

Seller disclosure statement



Property Law Act 2023 section 99
Form 2, Version 1 | Effective from: 1 August 2025

WARNING TO BUYER – This statement contains important legal and other information about the property offered for sale. You should read and satisfy yourself of the information in this statement before signing a contract. You are advised to seek legal advice before signing this form. You should not assume you can terminate the contract after signing if you are not satisfied with the information in this statement.

WARNING – You must be given this statement before you sign the contract for the sale of the property.

This statement does not include information about:

- » flooding or other natural hazard history
- » structural soundness of the building or pest infestation
- » current or historical use of the property
- » current or past building or development approvals for the property
- » limits imposed by planning laws on the use of the land
- » services that are or may be connected to the property
- » the presence of asbestos within buildings or improvements on the property.

You are encouraged to make your own inquiries about these matters before signing a contract. You may not be able to terminate the contract if these matters are discovered after you sign.

Part 1 – Seller and property details

Seller **WATERS & BROSNAN CUSTODIAL PTY LTD**

Property address
(referred to as the “property” in this statement) **2/70-90 CLEARWATER STREET, BETHANIA QLD 4205**

Lot on plan description **2/SP299719**

Community titles scheme or BUGTA scheme: Is the property part of a community titles scheme or a BUGTA scheme:
☒ **Yes** ☐ **No**
If Yes, refer to Part 6 of this statement for additional information *If No, please disregard Part 6 of this statement as it does not need to be completed*

Part 2 – Title details, encumbrances and residential tenancy or rooming accommodation agreement

Title details	The seller gives or has given the buyer the following—	
	A title search for the property issued under the <i>Land Title Act 1994</i> showing interests registered under that Act for the property.	<input checked="" type="checkbox"/> Yes
	A copy of the plan of survey registered for the property.	<input checked="" type="checkbox"/> Yes

Registered encumbrances	<p>Registered encumbrances, if any, are recorded on the title search, and may affect your use of the property. Examples include easements, statutory covenants, leases and mortgages.</p> <p>You should seek legal advice about your rights and obligations before signing the contract.</p>						
Unregistered encumbrances (excluding statutory encumbrances)	<p>There are encumbrances not registered on the title that will continue <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No to affect the property after settlement.</p> <p>Note—If the property is part of a community titles scheme or a BUGTA scheme it may be subject to and have the benefit of statutory easements that are NOT required to be disclosed.</p> <p>Unregistered lease (if applicable)</p> <p>If the unregistered encumbrance is an unregistered lease, the details of the agreement are as follows:</p> <table border="1" data-bbox="415 474 1455 651"> <tr> <td>» the start and end day of the term of the lease:</td><td>11/02/2025 - 11/02/2026</td></tr> <tr> <td>» the amount of rent and bond payable:</td><td>\$475/week & \$1,280 Bond</td></tr> <tr> <td>» whether the lease has an option to renew:</td><td>N/A</td></tr> </table> <p>Other unregistered agreement in writing (if applicable)</p> <p>If the unregistered encumbrance is created by an agreement in writing, and is not an unregistered lease, a copy of the agreement is given, together with relevant plans, if any. <input type="checkbox"/> Yes</p> <p>Unregistered oral agreement (if applicable)</p> <p>If the unregistered encumbrance is created by an oral agreement, and is not an unregistered lease, the details of the agreement are as follows:</p> <div data-bbox="415 951 1455 1209" style="border: 1px solid black; height: 120px; width: 100%;"></div>	» the start and end day of the term of the lease:	11/02/2025 - 11/02/2026	» the amount of rent and bond payable:	\$475/week & \$1,280 Bond	» whether the lease has an option to renew:	N/A
» the start and end day of the term of the lease:	11/02/2025 - 11/02/2026						
» the amount of rent and bond payable:	\$475/week & \$1,280 Bond						
» whether the lease has an option to renew:	N/A						
Statutory encumbrances	<p>There are statutory encumbrances that affect the property. <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p><i>If Yes, the details of any statutory encumbrances are as follows:</i></p> <div data-bbox="415 1297 1455 1549" style="border: 1px solid black; height: 120px; width: 100%;"></div>						
Residential tenancy or rooming accommodation agreement	<p>The property has been subject to a residential tenancy agreement or a rooming accommodation agreement under the <i>Residential Tenancies and Rooming Accommodation Act 2008</i> during the last 12 months. <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes, when was the rent for the premises or each of the residents' rooms last increased? (<i>Insert date of the most recent rent increase for the premises or rooms</i>) 11 February 2025</p> <p>Note—Under the <i>Residential Tenancies and Rooming Accommodation Act 2008</i> the rent for a residential premises may not be increased earlier than 12 months after the last rent increase for the premises.</p> <p>As the owner of the property, you may need to provide evidence of the day of the last rent increase. You should ask the seller to provide this evidence to you prior to settlement.</p>						

Part 3 – Land use, planning and environment

WARNING TO BUYER – You may not have any rights if the current or proposed use of the property is not lawful under the local planning scheme. You can obtain further information about any planning and development restrictions applicable to the lot, including in relation to short-term letting, from the relevant local government.

Zoning	<p>The zoning of the property is (<i>Insert zoning under the planning scheme, the Economic Development Act 2012; the Integrated Resort Development Act 1987; the Mixed Use Development Act 1993; the State Development and Public Works Organisation Act 1971 or the Sanctuary Cove Resort Act 1985, as applicable</i>):</p> <div style="border: 1px solid black; padding: 5px;">Low Density Residential</div>	
Transport proposals and resumptions	<p>The lot is affected by a notice issued by a Commonwealth, State or local government entity and given to the seller about a transport infrastructure proposal* to: locate transport infrastructure on the property; or alter the dimensions of the property. <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>The lot is affected by a notice of intention to resume the property or any part of the property. <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p><i>If Yes, a copy of the notice, order, proposal or correspondence must be given by the seller.</i></p>	
Contamination and environmental protection	<p>The property is recorded on the Environmental Management Register or the Contaminated Land Register under the <i>Environmental Protection Act 1994</i>. <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>The following notices are, or have been, given:</p> <p>A notice under section 408(2) of the <i>Environmental Protection Act 1994</i> (for example, land is contaminated, show cause notice, requirement for site investigation, clean up notice or site management plan). <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>A notice under section 369C(2) of the <i>Environmental Protection Act 1994</i> (the property is a place or business to which an environmental enforcement order applies). <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>A notice under section 347(2) of the <i>Environmental Protection Act 1994</i> (the property is a place or business to which a prescribed transitional environmental program applies). <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p>	
Trees	<p>There is a tree order or application under the <i>Neighbourhood Disputes (Dividing Fences and Trees) Act 2011</i> affecting the property. <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p><i>If Yes, a copy of the order or application must be given by the seller.</i></p>	
Heritage	<p>The property is affected by the <i>Queensland Heritage Act 1992</i> or is included in the World Heritage List under the <i>Environment Protection and Biodiversity Conservation Act 1999</i> (Cwlth). <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p>	
Flooding	<p>Information about whether the property is affected by flooding or another natural hazard or within a natural hazard overlay can be obtained from the relevant local government and you should make your own enquires. Flood information for the property may also be available at the FloodCheck Queensland portal or the Australian Flood Risk Information portal.</p>	
Vegetation, habitats and protected plants	<p>Information about vegetation clearing, koala habitats and other restrictions on development of the land that may apply can be obtained from the relevant State government agency.</p>	

Part 4 – Buildings and structures

WARNING TO BUYER – The seller does not warrant the structural soundness of the buildings or improvements on the property, or that the buildings on the property have the required approval, or that there is no pest infestation affecting the property. You should engage a licensed building inspector or an appropriately qualified engineer, builder or pest inspector to inspect the property and provide a report and also undertake searches to determine whether buildings and improvements on the property have the required approvals.

Swimming pool	<p>There is a relevant pool for the property.</p> <p>If a community titles scheme or a BUGTA scheme – a shared pool is located in the scheme.</p> <p>Pool compliance certificate is given.</p> <p>OR</p> <p>Notice of no pool safety certificate is given.</p>	<p><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p>
Unlicensed building work under owner builder permit	<p>Building work was carried out on the property under an owner builder permit in the last 6 years.</p> <p><i>A notice under section 47 of the Queensland Building and Construction Commission Act 1991 must be given by the seller and you may be required to sign the notice and return it to the seller prior to signing the contract.</i></p>	
Notices and orders	<p>There is an unsatisfied show cause notice or enforcement notice under the <i>Building Act 1975</i>, section 246AG, 247 or 248 or under the <i>Planning Act 2016</i>, section 167 or 168.</p> <p>The seller has been given a notice or order, that remains in effect, from a local, State or Commonwealth government, a court or tribunal, or other competent authority, requiring work to be done or money to be spent in relation to the property.</p> <p><i>If Yes, a copy of the notice or order must be given by the seller.</i></p>	<p><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p>
Building Energy Efficiency Certificate	<p>If the property is a commercial office building of more than 1,000m², a Building Energy Efficiency Certificate is available on the Building Energy Efficiency Register.</p>	
Asbestos	<p>The seller does not warrant whether asbestos is present within buildings or improvements on the property. Buildings or improvements built before 1990 may contain asbestos. Asbestos containing materials (ACM) may have been used up until the early 2000s. Asbestos or ACM may become dangerous when damaged, disturbed, or deteriorating. Information about asbestos is available at the Queensland Government Asbestos Website (asbestos.qld.gov.au) including common locations of asbestos and other practical guidance for homeowners.</p>	

Part 5 – Rates and services

WARNING TO BUYER – The amount of charges imposed on you may be different to the amount imposed on the seller.

Rates

Whichever of the following applies—

The total amount payable* for all rates and charges (without any discount) for the property as stated in the most recent rate notice is:

Amount: \$641.08

Date Range: 01/07/2025 - 30/09/2025

OR

The property is currently a rates exempt lot.** ☐

OR

The property is not rates exempt but no separate assessment of rates ☐ is issued by a local government for the property.

*Concessions: A local government may grant a concession for rates. The concession will not pass to you as buyer unless you meet the criteria in section 120 of the *Local Government Regulation 2012* or section 112 of the *City of Brisbane Regulation 2012*.

** An exemption for rates applies to particular entities. The exemption will not pass to you as buyer unless you meet the criteria in section 93 of the *Local Government Act 2009* or section 95 of the *City of Brisbane Act 2010*.

Water

Whichever of the following applies—

The total amount payable as charges for water services for the property as indicated in the most recent water services notice* is:

Amount: \$468.09

Date Range: 01/07/2025 - 30/09/2025

OR

There is no separate water services notice issued for the lot; however, an estimate of the total amount payable for water services is:

Amount:

Date Range:

* A water services notices means a notice of water charges issued by a water service provider under the *Water Supply (Safety and Reliability) Act 2008*.

Part 6 – Community titles schemes and BUGTA schemes

(If the property is part of a community titles scheme or a BUGTA scheme this Part must be completed)

WARNING TO BUYER – If the property is part of a community titles scheme or a BUGTA scheme and you purchase the property, you will become a member of the body corporate for the scheme with the right to participate in significant decisions about the scheme and you will be required to pay contributions towards the body corporate's expenses in managing the scheme. You will also be required to comply with the by-laws. By-laws will regulate your use of common property and the lot.

For more information about living in a body corporate and your rights and obligations, contact the Office of the Commissioner for Body Corporate and Community Management.

Body Corporate and Community Management Act 1997	The property is included in a community titles scheme. <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <i>(If Yes, complete the information below)</i>
Community Management Statement	A copy of the most recent community management statement for the scheme as recorded under the <i>Land Title Act 1994</i> or another Act is given to the buyer. <input checked="" type="checkbox"/> Yes Note —If the property is part of a community titles scheme, the community management statement for the scheme contains important information about the rights and obligations of owners of lots in the scheme including matters such as lot entitlements, by-laws and exclusive use areas.
Body Corporate Certificate	A copy of a body corporate certificate for the lot under the <i>Body Corporate and Community Management Act 1997</i> , section 205(4) is given to the buyer. <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If No — An explanatory statement is given to the buyer that states: <input type="checkbox"/> Yes » a copy of a body corporate certificate for the lot is not attached; and » the reasons under section 6 of the <i>Property Law Regulation 2024</i> why the seller has not been able to obtain a copy of the body corporate certificate for the lot.
Statutory Warranties	Statutory Warranties —If you enter into a contract, you will have implied warranties under the <i>Body Corporate and Community Management Act 1997</i> relating to matters such as latent or patent defects in common property or body corporate assets; any actual, expected or contingent financial liabilities that are not part of the normal operating costs; and any circumstances in relation to the affairs of the body corporate that will materially prejudice you as owner of the property. There will be further disclosure about warranties in the contract.

