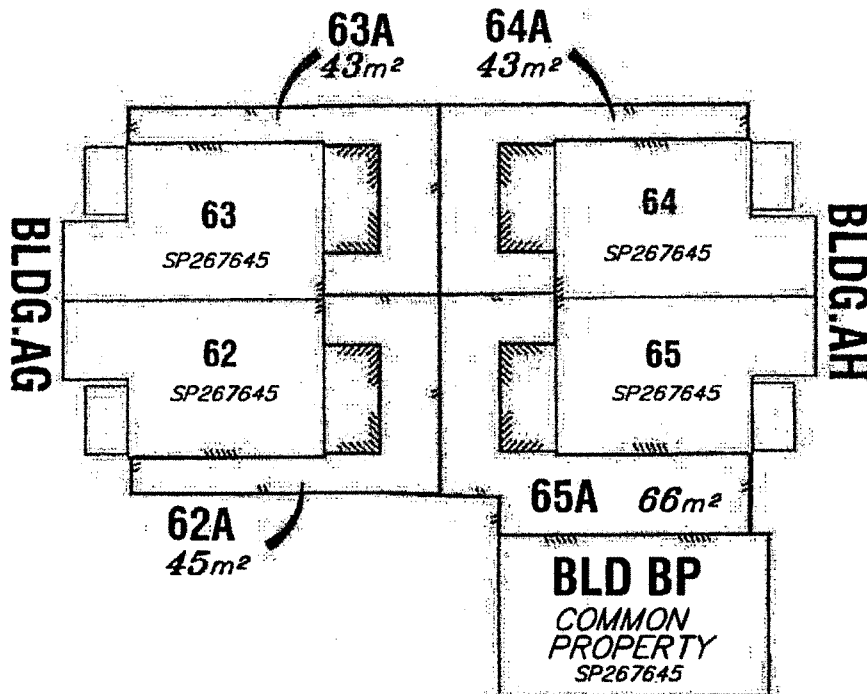
Page 31 of 42

Sheet 8 of 9

# EXCLUSIVE USE PLAN



COMMON  
PROPERTY  
SP267645



Denotes face of Building / edge of Concrete.  
Denotes Line of Fence.  
IFR denotes Intersection of Fence Rails.

Scale 1:300 @ A4



BETHANIA MEADOWS  
COMMUNITY TITLES SCHEME 47738

TITLE REFERENCE: 51006413-  
PAGE 30 OF 41 51006483 &  
51109481-51109538

SB2919\_01\_A



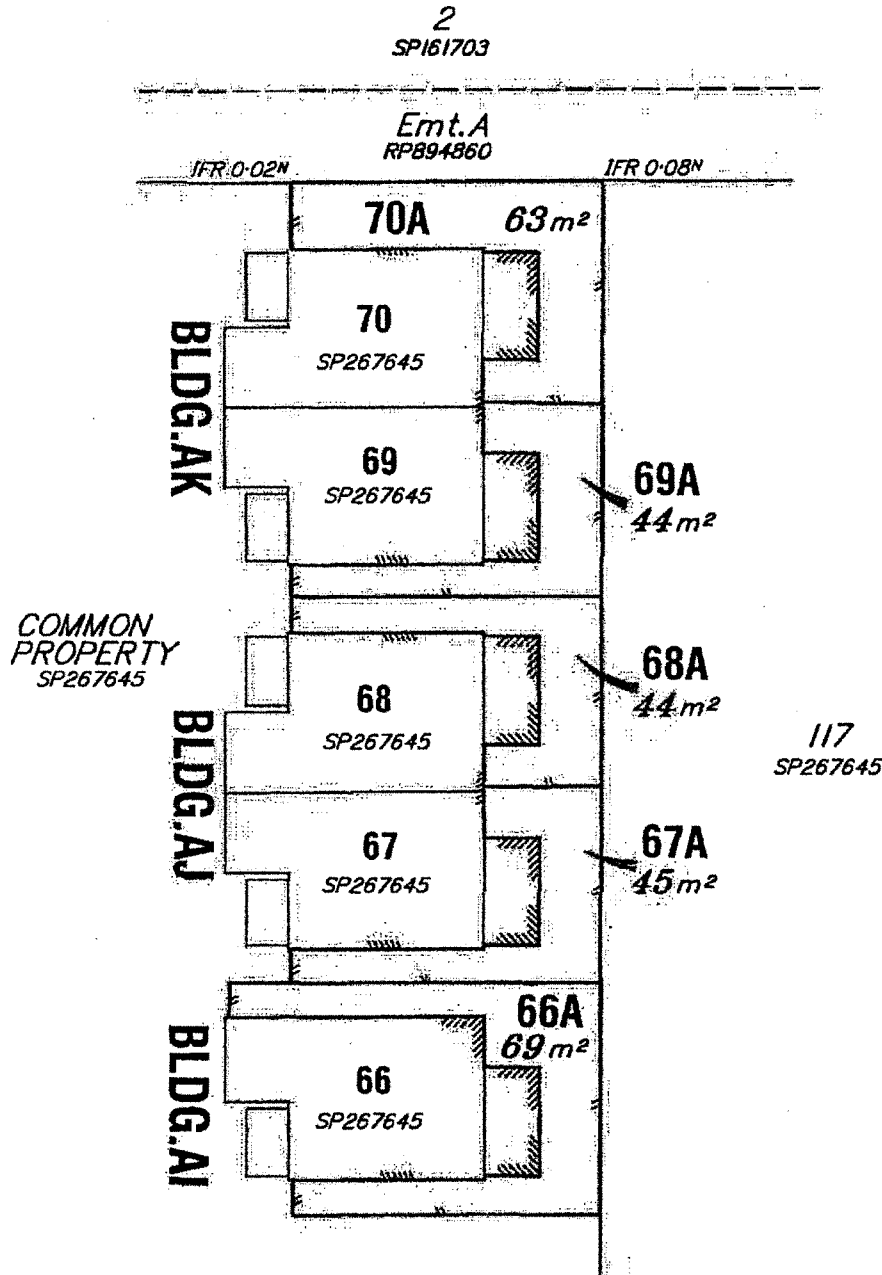
# EXCLUSIVE USE PLAN

Sheet  
9 of  
9

BETHANIA MEADOWS COMMUNITY TITLES SCHEME 47738

TITLE REFERENCE: 51006413-51006483 &

PAGE 31 OF 41 51109481-51109538



Denotes face of Building / edge of Concrete.  
Denotes Line of Fence.  
IFR denotes Intersection of Fence Rails.

Scale 1:300 @ A4



SB2919\_01\_A

Title Reference 51006413

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Sheet 1 of 10

# EXCLUSIVE USE PLAN

2  
SPI61703  
IS180516  
IS216847

BETHANIA MEADOWS COMMUNITY TITLES SCHEME 47738  
TITLE REFERENCE: 51006413 - 51006483 & 51109481-51109538

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Emt.A  
RP-894960

BLOGLAL BLOGLAM BLOGLAN  
71 72 73 74 75 76

CP  
SP267645

SEE 126 BLOGBQ BLOGBN BLOGBM BLOGBL BLOGBK  
127 128 125 124 123 122 121 120 119 118 117

BLOGBE BLOGBF BLOGBG BLOGBH BLOGBI BLOGBJ BLOGBK BLOGBL BLOGBM BLOGBN BLOGBO BLOGBP BLOGBQ BLOGBR BLOGBS BLOGBT BLOGBU BLOGBV BLOGBW BLOGBX BLOGBY BLOGBZ  
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1487 1488 1489 1490 1491 1492 1493 1494 1495 1496 1497 1498 1499 1500 1501 1502 1503 1504 1505 1506 1507 1508 1509 1510 1511 1512 1513 1514 1515 1516 1517 1518 1519 1520 1521 1522 1523 1524 1525 1526 1527 1528 1529 1530 1531 1532 1533 1534 1535 1536 1537 1538 1539 1540 1541 1542 1543 1544 1545 1546 1547 1548 1549 1550 1551 1552 1553 1554 1555 1556 1557 1558 1559 1560 1561 1562 1563 1564 1565 1566 1567 1568 1569 1570 1571 1572 1573 1574 1575 1576 1577 1578 1579 1580 1581 1582 1583 1584 1585 1586 1587 1588 1589 1590 1591 1592 1593 1594 1595 1596 1597 1598 1599 1600 1601 1602 1603 1604 1605 1606 1607 1608 1609 1610 1611 1612 1613 1614 1615 1616 1617 1618 1619 1620 1621 1622 1623 1624 1625 1626 1627 1628 1629 1630 1631 1632 1633 1634 1635 1636 1637 1638 1639 1640 1641 1642 1643 1644 1645 1646 1647 1648 1649 1650 1651 1652 1653 1654 1655 1656 1657 1658 1659 1660 1661 1662 1663 1664 1665 1666 1667 1668 1669 1670 1671 1672 1673 1674 1675 1676 1677 1678 1679 1680 1681 1682 1683 1684 1685 1686 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1887 1888 1889 1890 1891 1892 1893 1894 1895 1896 1897 1898 1899 1900 1901 1902 1903 1904 1905 1906 1907 1908 1909 1910 1911 1912 1913 1914 1915 1916 1917 1918 1919 1920 