Building Units and Group Titles Act 1980	The property is included in a BUGTA scheme <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <i>(If Yes, complete the information below)</i>
Body Corporate Certificate	A copy of a body corporate certificate for the lot under the <i>Building Units and Group Titles Act 1980</i> , section 40AA(1) is given to the buyer. <input type="checkbox"/> Yes <input type="checkbox"/> No If No — An explanatory statement is given to the buyer that states: <input type="checkbox"/> Yes » a copy of a body corporate certificate for the lot is not attached; and » the reasons under section 7 of the <i>Property Law Regulation 2024</i> why the seller has not been able to obtain a copy of the body corporate certificate for the lot. Note —If the property is part of a BUGTA scheme, you will be subject to by-laws approved by the body corporate and other by-laws that regulate your use of the property and common property.

Signatures – SELLER

Signed by:
Reginald John Waters
1A4C5C397EFC432
Signature of seller

Reginald John Waters
Name of Seller

25/9/2025
Date

Signed by:
Sarah Helena Brosnan
7CCC07A87A38483
Signature of seller

Sarah Helena Brosnan
Name of Seller

30/9/2025
Date

Signatures – BUYER

By signing this disclosure statement the buyer acknowledges receipt of this disclosure statement before entering into a contract with the seller for the sale of the lot.

Signature of buyer

Name of buyer

Date

Signature of buyer

Name of buyer

Date



CURRENT TITLE SEARCH
QUEENSLAND TITLES REGISTRY PTY LTD

Request No: 53470777
Search Date: 23/09/2025 16:35

Title Reference: 51209052
Date Created: 23/01/2020

Previous Title: 51082695

REGISTERED OWNER

Dealing No: 719890585 10/02/2020

WATERS & BROSNAN CUSTODIAL PTY LTD A.C.N. 635 973 894
TRUSTEE
UNDER INSTRUMENT 719890585

ESTATE AND LAND

Estate in Fee Simple

LOT 2 SURVEY PLAN 299719
Local Government: LOGAN
COMMUNITY MANAGEMENT STATEMENT 53375

EASEMENTS, ENCUMBRANCES AND INTERESTS

1. Rights and interests reserved to the Crown by
Deed of Grant No. 10033121 (POR 15)
2. MORTGAGE No 719890586 10/02/2020 at 09:06
PERPETUAL CORPORATE TRUST LIMITED A.C.N. 000 341 533

ADMINISTRATIVE ADVICES - NIL
UNREGISTERED DEALINGS - NIL

Caution - Charges do not necessarily appear in order of priority

** End of Current Title Search **

COPYRIGHT QUEENSLAND TITLES REGISTRY PTY LTD [2025]
Requested By: D-ENQ INFOTRACK PTY LIMITED

Land Title Act 1994; Land Act 1994
Form 21 Version 4

SURVEY PLAN

Sheet
1 of
13

Reg. placed at all new corners, unless otherwise stated.

Buildings A-AD are 2 Storey Buildings.

See Sheet 3 for Building Connections.

See Sheet 3 for Reference Mark & Permanent Mark Tabulations.

Building AE is a Single Storey Building.

Area of Base Parcel

1-522 ha

Walter Consulting Group Pty Ltd (ACN 147 343 084) hereby certify that the land comprised in this plan was surveyed by the corporation, by Jarrod Christopher TOWNEND, Surveying Graduate for whose work the corporation accepts responsibility, under the supervision of Andrew Robert THURSTON, Cadastral Surveyor and that the plan is accurate, that the said survey was performed in accordance with the Survey and Mapping Infrastructure Act 2003 and Surveyors Act 2003 and associated Regulations and Standards and that the said survey was completed on 22-01-2019.

Authorised Delegate

Date

13-2-2019

Plan of Lots 1-61 & Common Property

Cancelling Lot 38 on SP290407

LOCAL
GOVERNMENT: LOGAN CITY

LOCALITY: BETHANIA

Meridian: SP290407

Survey
Records: No

Scale: 1:750

Format: BUILDING



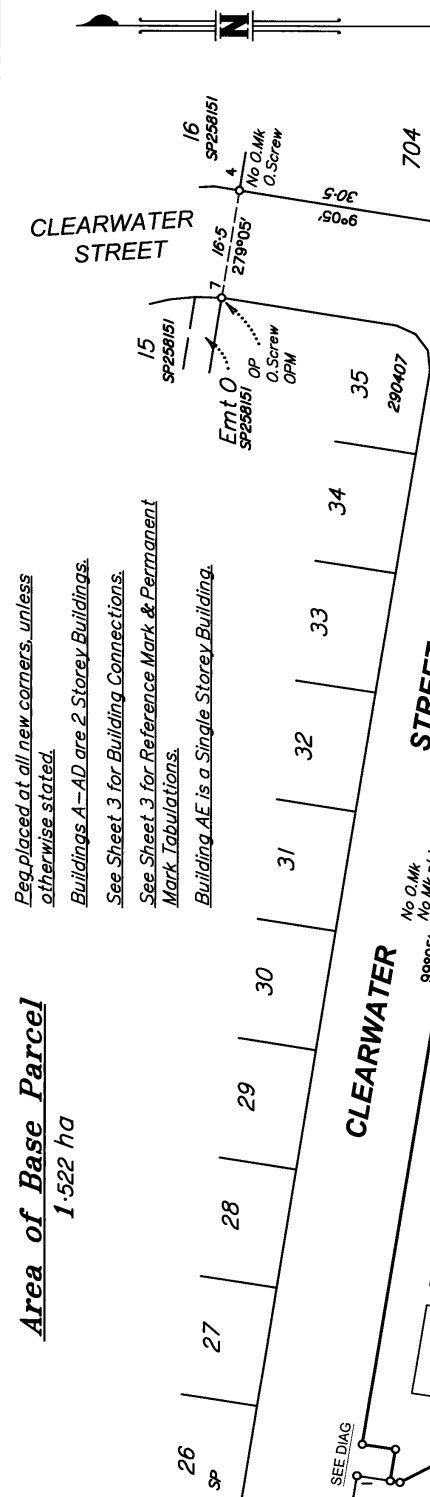
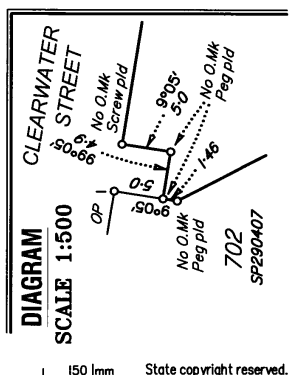
SP299719

Scale 1:750 - Lengths are in Metres.

10 0 10 20 30 40 50 60 70 80 90 100 110

Reinstatement Report

Subject boundaries have been reinstated from existing monuments from SP290407. The reinstatement of the subject boundaries directly follows the precedent established by this plan and dimensions agree within established survey accuracies.



Land Title Act 1994; Land Act 1994
Form 21B Version 1**719858650**\$6544.00
21/01/2020 15:24**BE 400 NT****WARNING : Folded or Mutilated Plans will not be accepted.**Sheet
2 of
13**Plans may be rolled.****Information may not be placed in the outer margins.**

5. Lodged by

PHILIP USHER CONSTRUCTIONS PTY LTD
P.O. BOX 1536
BROWNS PLAINS Q. 4118
PHONE 38001666
CODE 060A

(Include address, phone number, reference, and Lodger Code)

1. Certificate of Registered Owners or Lessees.

I/We Philip Usher Constructions Pty Ltd
ACN 011 008 101

(Names in full)

*as Registered Owners of this land agree to this plan and dedicate the Public Use
Land as shown hereon in accordance with Section 50 of the Land Title Act 1994.

*as Lessees of this land agree to this plan:

Signature of *Registered Owners *Lessees

FOR PHILIP USHER CONSTRUCTIONS
PTY LTD ACN 011 008 101 ITS DULY
CONSTITUTED ATTORNEY STEPHEN
GEORGE TURNER UNDER POWER OF
ATTORNEY No. 705047047

* Rule out whichever is inapplicable

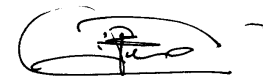
2. Planning Body Approval.

Logan City Council

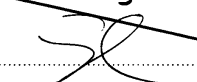
*

hereby approves this plan in accordance with the:

%

Planning Act 2016Dated this Seventeenth day of January 2020

Nicholas Fenevo

Delegated Officer under
Delegated AuthorityMinute No: 394/2018Dated this Thirty-first day of May 2019

Steve Kinsela

Delegated Officer under
Delegated AuthorityMinute No: 275/2014* Insert the name of the Planning Body.
Insert designation of signatory or delegation

% Insert applicable approving legislation.

3. Plans with Community Management Statement:

CMS Number: 53375
Name: Clearwater Junction

4. References:

Dept File:
Local Govt: 1133340-1
Surveyor: SB3456

6. Existing		Created		
Title Reference	Description	New Lots	Road	Secondary Interests
51082695	Lot 38 on SP290407	I-61 & CP		

Date of Development Approval: 23-07-2015

9. Building Format Plans only.

I certify that:

* As far as it is practical to determine, no part
of the building shown on this plan encroaches
onto adjoining lots or road;~~* Part of the building shown on this plan
encroaches onto adjoining lots and road~~Cadastral Surveyor/Director * Date
13.2.2019

*delete words not required

10. Lodgement Fees:

Survey Deposit	\$
Lodgement	\$
.....New Titles	\$
Photocopy	\$
Postage	\$
TOTAL	\$

11. Insert
Plan
Number**SP299719**

I-61 & CP	Por 15
Lots	Orig

7. Orig Grant Allocation:

8. Passed & Endorsed:

By: Walter Consulting Group Pty Ltd
Date: 13-2-2019
Signed: ALD
Designation: Liaison Officer

Land Title Act 1994; Land Act 1994
Form 21A Version 1

ADDITIONAL SHEET

Sheet 3 of 13

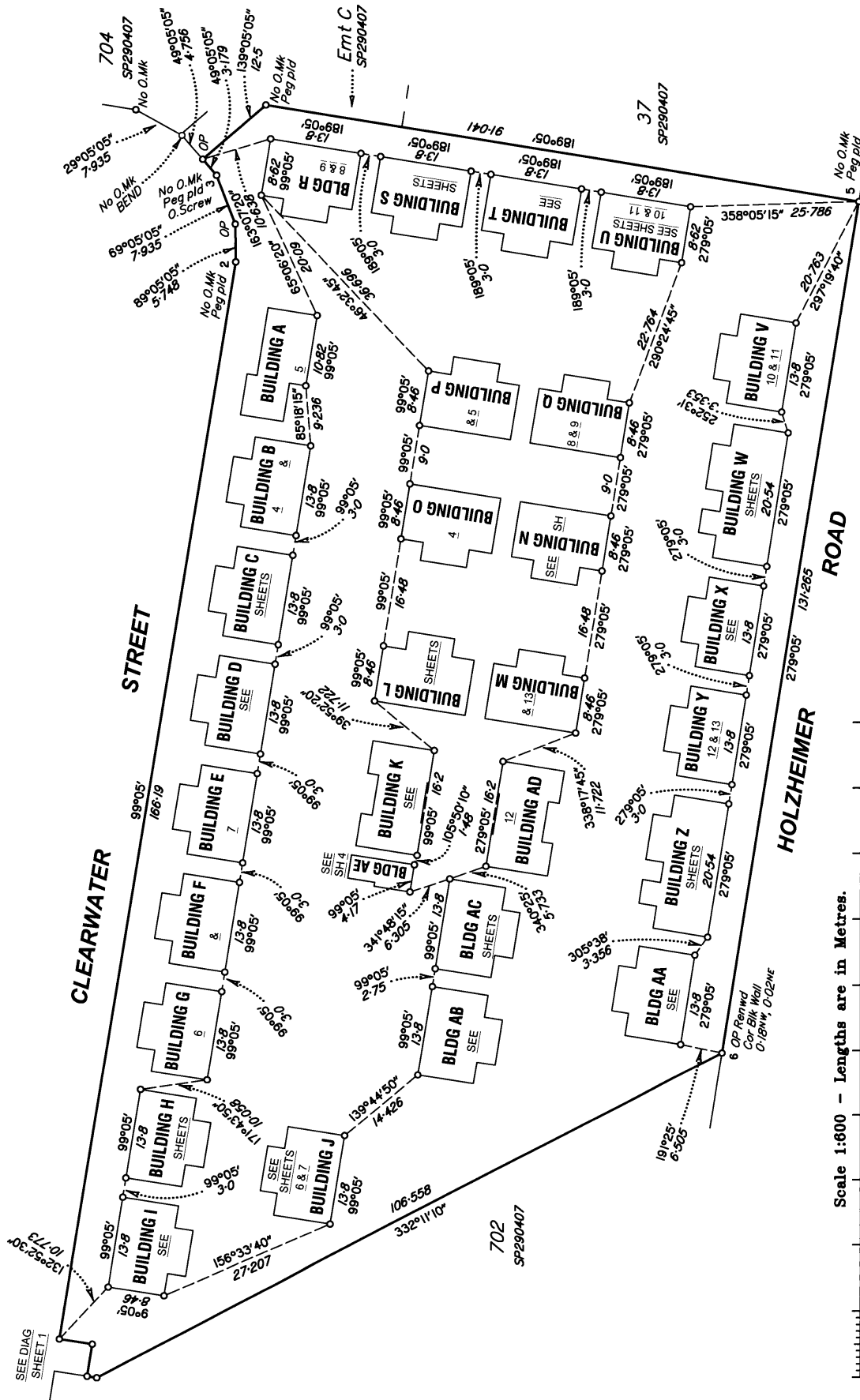


REFERENCE MARKS

STN	TO	ORIGIN	BEARING	DIST
1	Screw in Conc	20/SP290407	292°53'30"	9.32
1a	0.5 Screw in Kerb	18/SP290407	303°21'	10.677
3	0.5 Screw in Kerb	3/SP271476	331°32'	5.106
4	0.5 Screw in Kerb	2/SP271476	209°36'	12.312
5	Pin		152°47'	3.409
6	Pin		254°18'	2.51
7	0.5 Screw in Kerb	2/SP271476	86°12'	4.144

PERMANENT MARKS

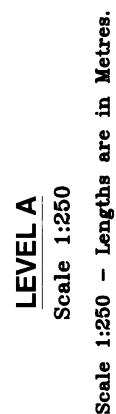
PM	ORIGIN	BEARING	DIST	NO
7-OPM	2/SP271476	344°52'	40.204	197918



Scale 1:600 - Lengths are in Metres.