1921 1922 1923 1924 1925 1926 1927 1928 1929 1930 1931 1932 1933 1934 1935 1936 1937 1938 1939 1940 1941 1942 1943 1944 1945 1946 1947 1948 1949 1950 1951 1952 1953 1954 1955 1956 1957 1958 1959 1960 1961 1962 1963 1964 1965 1966 1967 1968 1969 1970 1971 1972 1973 1974 1975 1976 1977 1978 1979 1980 1981 1982 1983 1984 1985 1986 1987 1988 1989 1990 1991 1992 1993 1994 1995 1996 1997 1998 1999 2000 2001 2002 2003 2004 2005 2006 2007 2008 2009 2010 2011 2012 2013 2014 2015 2016 2017 2018 2019 2020 2021 2022 2023 2024 2025 2026 2027 2028 2029 2030 2031 2032 2033 2034 2035 2036 2037 2038 2039 2040 2041 2042 2043 2044 2045 2046 2047 2048 2049 2050 2051 2052 2053 2054 2055 2056 2057 2058 2059 2060 2061 2062 2063 2064 2065 2066 2067 2068 2069 2070 2071 2072 2073 2074 2075 2076 2077 2078 2079 2080 2081 2082 2083 2084 2085 2086 2087 2088 2089 2090 2091 2092 2093 2094 2095 2096 2097 2098 2099 2100 2101 2102 2103 2104 2105 2106 2107 2108 2109 2110 2111 2112 2113 2114 2115 2116 2117 2118 2119 2120 2121 2122 2123 2124 2125 2126 2127 2128 2129 2130 2131 2132 2133 2134 2135 2136 2137 2138 2139 2140 2141 2142 2143 2144 2145 2146 2147 2148 2149 2150 2151 2152 2153 2154 2155 2156 2157 2158 2159 2160 2161 2162 2163 2164 2165 2166 2167 2168 2169 2170 2171 2172 2173 2174 2175 2176 2177 2178 2179 2180 2181 2182 2183 2184 2185 2186 2187 2188 2189 2190 2191 2192 2193 2194 2195 2196 2197 2198 2199 2200 2201 2202 2203 2204 2205 2206 2207 2208 2209 2210 2211 2212 2213 2214 2215 2216 2217 2218 2219 2220 2221 2222 2223 2224 2225 2226 2227 2228 2229 2230 2231 2232 2233 2234 2235 2236 2237 2238 2239 2240 2241 2242 2243 2244 2245 2246 2247 2248 2249 2250 2251 2252 2253 2254 2255 2256 2257 2258 2259 2260 2261 2262 2263 2264 2265 2266 2267 2268 2269 2270 2271 2272 2273 2274 2275 2276 2277 2278 2279 2280 2281 2282 2283 2284 2285 2286 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2487 2488 2489 2490 2491 2492 2493 2494 2495 2496 2497 2498 2499 2500 2501 2502 2503 2504 2505 2506 2507 2508 2509 2510 2511 2512 2513 2514 2515 2516 2517 2518 2519 2520 2521 2522 2523 2524 2525 2526 2527 2528 2529 2530 2531 2532 2533 2534 2535 2536 2537 2538 2539 2540 2541 2542 2543 2544 2545 2546 2547 2548 2549 2550 2551 2552 2553 2554 2555 2556 2557 2558 2559 2560 2561 2562 2563 2564 2565 2566 2567 2568 2569 2570 2571 2572 2573 2574 2575 2576 2577 2578 2579 2580 2581 2582 2583 2584 2585 2586 2587 2588 2589 2590 2591 2592 2593 25

Title Reference 51006413

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# EXCLUSIVE USE PLAN

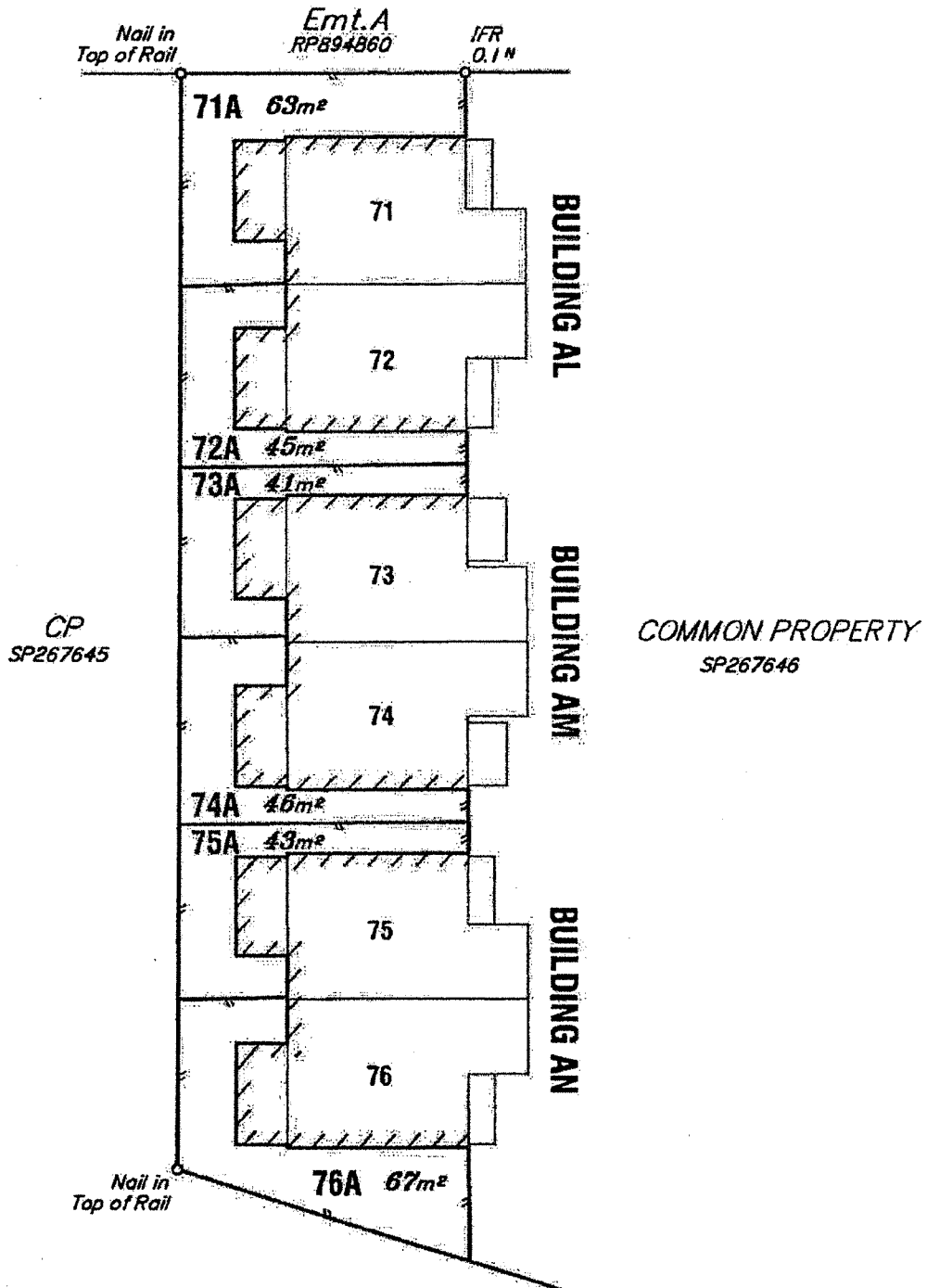
Sheet 2 of 10

BETHANIA MEADOWS COMMUNITY TITLES SCHEME 47738

TITLE REFERENCE: 51006413 - 51006483 & 51109481-51109538

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2  
SP161703  
IS180516  
IS216847



Denotes face of Building/edge of Concrete.  
Denotes Line of Fence.  
IFR denotes Intersection of Fence Rails.

Scale 1:300 - Lengths are in Metres.  
5 0 5 10 15 20

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Title Reference 51006413

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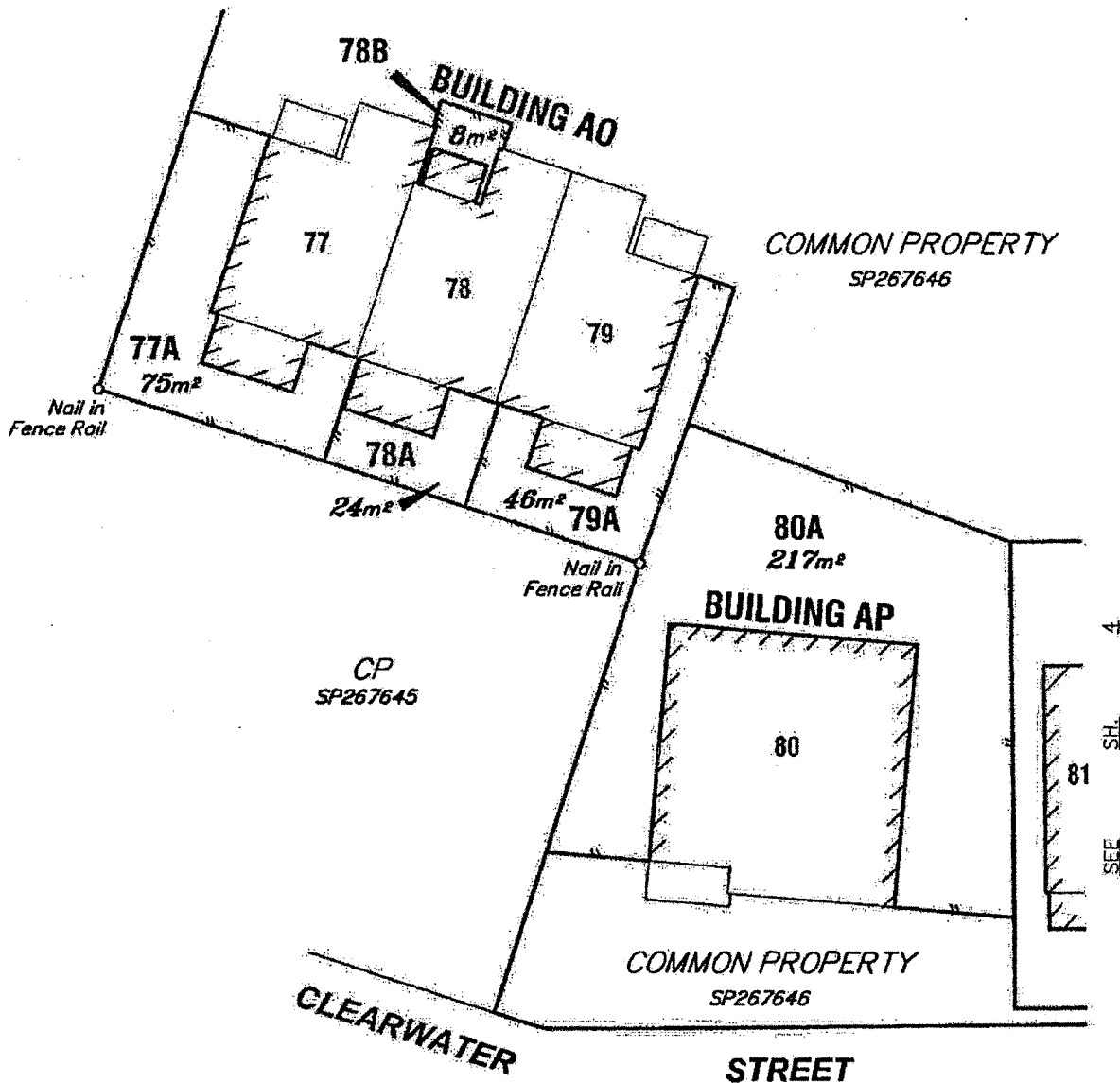
# EXCLUSIVE USE PLAN

Sheet **3** of **10**

BETHANIA MEADOWS COMMUNITY TITLES SCHEME 47738

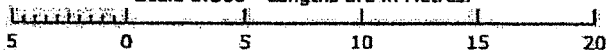
TITLE REFERENCE: 51006413 - 51006483 & 51109481-51109538

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- Denotes face of Building / edge of Concrete.
- Denotes Line of Fence.
- IER denotes Intersection of Fence Rails.