State copyright reserved.

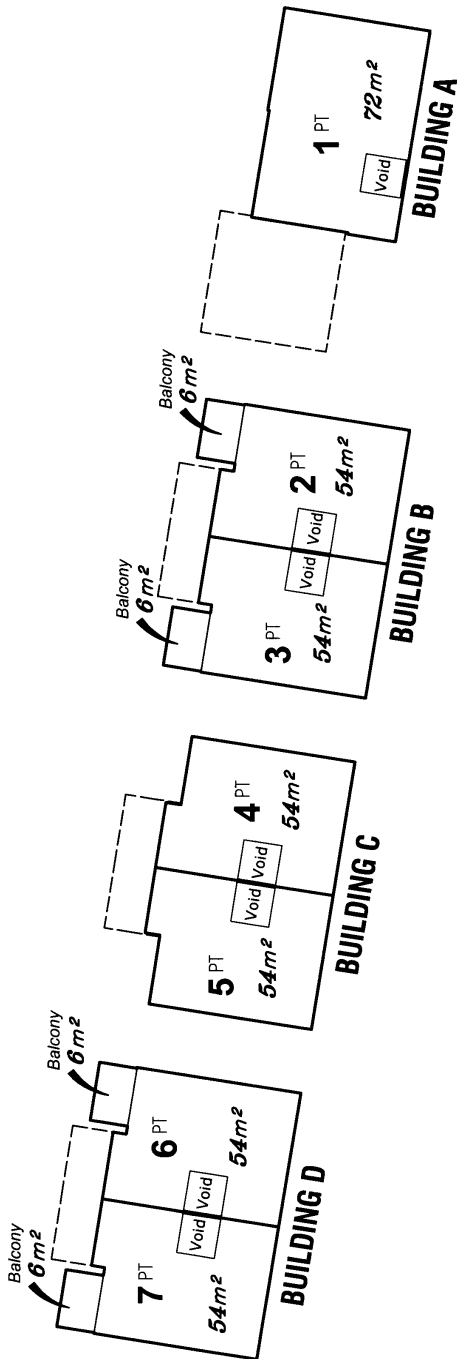
Insert Plan Number SP299719



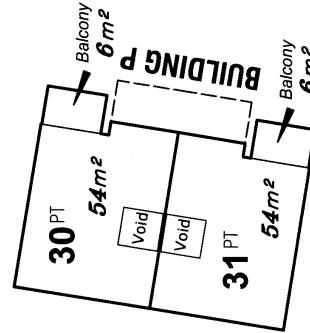
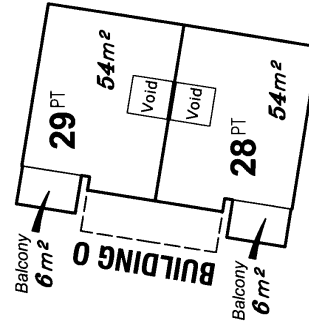
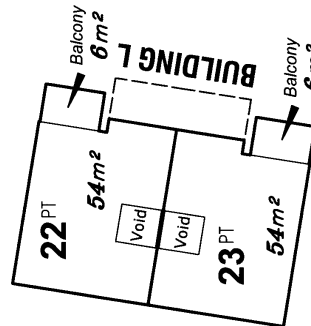
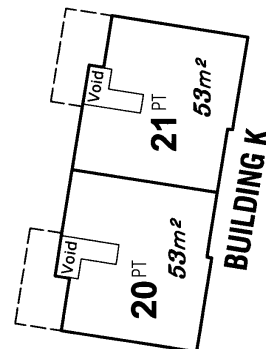
State copyright reserved.

S Denotes Drill Hole in Face of Br: 0.12NE
T Denotes Drill Hole in Face of Br: 0.12NW
U Denotes Drill Hole in Face of Br: 0.12SE
V Denotes Drill Hole in Face of Br: 0.12SW
W Denotes Cor Br: 0.12SE, 0.16NE
X Denotes Cor Br: 0.12NW, 0.16NE
Y Denotes Cor Br: 0.12SE, 0.16SW
Z Denotes Cor Br: 0.12NW, 0.16SW
A Denotes Cor Br: 0.12NE, 0.16SE
B Denotes Cor Br: 0.12NE, 0.16NW
C Denotes Cor Br: 0.12SW, 0.16NW
D Denotes Cor Br: 0.12SW, 0.16SW

Insert
Plan
Number **SP299719**

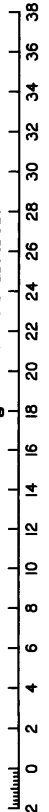


COMMON
PROPERTY

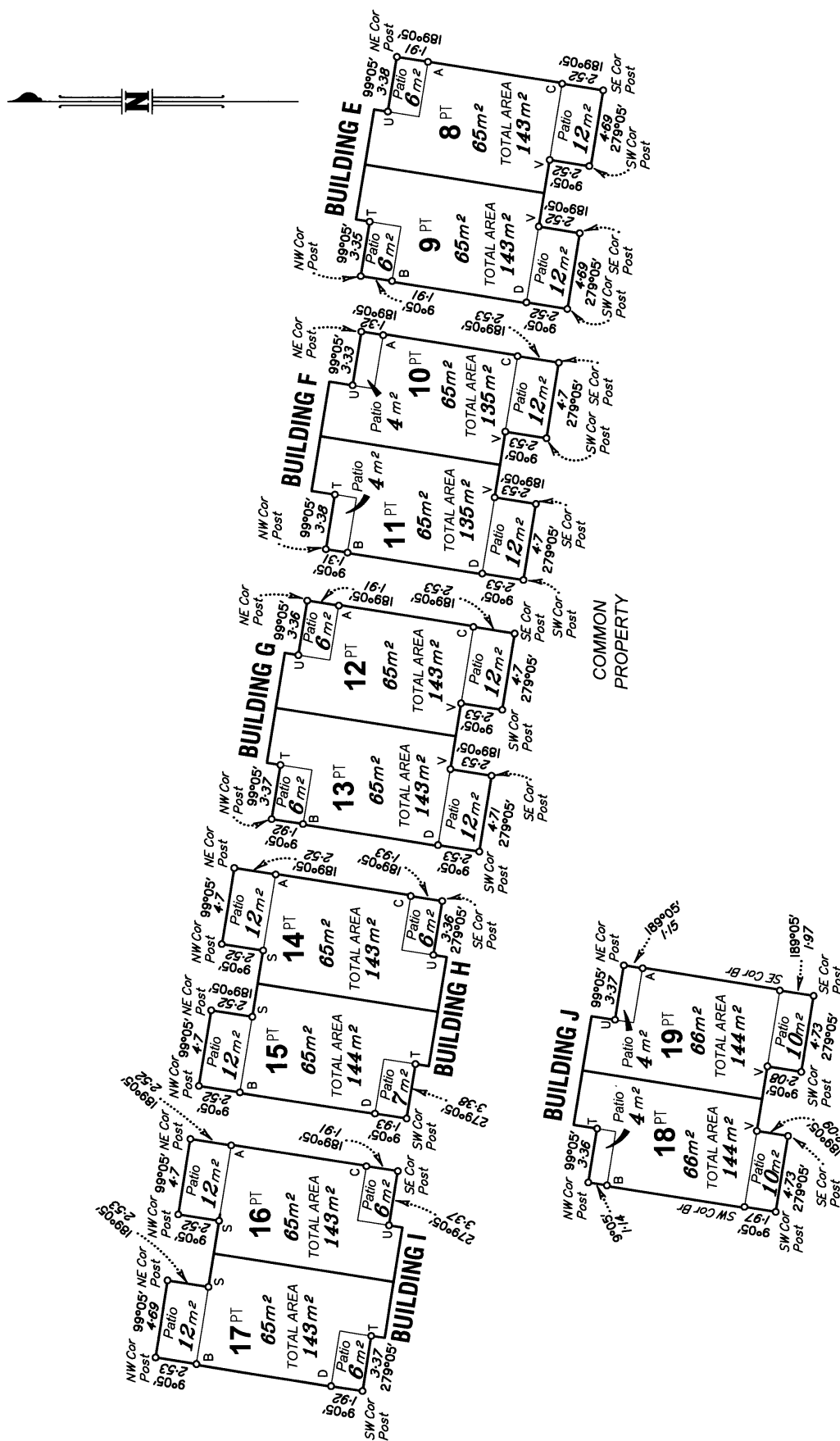


LEVEL B
Scale 1:250

Scale 1:250 - Lengths are in Metres.



--- Denotes Outline of Level Below



LEVEL A

Scale 1:250

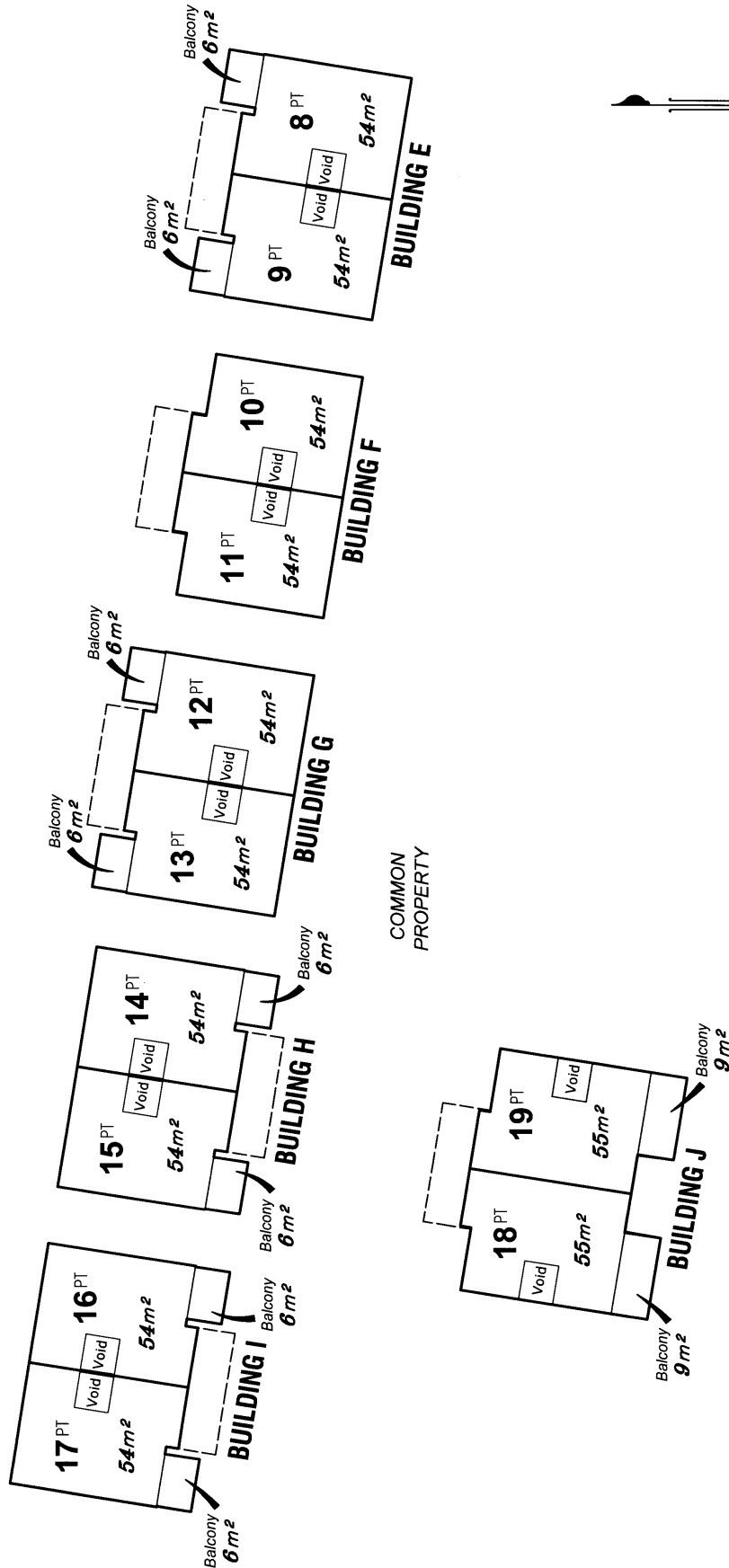
Scale 1:250 - Lengths are in Metres.