Scale 1:300 - Lengths are in Metres.



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BETHANIA MEADOWS COMMUNITY TITLES SCHEME 47738  
TITLE REFERENCE: 51006413 - 51006483 & 51109481-51109538

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COMMON PROPERTY  
SP267646

# BUILDING AS

**BUILDING AR 84B**

## BUILDING AQ

**BUILDING AQ**

81 82 83A 82A

81m<sup>2</sup> 78m<sup>2</sup>

**BUILDING AR 84B**

83 84 83A 84A

19m<sup>2</sup> 19m<sup>2</sup>

**BUILDING AS**

86 87 86A 87A

82m<sup>2</sup> 81m<sup>2</sup>

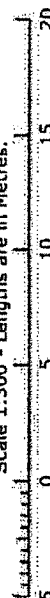
COMMON PROPERTY

# CLEARWATER

29m2

**STREET**

Scale 1:300 - Lengths are in Metres.



Denotes face of Building/edge of Concrete.

Denotes Line of Fence.

IFR denotes Intersection of Fence Rails.

SB2919-02-A

Title Reference 51006413

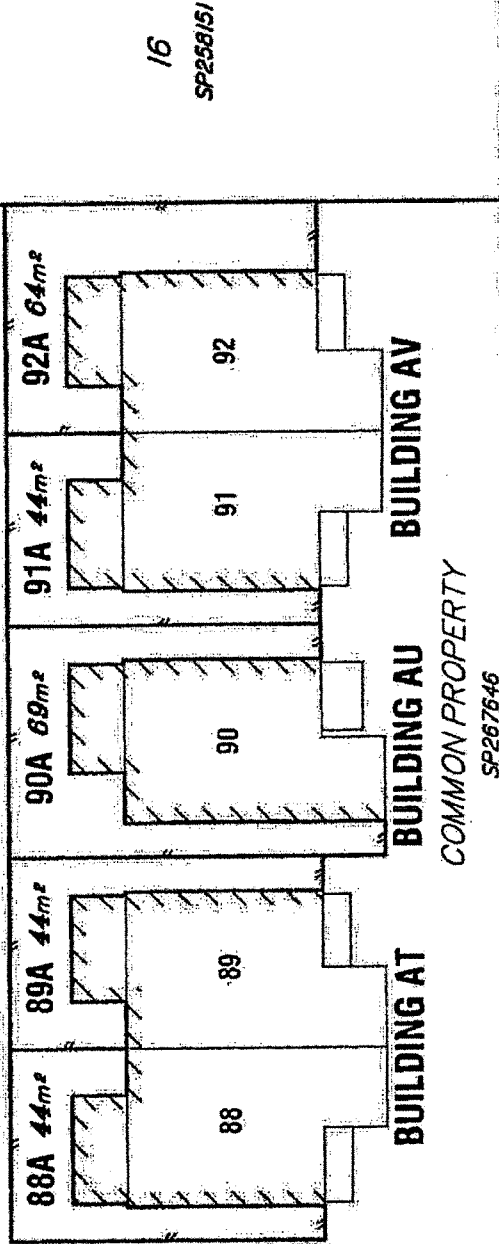
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of  
10

# EXCLUSIVE USE PLAN

BETHANIA MEADOWS COMMUNITY TITLES SCHEME 47738  
TITLE REFERENCE: 51006413 - 51006483 & 51109481-51109538  
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COMMON PROPERTY  
SP267646



CLEARWATER STREET

Denotes face of Building/Ledges of Concrete.  
Denotes Line of Fence.  
Denotes Intersection of Fence Rails.