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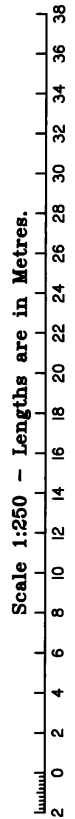
S Denotes Drill Hole in Face of Br. 0.12NE
T Denotes Drill Hole in Face of Br. 0.12NW
U Denotes Drill Hole in Face of Br. 0.12SE
V Denotes Drill Hole in Face of Br. 0.12SW
W Denotes Cor Br. 0.12SE, 0.16NE
X Denotes Cor Br. 0.12NW, 0.16NE
Y Denotes Cor Br. 0.12SE, 0.16SW
Z Denotes Cor Br. 0.12NW, 0.16SW
A Denotes Cor Br. 0.12NE, 0.16SE
B Denotes Cor Br. 0.12NE, 0.16SW
C Denotes Cor Br. 0.12SW, 0.16SE
D Denotes Cor Br. 0.12SW, 0.16NW

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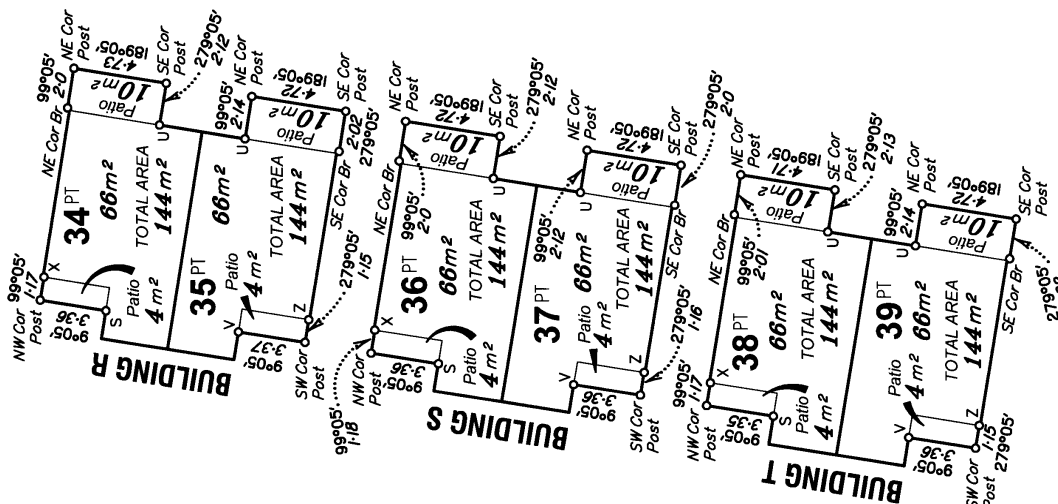
Insert
Plan
Number **SP299719**



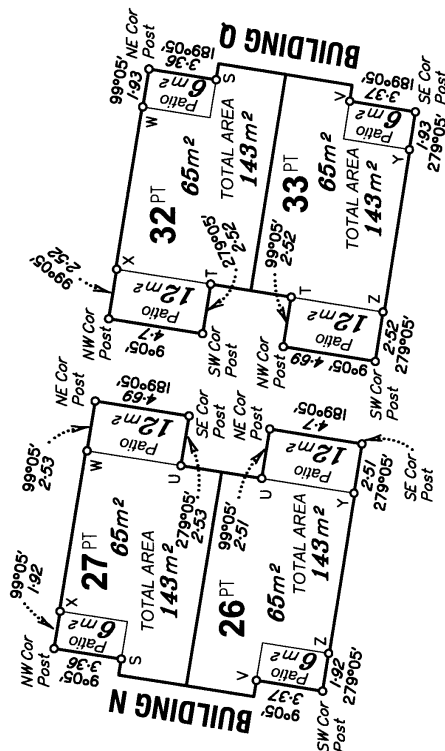
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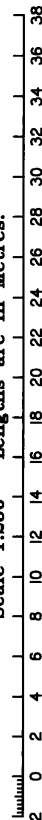
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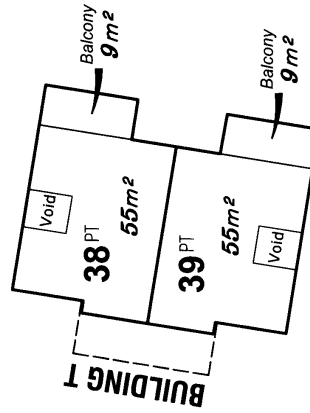
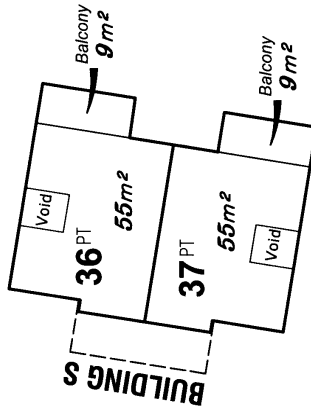
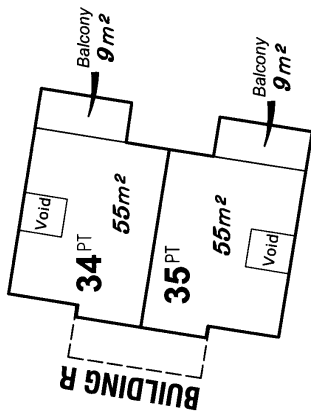
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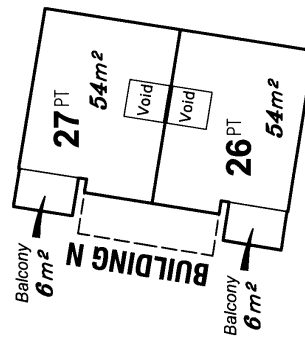
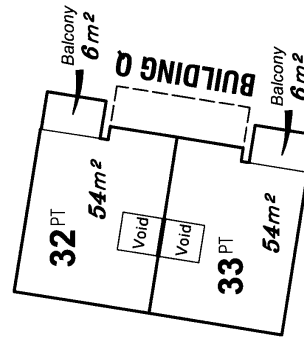
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- V Denotes Drill Hole in Face of Br 0-12SW
- W Denotes Cor Br 0-12SE, 0-16NE
- X Denotes Cor Br 0-12NW, 0-16NE
- Y Denotes Cor Br 0-12SE, 0-16SW
- Z Denotes Cor Br 0-12NW, 0-16SW
- A Denotes Cor Br 0-12NE, 0-16SE
- B Denotes Cor Br 0-12NE, 0-16NW
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- D Denotes Cor Br 0-12SW, 0-16NW

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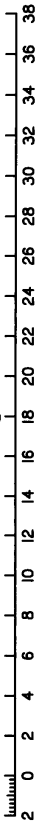


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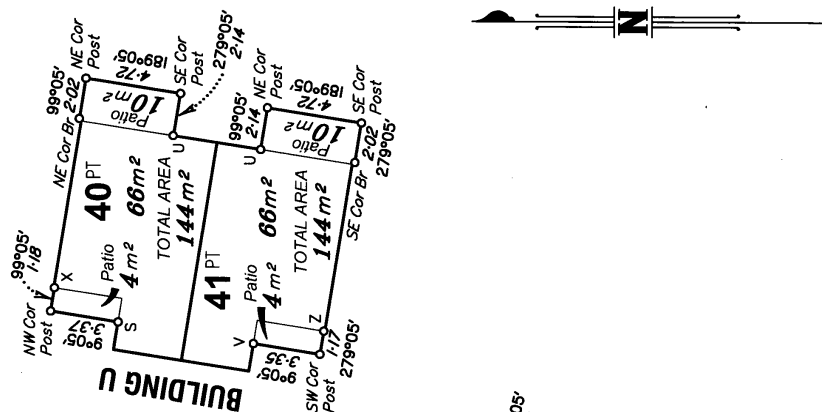


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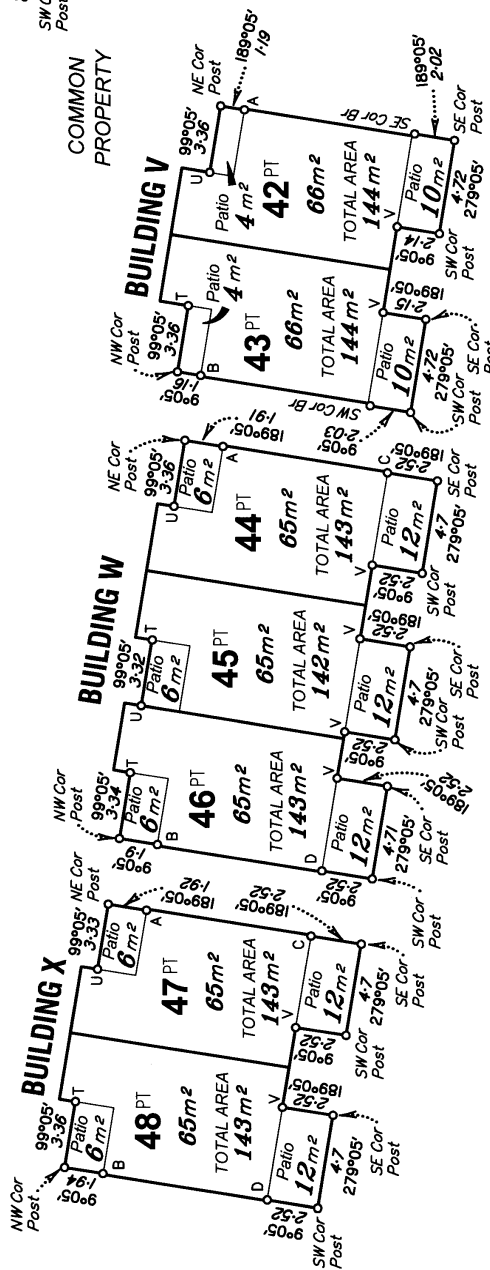
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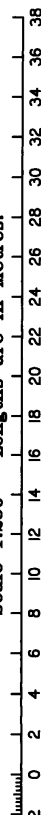