Scale 1:300 - Lengths are in Metres.  
0 5 10 15 20

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Title Reference 51006413

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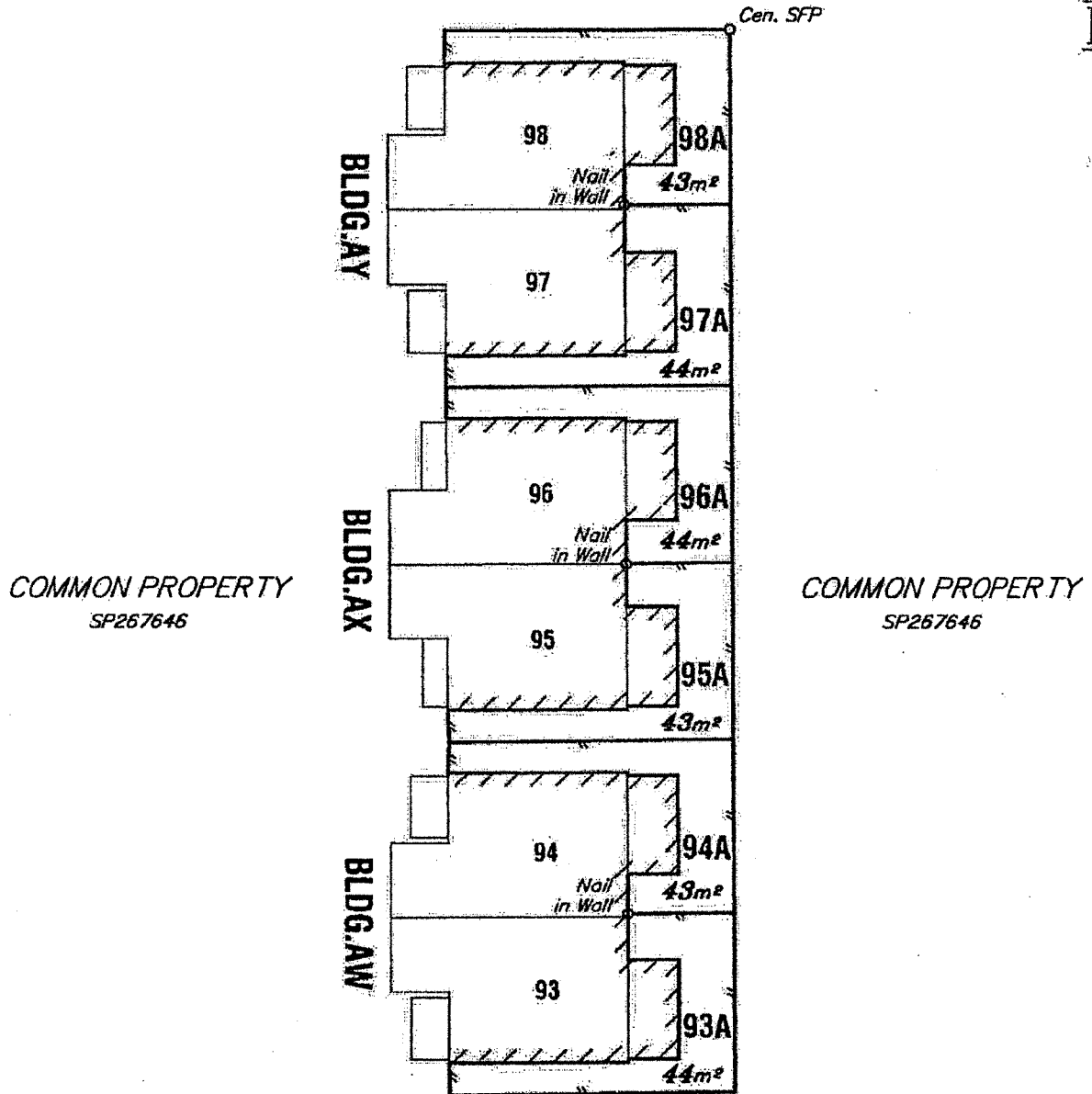
# EXCLUSIVE USE PLAN

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BETHANIA MEADOWS COMMUNITY TITLES SCHEME 47738

TITLE REFERENCE: 51006413 - 51006483 & 51109481-51109538

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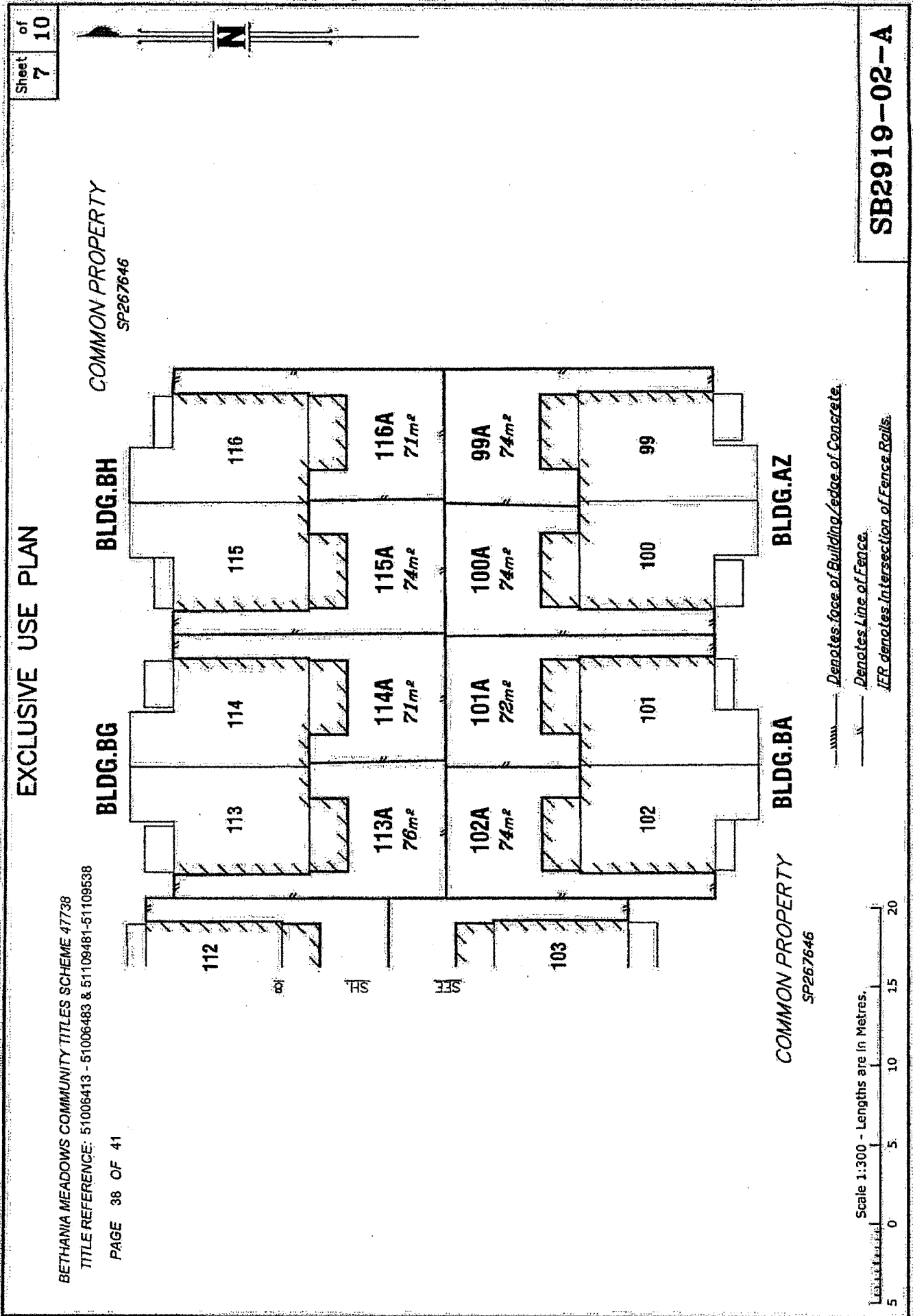
Denotes face of Building / edge of Concrete.  
 Denotes Line of Fence.  
 IER denotes Intersection of Fence Rails.

Scale 1:300 - Lengths are in Metres.

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Time Reference 51006413

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The Reference 51006413

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# EXCLUSIVE USE PLAN

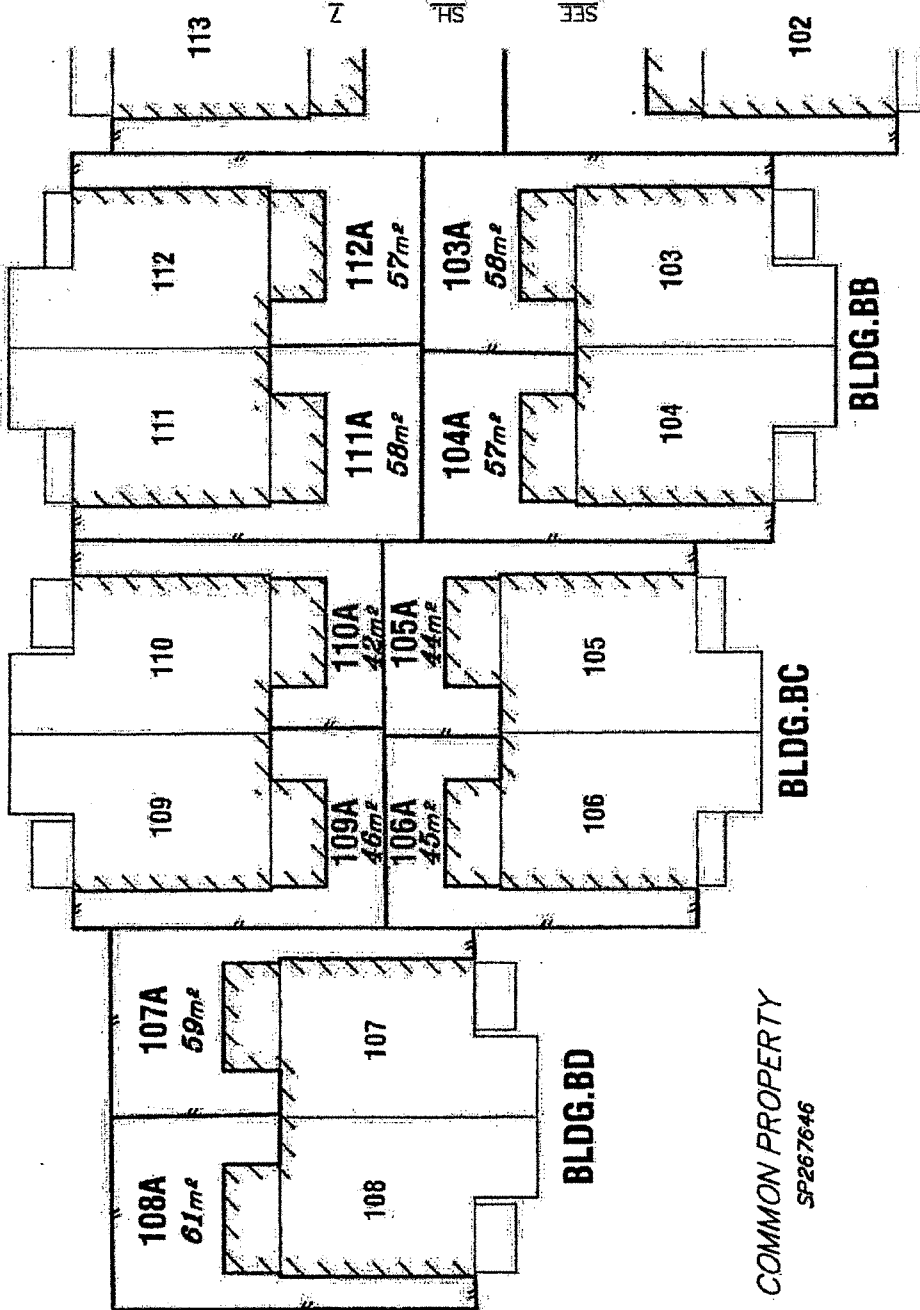
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of  
10