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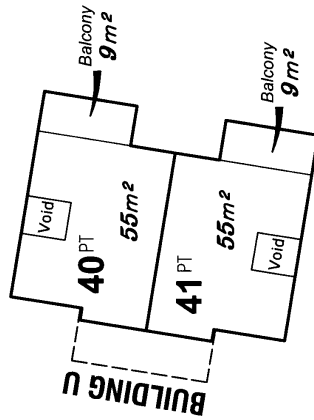
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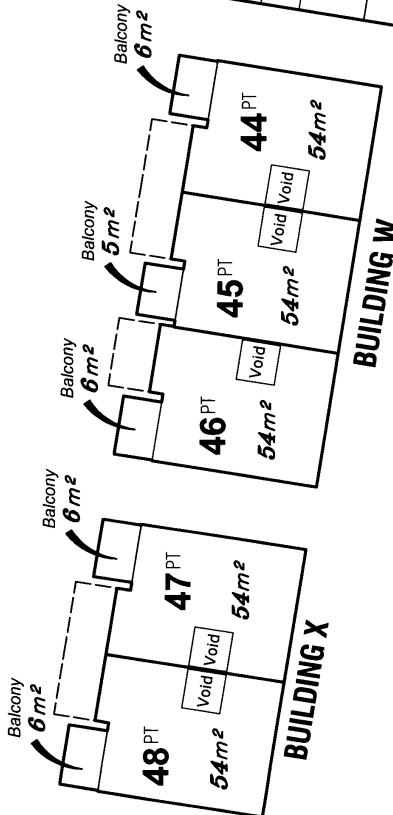
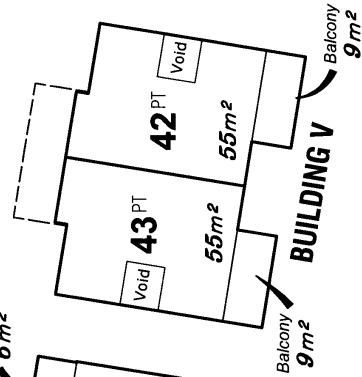
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- Z Denotes Cor Br 0:12NW, 0:16SW
- A Denotes Cor Br 0:12NE, 0:16SE
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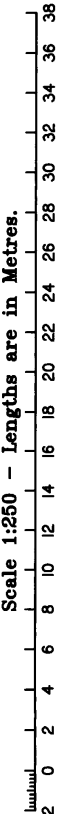
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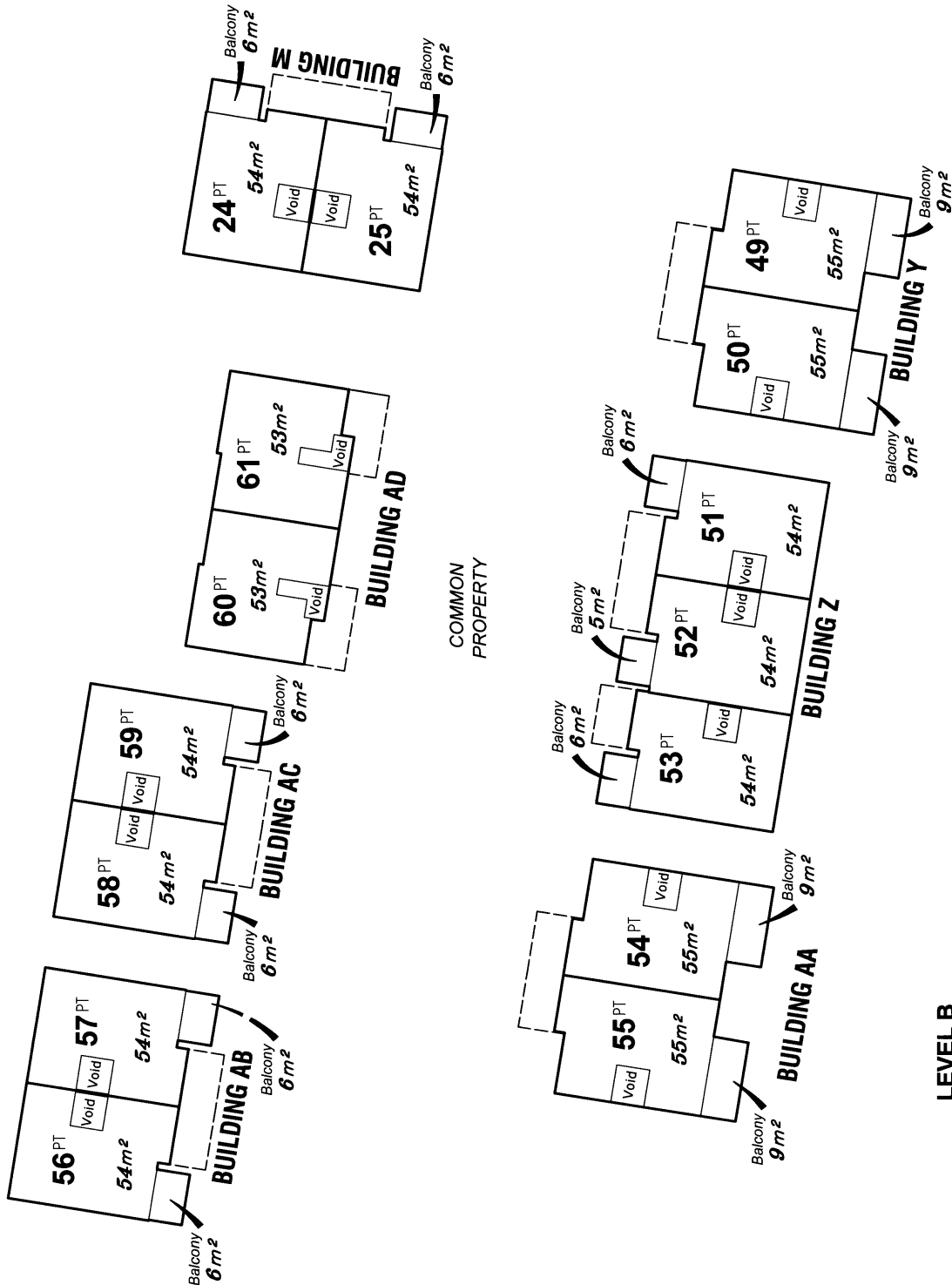
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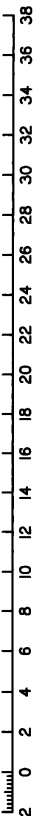




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Plan
Number

SP299719






Logan Planning Scheme 2015 (v9.2) and Temporary Local Planning Instrument (No.1/2024)


Overlays (Part 8)


OM-01 Acid sulfate soils overlay

OM-01.00 Acid sulfate soils overlay

 OM-01.00 Acid sulfate soils overlay

OM-01.01 Acid sulfate soils

 Potential and actual acid sulfate soils area at or below 5 metres AHD


 Potential and actual acid sulfate soils above 5 metres AHD and at or below 20 metres AHD

OM-02 Biodiversity areas overlay

OM-02.00 Biodiversity areas trigger

 Biodiversity area

OM-02.01 Vegetation management areas


 Primary vegetation management area

 Secondary vegetation management area


OM-02.02 Biodiversity corridors

 Biodiversity corridor

 Koala corridor

 Environmental management and conservation area


OM-02.03 Locally significant vegetation types


 Locally significant Melaleuca irbyana area

 Locally significant Melaleuca irbyana 50m buffer area


 Locally significant Melaleuca irbyana 150m buffer area


 Locally significant Vine Forest area

 Locally significant Gossia gonoclada area


 Locally significant remnant vegetation area

OM-02.04 Matters of state and local significance

 OM-02.04 Matters of state and local significance

 Both matters of local and state environmental significance

 Matters of local environmental significance

 Matters of state environmental significance


OM-03 Bushfire hazard overlay

OM-03.00 Bushfire hazard trigger

 Bushfire hazard area

OM-03.01 Bushfire hazard risk area


 Bushfire hazard - very high potential


 Bushfire hazard - high potential


 Bushfire hazard - medium potential

 Bushfire hazard - potential impact buffer


OM-04 Extractive resources overlay


 Extractive resources area

 Transport route separation area

 Extractive resource - processing area

OM-04.01 Extractive resources processing and separation areas

 Transport route

 Extractive resource separation area

OM-05 Flood hazard overlay - TLPI 1/2024

OM-05.00 Flood assessment area



OM-05.01 Isolated islands

 High flood island

 Low flood island


OM-05.02 High flow area




OM-05.03 Meadowbrook flood assessment area



OM-05.04 Flood risk areas

 High flood risk area


 Moderate flood risk area

 Low flood risk area

 Flood investigation area

OM-06 Greenbank Training Area buffer overlay

 Greenbank Training Area

 Greenbank Training Area buffer

OM-07 Heritage overlay

OM-07.00 Heritage trigger



OM-07.01 Heritage areas

 Grave site





 Local heritage area

OM-08 Landslide hazard and steep slope area overlay

OM-08.00 Landslide hazard and steep slope area trigger




OM-08.01 Landslide hazard and steep slopes

-  Historical landslide area
-  12 percent slope investigation area
-  Equal to or greater than 12 percent slope hazard area
-  Equal to or greater than 15 percent slope hazard area

OM-09 Regional infrastructure corridors and substations overlay




OM-09.00 Regional infrastructure corridors and substations trigger

-  Regional infrastructure and buffer area

- Regional infrastructure

OM-09.01 Regional infrastructure corridors and facilities





SEQWater facility

-  Bulk water pump
-  Bulk water reservoir
-  Bulk water - water quality facility

SEQWater facility area



Substation

Powerline corridor and buffer

-  Powerline corridor 110kv
-  Powerline corridor 275kv
-  Powerline corridor 275kv buffer 40m
-  Petroleum pipeline corridor

Water pipeline corridor

Wastewater facility and buffer

-  Wastewater facility
-  Wastewater facility - 500m buffer

OM-10 Residential overlay

OM-10.00 Residential overlay





OM-11 Strategic airport and environs overlay

OM-11.00 Strategic airport and environs trigger







OM-11.01 Strategic airport and environs overlay






-  Obstacle limitation surface area
-  Bird and bat strike area

OM-12 Transport noise corridors overlay






Transport noise corridor - Local government road

-  Cat 1: 58 dB(A) =< Noise Level < 63 dB(A)
-  Cat 2: 63 dB(A) =< Noise Level < 68 dB(A)
-  Cat 3: 68 dB(A) =< Noise Level < 73 dB(A)
-  Cat 4: Noise Level >= 73 dB(A)

Transport noise corridor - State-controlled road (mandatory)

-  Cat 0: Noise Level < 58 dB(A)
-  Cat 1: 58 dB(A) =< Noise Level < 63 dB(A)
-  Cat 2: 63 dB(A) =< Noise Level < 68 dB(A)
-  Cat 3: 68 dB(A) =< Noise Level < 73 dB(A)
-  Cat 4: Noise Level >= 73 dB(A)

Transport noise corridor - Railway



-  Cat 0: Noise Level < 70 dB(A)
-  Cat 1: 70 dB(A) =< Noise Level < 75 dB(A)
-  Cat 2: 75 dB(A) =< Noise Level < 80 dB(A)
-  Cat 3: 80 dB(A) =< Noise Level < 85 dB(A)
-  Cat 4: Noise Level >= 85 dB(A)

OM-13 Water resource catchments overlay

OM-13.00 Water resource catchments trigger



OM-13.01 Water resource catchment

-  Cedar Grove water storage catchment
-  Tingalpa water storage catchment

OM-14 Waterway corridors and wetlands overlay

OM-14.00 Waterway corridors and wetlands trigger

-  Erosion prone area trigger
-  Waterway corridor trigger
-  Wetland area trigger
-  Wetland buffer trigger

OM-14.01 Waterways

-  Minor waterway
-  Medium waterway
-  Major waterway
-  River waterway

OM-14.02 Wetlands

Wetlands

-  Major wetland
-  Minor wetland
-  Wetland buffer

OM-14.03 Erosion prone areas






Zones and Precincts (Part 6)



ZM-02.00 Precinct map



ZM-01.00 Zone map

-  Centre
-  Community facilities
-  Emerging community
-  Environmental management and conservation
-  Low density residential
-  Low impact industry
-  Low-medium density residential
-  Medium density residential
-  Medium impact industry
-  Mixed use
-  Priority development area
-  Recreation and open space
-  Rural
-  Rural residential
-  Special purpose
-  Specialised centre

Local Plans (Part 7)





-  Local plan boundary
-  Precinct area

Local plan figures 7.2.1.4.1 to 7.2.10.4.4

Local plan figures locations

-  Landmark building
-  Transit hub
-  Plaza
-  Indicative cycle centre location
-  Streetscape section and plan view number

Local plan figures lineage

-  Contours (5m)
-  Active frontage street
-  Streetscape section and plan view arrow
-  Streetscape section and plan view extent

Movement

-  Inner ring road
-  Path for urban collector
-  Access laneway
-  Shared access area
-  Pedestrian network
-  Generous footpaths for pedestrians and cyclists
-  SEQ principal cycle network
-  District cycle network
-  Major cycle network

Local plan figures 7.2.1.4.1 to 7.2.10.4.4

Local plan figures areas

-  Local plan figure extent
-  Local plan boundary
-  Local plan precinct
-  Town square
-  Park/Village green
-  School
-  Building

Movement

-  Main street
-  New road
-  Road
-  Access laneway
-  Railway
-  Wembley Road urban boulevard
-  Shared zone
-  Pedestrian access only
-  Signalised pedestrian crossing
-  Pedestrian link bridge

Local plan figures building heights

-  Maximum building height - 8.5m
-  Maximum building height - 12m
-  Maximum building height - 15m
-  Maximum building height - 20m
-  Maximum building height - 25m
-  Maximum building height - 27m
-  Maximum building height - 30m
-  Maximum building height - 32m
-  Maximum building height - 40m
-  Maximum building height - 60m
-  Maximum building height - 90m

Zone and precinct figures

Figures 6.2.12.3.1-3

-  Agricultural land classification

Figure 6.2.10.3.1 and Figure 6.2.15.3.1

Zone building heights






-  Maximum building height - 20m
-  Maximum building height - 40m
-  Maximum building height - 60m

Figure 6.2.10.3.2

-  Berrinba Amentiy Wall
-  Berrinba 5m landscaped buffer area

Figures 6.2.15.3.1-2

-  Old Chatswood Road precinct layout
-  Old Chatswood Road precinct layout boundary
-  Future road network
-  Main street
-  Park - flood plain management area
-  Subject site
-  Active street frontage
-  Limited access
-  Pedestrian and cycle network



Local Government Infrastructure Plan (Part 4)

LGIP - 01.00 Priority infrastructure area and projection area

Priority infrastructure boundary

Projection areas

- Beenleigh
- Bethania - Waterford
- Boronia Heights - Park Ridge
- Browns Plains
- Chambers Flat - Logan Reserve
- Cornubia - Carbrook
- Crestmead
- Daisy Hill
- Eagleby
- Edens Landing - Holmview
- Greenbank
- Greenbank Military Camp
- Hillcrest
- Jimboomba
- Kingston
- Logan Central
- Logan Village
- Loganholme - Tanah Merah
- Loganlea
- Marsden
- Mount Warren Park
- Munruben - Park Ridge South
- Regents Park - Heritage Park
- Rochedale South - Priestdale
- Shailer Park
- Slacks Creek
- Springwood
- Underwood

LGIP - 02.00 Net developable area and planned density area

- Residential development
- Non-residential development and mixed development
- Community
- Education
- Health

LGIP - 03.00 Plan for trunk water supply infrastructure

Existing trunk infrastructure

- Existing water facilities
- Existing water mains

Proposed trunk infrastructure

- Proposed water facilities
- Proposed water mains

Water service catchments

- Northern boundary
- Southern boundary

LGIP - 04.00 Plan for trunk sewerage infrastructure

Existing trunk infrastructure

- Existing sewerage facilities
- Existing sewerage mains

Proposed trunk infrastructure

- Proposed sewerage facilities
- Proposed sewerage mains

Sewerage service catchments

- Loganholme
- Loganholme until 2031 (from 2031 Chambers Flat)
- Cedar Grove (including Jimboomba)

LGIP - 05.00 Plan for trunk stormwater infrastructure

Existing trunk infrastructure

- Existing pits and headwalls
- Existing pipes, culverts and drains
- Existing detention basins

Proposed trunk infrastructure

- Land acquisition only
- Waterway corridor




Stormwater quantity areas

- LA1
- LA2
- LA3
- LA4
- LA5
- LA6
- LA7
- Jimboomba
- Logan Village
- Slacks-Scrubby Creek





LGIP - 06.00 Plan for trunk movement infrastructure

Existing trunk infrastructure

-  Local government controlled road
-  State government controlled road
-  Existing cycle network

Proposed trunk infrastructure

-  Land acquisition and capital works
-  Land acquisition only

Transport service catchments

-  Beenleigh
-  Bethania - Waterford
-  Boronia Heights - Park Ridge
-  Browns Plains
-  Chambers Flat - Logan Reserve
-  Cornubia - Carbrook
-  Crestmead
-  Daisy Hill
-  Eagleby
-  Edens Landing - Holmview
-  Greenbank
-  Greenbank Military Camp
-  Greenbank_FBal
-  Greenbank_GFS
-  Hillcrest
-  Jimboomba
-  Jimboomba - Greater Flagstone
-  Jimboomba - Yarrabilba
-  Kingston
-  Logan Central
-  Logan Village
-  Loganholme - Tanah Merah
-  Loganlea
-  Marsden
-  Mount Warren Park
-  Munruben - Park Ridge South
-  Regents Park - Heritage Park
-  Rochedale South - Priestdale
-  Shailer Park
-  Slacks Creek
-  Springwood
-  Underwood
-  Waterford West
-  Wolffdene - Bahrs Scrub
-  Woodridge

LGIP - 07.00 Plan for trunk parks infrastructure

Existing trunk infrastructure

-  Existing parks

Proposed trunk infrastructure

-  Proposed parks

Park service catchments

-  Beenleigh - Mt Warren Park
-  Bethania - Holmview
-  Boronia Heights - Park Ridge West
-  Browns Plains
-  Crestmead - Marsden
-  Daisy Hill
-  Eagleby
-  Flagstone
-  Jimboomba
-  Kingston
-  Logan Central - Woodridge
-  Logan Reserve - Park Ridge East
-  Logan Village - Yarrabilba
-  Loganholme East
-  Loganholme West
-  Loganlea
-  Rochedale South - Springwood
-  Rural North Balance
-  Rural North East Balance
-  Rural South Balance
-  Rural South East Balance
-  Rural West Balance
-  Shailer Park
-  Underwood
-  Wolffdene - Bahrs Scrub




LGIP - 08.00 Plan for land for community facilities infrastructure

Existing trunk infrastructure


























- ▲ Community facilities

Proposed trunk infrastructure

- ▲ Proposed community facilities (indicative)

 Proposed community facilities

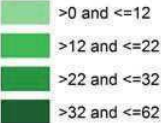
Community facilities service catchments

-  Beenleigh
-  Bethania-Waterford
-  Browns Plains
-  Cornubia-Carbrook
-  Daisy Hill
-  Eagleby
-  Edens Landing-Holmview
-  Flagstone
-  Greenbank-North Maclean
-  Jimboomba
-  Logan Village
-  Loganholme-Tanah Merah
-  Marsden-Waterford West
-  Meadowbrook-Loganlea
-  Mt Warren Park
-  Park Ridge-Logan Reserve
-  Priestdale
-  Rochedale South-Springwood
-  Rural South Balance
-  Rural South East Balance
-  Rural West Balance
-  Shailer Park
-  Underwood-Slacks Creek
-  Undullah
-  Wolffdene-Bahrs Scrub
-  Woodridge-Kingston
-  Yarrabilba

Planning Scheme Policy Figures

Planning Scheme Policy 3 - Environmental management

Figure 3.1.10.1 Ecological significance



Planning Scheme Policy 5 - Infrastructure

Figure 3.1.1.2.1 Cycle network



Figure 3.4.1.3.1 Public transport network

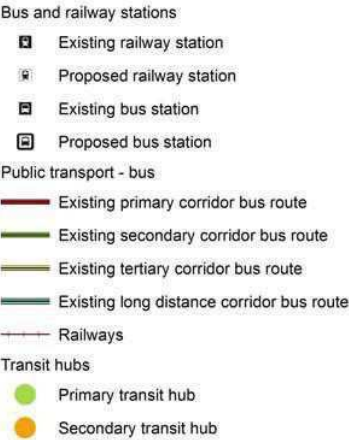


Figure 3.4.1.4.1 Road hierarchy



Figures 3.6.1.3.1-2 Loganholme stormwater management

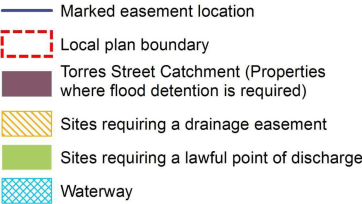
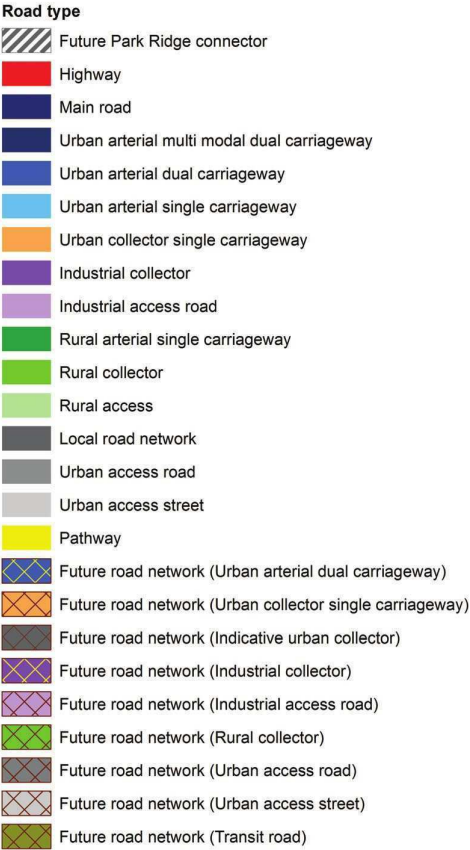
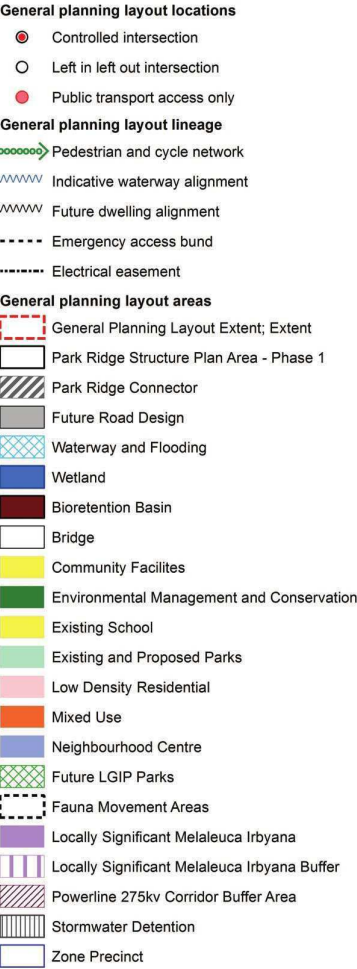


Figure 3.6.12.1 Parks planning regions

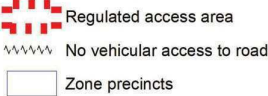


Figures 7.2.1.1-9 General planning layouts



Development Codes (Part 9)

FIG 9.4.6.3.1 Regulated access area
















Base Layers




Contours 2021

-  Index
-  Standard
-  Logan local government area boundary

Regional roads

-  Dual carriageway
-  Principal road
-  Secondary road
-  Minor road
-  External local government areas
-  Cadastral
-  Watercourse
-  Easements
-  Covenants
-  Parcels with a building envelope
-  Priority development area

Regional land use categories (Settlement pattern)

-  Regional Landscape and Rural Production Area
-  Rural Living Area
-  Urban Footprint

Job ID 51255893
109626



[Review responses online](#) ↗



Received 4 of 4 responses
All responses received

Unit 2 70-90 Clearwater St, Bethania QLD 4205

Job dates
24/09/2025 → 30/11/2025

These plans expire on
21 Oct 2025

Lodged by
Ben Lanigan

Authority	Status	Page
✉ BYDA Confirmation		2
🏢 Energex QLD	Received	4
🏢 Logan City Council	Received	45
🏢 NBN Co Qld	Received	50
🏢 Telstra QLD FA	Received	61

Job No 51255893



byda.com.au

Zero damage - Zero harm - Zero disruption

Contact Details

Contact	Contact number	Company	Enquirer ID
Ben Lanigan	(07) 3009 8444	Rostron Carlyle Rojas Lawyers	3699345
Email		Address	
b.lanigan@rcrlaw.com.au		270 Adelaide Street Brisbane City QLD 4000	

Job Site and Enquiry Details

WARNING: The map below only displays the location of the proposed job site and does not display any asset owners' pipe or cables. The area highlighted has been used only to identify the participating asset owners, who will send information to you directly.

Enquiry date	Start date	End date	On behalf of	Job purpose	Locations	Onsite activities
24/09/2025	24/09/2025	30/11/2025	Private	Design	Private	Conveyancing



Check that the location of the job site is correct. If not, you must submit a new enquiry.

If the scope of works change or plan validity dates expire, you must submit a new enquiry.

Do NOT dig without plans. Safe excavation is your responsibility. If you don't understand the plans or how to proceed safely, please contact the relevant asset owners.

User Reference	Address	Notes/description
109626	Unit 2 70-90 Clearwater St Bethania QLD 4205	-

Your Responsibility and Duty of Care

- **Lodging an enquiry does not authorise project commencement.** Before starting work, you must obtain all necessary information from all affected asset owners.
- If you don't receive plans within 2 business days, contact the asset owner & quote their sequence number.
- Always follow the 5Ps of Safe Excavation (page 2), and locate assets before commencing work.
- Ensure you comply with State legislative requirements for Duty of Care and safe digging.
- If you damage an underground asset, you MUST advise the asset owner immediately.
- By using the BYDA service, you agree to the [Privacy Policy](#) and [Term of Use](#).
- For more information on safe digging practices, visit www.byda.com.au

Asset Owner Details

Below is a list of asset owners with underground infrastructure in and around your job site. It is your responsibility to identify the presence of these assets. Plans issued by Members are indicative only unless specified otherwise. Note: not all asset owners are registered with BYDA. You must contact asset owners not listed here directly.