BETHANIA MEADOWS COMMUNITY TITLES SCHEME 47738  
TITLE REFERENCE: 51006413 - 51006483 & 51109481-51109538  
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COMMON PROPERTY  
SP267646

BLDG.BE

BLDG.BF



BLDG.BB

BLDG.BC

COMMON PROPERTY  
SP267646

Denotes face of Building/Edge of Concrete.  
Denotes Line of Fence.  
I/R denotes Intersection of Fence Rails.

Scale 1:300 - Lengths are in Metres.  
0 5 10 15 20

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Title Reference 51006413

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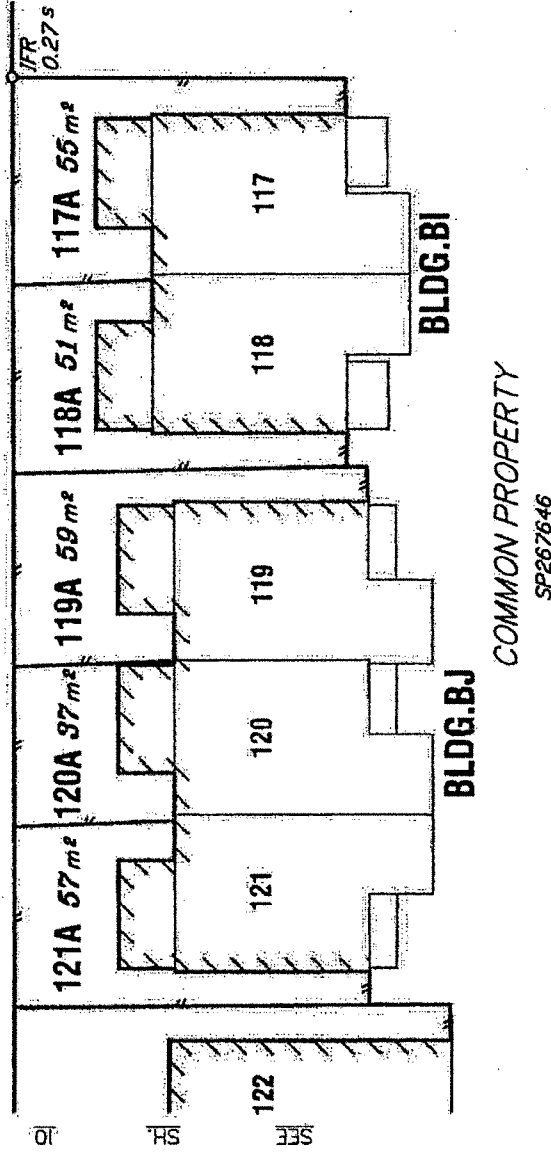
# EXCLUSIVE USE PLAN

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BETHANIA MEADOWS COMMUNITY TITLES SCHEME 47738  
TITLE REFERENCE: 51006413 - 51006483 & 5109481-5109538  
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2  
SP161703  
IS180516  
IS216847

Emt.A  
RP894860



Denotes face of Building/edge of Concrete.  
Denotes Line of Fence.  
IFR denotes Intersection of Fence Rails.

Scale 1:300 - Lengths are in Metres.  
0 5 10 15 20

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Title Reference 51006413

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# EXCLUSIVE USE PLAN

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of  
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BETHANIA MEADOWS COMMUNITY TITLES SCHEME 47738

TITLE REFERENCE: 51006413 - 51006483 & 51109481-51109538

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2

SP161703  
IS180516  
IS216847

Emt A  
RP894860

IFR 0.07 s

128A 112m<sup>2</sup>

127A 79m<sup>2</sup>

126A 50m<sup>2</sup>

125A 55m<sup>2</sup>

124A 57m<sup>2</sup>

123A 61m<sup>2</sup>

122A 130m<sup>2</sup>

9

SH

121

SFE

122

124

123

125

126

127

128

BLDG.BO

BLDG.BN

BLDG.BM

BLDG.BL

BLDG.BK

COMMON PROPERTY

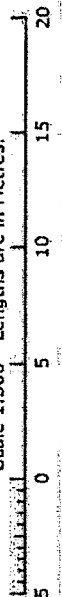
SP267646

Denotes face of Building / edge of Concrete

Denotes Line of Fence

IFR denotes Intersection of Fence Rails

Scale 1:300 - Lengths are in Metres.



SB2919-02-A