Referral ID (Seq. no)	Authority Name	Phone	Status
261603986	Energex QLD	13 12 53	NOTIFIED
261603985	Logan City Council	(07) 3412 3412	NOTIFIED
261603984	NBN Co Qld	1800 687 626	NOTIFIED
261603987	Telstra QLD FA	1800 653 935	NOTIFIED

END OF UTILITIES LIST

Lodge your **FREE** enquiry online any time at byda.com.au



Plan

Plan your job. Use the BYDA service at least one day before your job is due to begin, and ensure you have the correct plans and information required to carry out a safe project.



Prepare

Prepare by communicating with asset owners if you need assistance. Look for clues onsite. Engage a skilled Locator.



Pothole

Potholing is physically sighting the asset by hand digging or hydro vacuum extraction.



Protect

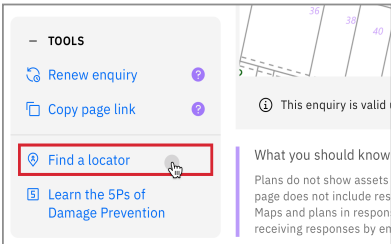
Protecting and supporting the exposed infrastructure is the responsibility of the excavator. Always erect safety barriers in areas of risk and enforce exclusion zones.



Proceed

Only proceed with your excavation work after planning, preparing, potholing (unless prohibited), and having protective measures in place.

Engage a skilled Locator



When you lodge an enquiry you will see skilled Locators to contact

Visit the Certified Locator website directly and search for a locator near you

certloc.com.au/locators

Get FREE Quotes for Contractors & Equipment Fast



Use iseekplant's FREE marketplace to get quotes for the equipment or services you need on your project. Compare quotes from trusted local contractors and get your project done on time and in budget.

1. Fill out your job details in our FREE quick quote form.
2. We send the request to trusted local contractors.
3. The local contractors will contact you directly with quotes

GET QUOTE

Use iseekplant to find trusted contractors near you today, visit: blog.iseekplant.com.au/byda-isp-get-quotes

Book a FREE BYDA Session



BYDA offers free training sessions to suit you and your organisation's needs covering safe work practices when working near essential infrastructure assets. The free sessions are offered in two different formats - online and face-to-face.

To book a session, visit: byda.com.au/contact/education-awareness-enquiry-form

BOOK NOW

Job ID 51255893

Energex QLD

Referral

261603986

Member Phone

13 12 53

Responses from this member

Response received Wed 24 Sep 2025 8.59am

File name	Page
Response Body	5
Working Near Overhead and Underground Electric Lines.pdf	8
Energex BYDA Terms and Conditions.pdf	36
261603986 - Energex Plan.pdf	41

Assets found

Before You Dig Australia (BYDA) Request

Please DO NOT SEND A REPLY to this email as it has been automatically generated and replies are not monitored.

The attached Plan details ENERGEX's Assets in relation to Your nominated search area.

Ensure You read and understand the important notes outlined below.

You:	BYDA Enquiry No:
Ben Lanigan	261603986
Company:	Date of Response:
Rostron Carlyle Rojas Lawyers	24 Sep 2025
Search Location:	Period of Plan Validity:
Unit 2 70-90 Clearwater St Bethania, QLD 4205	4 Weeks

External Comments (if any):

WARNING: When working in the vicinity of Energex's Assets You have a legal Duty of Care that must be observed.

It is important that You note:

1. Immediately report life threatening emergencies to Emergency Services on **000** or to ENERGEX on **13 19 62**.
2. Please read and understand all the information and disclaimers provided - including the Terms and Conditions on the attached pages.
3. We have only searched the area which has been nominated in the request. If this nominated area is not what You require, please resubmit another enquiry with BYDA.
4. Plans provided by ENERGEX are only an indication of the presence of underground Assets within the nominated area. Locations provided are approximate and the plans are not suitable for scaling purposes, as exact ground cover and alignments cannot be provided. You must confirm the exact location of Assets by use of an electronic cable locator followed by careful, non-mechanical excavation (i.e. potholing).
5. Plans provided by ENERGEX do not encompass ENERGEX's overhead Assets.
6. ENERGEX, its servants or agents shall not be liable for any loss or damage caused or occasioned by the use of plans and details supplied pursuant to the BYDA Request and You agree to indemnify ENERGEX against any claim or demand for any such loss or damage to You, Your servants or Your agents.
7. You are responsible for any damage to underground Assets caused by works pursuant to or in any way connected with this BYDA Request.

8. In addition to underground cables marked on attached plan, there could be underground earth conductors, underground substation earth conductors, Multiple Earthed Networks (MEN) conductors, Single Wire Earth Return (SWER) Substation Earth Conductors, Air Break Switch (ABS) Earth Mats or Consumer Mains in the vicinity or private underground cables (inc. consumers' mains that may run from ENERGEX mains onto private property) in the vicinity of the nominated work area(s) that are not marked on the plans.
9. Independent underground cable locators can be found by using the "Find a locator" option available within the BYDA enquiry response with LV Cable (up to 1kV), HV Cable (1kV-<33kV) & HV cable (33kV and over) displayed.
10. The ENERGEX Before You Dig Australia (BYDA) information map(s) provide the vicinity of underground cable and will not be adequate for conveyancing purposes. A Request for Search (Property Search) can be arranged through ENERGEX.
11. The attached plans are only valid for a period of four weeks from receipt. If excavation does not commence within four weeks, a new plan should be obtained.
12. The ENERGEX BYDA map (named maps.pdf) may contain shaded area(s), indicating the location of planned work(s). Should You find planned works that You believe may affect Your planned work(s), please contact the ENERGEX BYDA team on the details listed below.
13. ENERGEX may contact You to discuss Your proposed excavation in the vicinity of feeders identified on the attached plan(s).
14. Do not access any Assets, for example, conduits, cables, pits or cabinets.
15. Your work will need to comply with:
 - [Working near overhead and underground electric lines - Electrical safety code of practice 2020](#)
 - [Managing Electrical Risk in Workplace Electrical Safety Code of Practice \(2013\)](#)
 - [Excavation Work Code of Practice \(2021\)](#)

NOTE: Where Your proposed work location contains ENERGEX 33kV or greater Underground cables please access the [Energex before you dig Website](#) for more information.

General enquiries (7:00am - 5:30pm Mon to Fri) **13 12 53**
Life threatening emergencies only triple zero (000) or **13 19 62**

To re-submit or change the nominated search area please visit [BYDA.com.au](#)

E: custserve@energex.com.au

E: byda@energyq.com.au

ABN: 40 078 849 055



Disclaimer: While reasonable measures have been taken to ensure the accuracy of the information contained in this plan response, neither Energex nor PelicanCorp shall have any liability whatsoever in relation to any loss, damage, cost or expense arising from the use of this plan response or the information contained in it or the completeness or accuracy of such information. Use of such information is subject to and constitutes acceptance of these terms.

If you are unable to launch any of the files for viewing and printing, you may need to download and install free viewing and printing software such as [Adobe Acrobat Reader \(for PDF files\)](#).

PelicanCorp

Compiled with TicketAccess by PelicanCorp





Scan to provide feedback

ELECTRICITY ENTITY REQUIREMENTS - WORKING NEAR OVERHEAD AND UNDERGROUND ELECTRIC LINES



Part of Energy Queensland

Purpose: This instruction describes Electricity Entity requirements for working or operating plant near any Electricity Entity Overhead or Underground electric lines.

Scope: This instruction applies to anyone who may be contemplating working or operating plant near any Electricity Entity Overhead or Underground electric lines.

Person responsible for ensuring compliance with this Work Practice:	All EQL employees have responsibility to comply with listed controls.
Measures in place to ensure compliance with the Work Practice:	Team Leaders must provide appropriate supervision and / or assurance in addition to formal assurance activities performed by EQL.
Person(s) responsible for reviewing the Work Practice:	Prior to any task listed on this Work Practice being performed, the contents must be understood by all workers exposed to the hazard on site. (i.e. using HazChat).
Work Practice control and guidance to be reviewed:	All controls for this task must be verified, monitored, and maintained by crews for the duration of works.

Key tools and equipment: N/A

Note:

Prior to works commencing the contents of supporting Work Practices must be understood.

If at any time the control or procedural guidance in this Work Practice cannot be applied or are not suitable, work must cease, and advice must be sought from your leader or a Technical SME before proceeding.

Work Practices may be provided as a means of sharing hazard and control information to EQL contractors. But it is the responsibility of the contractor to provide their own safe system of work (including, consultation, training, instruction, and supervision to reduce risk SFAIRP)

[Table of Contents](#)

PROCEDURE / INSTRUCTIONS

1. ABOUT THIS GUIDE

This guide to working near the Electricity Entity network is designed to assist any person working, contemplating work or operating plant near any Electricity Entity overhead or underground electric lines to meet their duties under the Work Health and Safety Act 2011, Electrical Safety Act 2002, Electrical Safety Regulation 2013 and relevant Codes of Practice including Electrical Safety Code of Practice 2020 Working Near Overhead and Underground Electric Lines and help to identify the steps needed to ensure risks are minimised for all who work or are likely to be affected by the work in these situations.

"The Electrical Code of Practice 2020 Working Near Overhead and Under Ground Electric Lines" provides practical advice on ways to manage electrical risk when working near electric lines including the exclusion zones that apply. An electronic copy of this Code of Practice as well as, Electrical Safety Act and Regulation is available at the Queensland Government Electrical Safety Office web site at <https://www.worksafe.qld.gov.au/electricalsafety>. You should obtain a copy and read this material, to enable you to fully understand your obligations, and prospective means of complying with them.

1.1. Who does the Electrical Safety Code of Practice 2020 - Working Near Overhead and Underground Electric Lines and Electricity Entity Requirements apply to?

A person, worker or Person Conducting a Business or Undertaking (PCBU) at a workplace is required to comply with the requirements of Electrical Safety Regulation 2013 Part 5 Overhead and Underground Electric Lines and Electrical Safety Code of Practice 2020 Working Near Overhead and Underground Electric Lines to ensure that no person, plant or thing comes within an unsafe distance (exclusion zone) of an overhead electric line. Compliance with these regulatory requirements is essential to reduce the risk of electric shock and contact with Electricity Entity electric lines and other assets which can have deadly consequences.

Examples of work activities where risk of person, plant or equipment coming near or into contact with overhead electric lines include but are not limited to:

- Pruning or felling trees or vegetation near overhead electric lines, including the service wire into a building.
- Carrying out building work, scaffolding or demolition adjacent to overhead electric lines.
- Painting fascia, replacing roofing, guttering or external cladding near service line point of entry to a building.
- Operating cranes, tip trucks, cane harvesters, elevated work platforms, fork lifts, grain augers, excavators, irrigators, etc near OH electric lines.
- Erecting or maintaining advertising signs or billboards near overhead electric lines.
- Dam or levee bank construction.

Examples of work activities that could involve risk of damage to underground cables or earthing systems include but are not limited to:

- Digging holes, excavating, sawing, trenching, under boring, sinking bore holes, earthworks or laying cables, pipes, etc or driving implements into the ground (e.g. star pickets, fence posts) near where underground cables or earthing systems may be located.

1.2. Are you working or planning to work near overhead or underground electric lines?

Electrical Safety Regulation Section 68 requires that before carrying out any work at a workplace where there is a risk of any person, plant or thing encroaching the exclusion zone of overhead electric lines, the person, worker or PCBU is required to ensure that the potential hazards are identified, a risk assessment conducted and the necessary control measures implemented to minimise electrical safety risks to ensure the safety of all workers and other persons at the workplace. The Electrical Safety Regulation 2013 and Electrical Safety Code of Practice 2020 - Working Near Overhead and Underground Electric Lines detail the Exclusion Zones that must be maintained.

PROCEDURE / INSTRUCTIONS**1.2.1 Work near overhead electric lines**

Where a risk assessment has been conducted and control measures implemented in accordance with requirement of Electrical Safety Code of Practice 2020 - Working Near Overhead and Underground Electric Lines and Electricity Entity Requirements (this document) and it has identified that exclusion zones from overhead electric lines cannot be maintained, the person, worker or PCBU is then required to contact Electricity Entity and request written Safety Advice (refer Section 1.3 below).

The person, worker or PCBU shall be required to maintain exclusion zones until such times as the Electricity Entity has provided written Safety Advice.

A person, worker or PCBU would not be required to contact the Electricity Entity and request a written Safety Advice where their risk assessment and implemented control measures ensure that exclusion zones from overhead electric lines will be maintained throughout performance of work to be undertaken at a particular site.

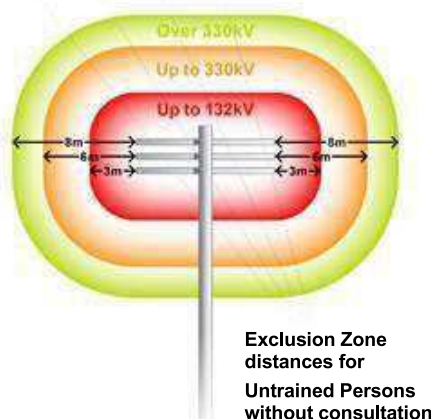
1.2.2 Exclusion Zones

An exclusion zone is a safety envelope around an overhead electric line. No part of a worker, operating plant or vehicle should enter an exclusion zone while the overhead electric line is energised (live).

Exclusion zones keep people, operating plant and vehicles a safe distance from energised overhead lines.

You must keep yourself and anything associated with the work activity out of the exclusion zone (e.g. a safe distance) unless it is not reasonably practicable to do so; and the person conducting a business or undertaking complies with the requirements of Section 68(2) of the Electrical Safety Regulation in relation to:

- conducting a risk assessment.
- implementing control measures
- adhering to any requirements of an Electricity Entity responsible for the line.



PROCEDURE / INSTRUCTIONS

Exclusion Zone – Untrained Person (distances in mm)

Nominal phase to phase voltage of electric line	Untrained Person		
	Person	Operating Plant	Operating Vehicles
Insulated LV: Consultation with and verified by AP (Electrical)	No exclusion zone prescribed	1000	300
LV with NO consultation with Electricity Entity	3000	3000	600
LV With consultation with Electricity Entity	1000		
>LV up to 33 kV with NO consultation with Electricity Entity	3000		900
LV up to 33 kV with consultation with Electricity Entity	2000		
>33 kV up to 132 kV	3000		2100
>132 kV up to 220 kV	4500	6000	2900
>220 kV up to 275 kV	5000		

Information extracted from Electrical Safety Regulation 2013 Schedule 2

PROCEDURE / INSTRUCTIONS

Exclusion Zone – Instructed Person and Authorised Person (distances in mm)

Nominal phase to phase Voltage of electric line	Instructed Person (IP) & Authorised Person (AP)		
	AP and IP	Operating Plant with Safety Observer or another Safe System of work	Operating of Vehicles
Insulated LV: Consultation with and verified by AP (Electrical)	No exclusion zone prescribed	No exclusion zone prescribed	No exclusion zone prescribed
LV	No exclusion zone prescribed	1000	600
>LV up to 33 kV	700	1200	700
>33 kV up to 50 kV	750	1300	750
>50 kV up to 66 kV	1000	1400	1000
>66 kV up to 110 kV		1800	
>110 up to 132	1200		1200

Information extracted from Electrical Safety Regulation 2013 Schedule 2

1.2.3 Work near underground electrical lines (underground electrical assets)

Before carrying out any earthworks at a location, the person, worker or PCBU is required to ensure that the potential hazards are identified, a risk assessment conducted and the necessary control measures implemented to minimise the risk of damaging identified or unidentified underground electrical assets and to ensure the safety of all workers and other persons at the workplace. The Electrical Safety Regulation 2013 and Electrical Safety Code of Practice 2020 - Working Near Overhead and Underground Electric Lines and Electricity Entity Requirements detail the requirement for work near underground electric lines.

There is no exclusion zone applicable for underground electrical assets – conduits, cables (unless cable is damaged, or conductors or terminations have been exposed) therefore there is **no requirement for a written Safety Advice** to be requested by a person, worker or PCBU, or issued by an electricity entity for work at a site that only involves identified or unidentified underground electrical assets (e.g. does not involved overhead electric lines or other exposed live parts within the work location).

1.3. Obtaining Safety Advice

To obtain written Safety Advice where identified as being required in Section 1.2.1 above, complete and return (by fax or email) the applicable Safety Advice Request Form which is accessible via the electricity entity website link on page 9:

- Energex Form - Application for Safety Advice – Working near Energex exposed live parts
- Ergon Energy Safety Advice Request Form

PROCEDURE / INSTRUCTIONS

On receipt, the Electricity Entity will contact the Applicant to advise date and time to meet at site to provide written Safety Advice. It is advisable to bring to the meeting your copy of the Electrical Safety Code of Practice 2020 Working Near Overhead and Underground Electric Lines (and Before You Dig Australia Plan for location of underground assets where required), as reference to this will be necessary during the meeting. Written Safety Advice and/or other control measures provided by the Electricity Entity may incur a fee.

Failure to adhere to the Electrical Safety Regulation Section 68 requirements and mandatory control measures as documented on written Safety Advice as issued will result in written non-compliance advice being sent to the Electrical Safety Office.

Where this work is required to occur on a regular basis at a workplace, the PCBU may consider arranging to have one or more employees trained and subsequently accredited with the Electricity Entity as Authorised Persons.

1.4. Authorised Person and how to become one?

Under the Electrical Safety Regulation 2013, the exclusion zones for working near or operating plant or vehicles near exposed, low voltage or high voltage electric lines vary depending on whether a person is classed as an “Untrained Person”, “Authorised Person” or “Instructed Person”. An Authorised Person is permitted to carry out work closer to the electric lines than an Untrained Person (refer Electrical Safety Code of Practice 2020 Working Near Overhead and Underground Electric Lines Appendix B Exclusion Zones for Overhead Electric Lines).

To become an Authorised Person, the employer / self-employed person must first satisfy the “person in control” of the electric line, in this case the Electricity Entity, that their Applicants possess the required competencies. They must then apply in writing to Electricity Entity for approval.

Removal or replacement of LV service fuse to permit work on consumers’ mains, installation switchboard, consumer’s terminals or eliminate an exclusion that would exist requires the Electrical Mechanic to hold a current Queensland Electrical Mechanic Licence and perform the work in accordance with their documented safe system of work.

NOTE: It is not permissible to replace a blown LV service fuse(s) after loss of supply to consumer’s installation or to alter Electricity Entity LV aerial services.

1.5. Contacting Electricity Entity for Safety Advice or Authorised Person Enquiries

By phone

- call Electricity Entity on General Enquiries phone number (refer page 3).

By email

- **Energex:** custserve@energex.com.au or authorisedperson@energex.com.au
- **Ergon Energy:** safetyadvice@ergon.com.au

Website

- **Energex:** <https://www.energex.com.au/home/safety/working-near-powerlines>
- **Ergon Energy:** <https://www.ergon.com.au/network/safety/business-safety/the-outdoor-workplace/working-near-powerlines>

PROCEDURE / INSTRUCTIONS**2. OVERHEAD ELECTRIC LINES**

The following table sets out preparatory work options that may be required to be performed by the Electricity Entity (or electrical contractor where identified as being permitted who is an Authorised Person - Electrical) to assist a person, worker or PCBU in minimising the electrical safety risks of, encroaching within the exclusion zone or contact with electric lines.

Category of work		Description	Costing arrangement
Safety Advice	Base information	Provide Safety Advice	Nil cost to customer
LV Service isolation	1. Isolation carried out by customer's electrical contractor	Isolation of overhead or underground service by removal of the service fuse(s). (Preferred option to isolate supply and eliminate the exclusion zone).	No involvement by the Electricity Entity. May be a cost charged by the customer's electrical contractor.
	2. Isolation carried out by Electricity Entity	Customer requested isolation of overhead or underground service by removal of the service fuse(s); or Customer requested physical disconnection and reconnection of overhead or underground service.	Cost to customer.
Insulation integrity verification	3. Verification of insulation integrity to reduce exclusion zone to no exclusion zone prescribed e.g. no contact permitted	Verification of insulation integrity to classify as insulated service – Insulation integrity can only be verified at the time of inspection – visual inspection is required before confirmation in all cases. When service insulation integrity verified - no exclusion zone prescribed e.g. no contact permitted.	Cost to customer.
Service replacement	4. Open wire service, service fuse(s) at house/building	Replacement of service with new XLPE service cable and service fuse(s) installed at origin (pole end) of service to allow isolation of service. Insulation integrity can be verified for new XLPE services at the time of installation – visual inspection is required before confirmation.	Nil cost to customer for service replacement. Customer responsible for necessary installation, Mains Connection Box and service support bracket upgrade and associated costs if required.
		Service installations where: a. the consumer's mains cannot be insulated and an exclusion zone must be maintained, and b. the service cannot be isolated at the service fuse. Service to be isolated by breaking the service cable connection to the LV mains at the pole. Service fuse(s) to be installed at origin (pole end) of service prior to reconnection.	Nil cost to customer for first disconnection and reconnection. Cost to customer for subsequent requests.

PROCEDURE / INSTRUCTIONS

Category of work		Description	Costing arrangement
	5. All other service replacements	Customer requested replacement of existing service with new XLPE service cable to classify as insulated service, in lieu of isolation, to allow work close (no exclusion zone prescribed e.g. no contact permitted). Service fuse(s) to be installed at origin (pole end) of service.	Cost to customer for service replacement. Customer responsible for necessary installation, Mains Connection Box and service support bracket upgrade and associated costs if required.
Tiger Tails	6. Installation of Tiger Tails (for visual indication only – not for providing electrical insulation of LV mains)	Customer requested coverage of LV mains for visual indication only (not permitted on HV mains). The Entity may also fit tiger tails to LV service line for visual indication only.	Cost to customer.
Aerial Markers	7. Installation of aerial marker flags or balls (for visual indication only)	Customer requested temporary or permanent installation of appropriate aerial marker devices on LV or HV mains.	Cost to customer.
Switching	8. Customer requested switching	Customer requested switching to allow customer/contractor to work close (no exclusion zone prescribed e.g. no contact permitted).	Cost to customer.

2.1. Isolation of supply to customer installation to eliminate exclusion zone around LV service line

An Electrical Mechanic (holding current Queensland Licence) working on behalf of an electrical contractor and accredited with the Electricity Entity as an Authorised Person (Electrical) is permitted to remove and replace LV service fuse(s) when isolation of customer LV service line is required to eliminate the exclusion zone around the LV service line, or to work on the customer's mains and/or switchboard. Isolation of the customer's LV service line by an Authorised Person (Electrical) is only permitted at an underground service pillar or service pole by removing a fuse wedge(s) from a service line, in accordance with Electricity Industry practices e.g. from ground level using appropriate insulated tools, PPE and insulating mats. In those situations where the service fuse/circuit breaker is not located at supply end of the LV service, contact the Electricity Entity to arrange for Safety Advice where elimination of exclusion zone around LV service line is required.

Any controls used by the Authorised Person (Electrical) to identify and confirm isolation and ensure supply to the customer's installation is not inadvertently re-energised shall comply with Electrical Safety Regulation 2013 Section 14 and 15 requirements.

NOTE: The Authorised Person (Electrical) will not be permitted to replace a blown LV service fuse(s) after loss of supply to a customer's installation or to alter the Electricity Entity overhead LV services. The low voltage pole top service fuse shall only be removed by use of an approved, in test, insulated telescopic pole device while standing at ground level and wearing class 00 insulating gloves. At no time is it permissible for an Authorised Person (Electrical) to climb or work aloft on the Electricity Entity's poles or assets unless approved by the Electricity Entity.

2.2. Operating Plant

It can be extremely difficult for operating plant operators to see overhead lines and to judge distances from them. Contact with overhead lines can pose a risk of grounding live conductors and electrocution.

In many cases the likelihood of damage or injury can be reduced by setting up and operating the machinery well clear of overhead electric lines.

PROCEDURE / INSTRUCTIONS

In situations where operating plant is operated by an Authorised Person or Instructed Person without a Safety Observer or another safe system, the exclusion zone requirements (refer Section 1) for an Untrained Person applies (refer Electrical Safety Regulation 2013 Schedule 2 or Electrical Safety Code of Practice 2020 Working Near Overhead and Underground Electric Lines).

For an Authorised or Instructed Person and their Operating Plant to approach overhead electric lines closer than the exclusion zone distances for an Untrained Person, a Safety Observer or another safe system shall be used. Refer to the Electrical Safety Regulation 2013 and the Electrical Safety Code of Practice 2020 - Working Near Overhead and Underground Electric Lines for exclusion zone distances for Authorised and Instructed Persons operating plant with a Safety Observer or another safe system.

Where a Safety Observer is used, the Safety Observer shall:

- Be trained to perform the role.
- Not be required to carry out any other duties at the time, and
- Not be required to observe more than one item of plant operating at a time, and
- Attend all times when the item of plant is operating.

Other control measures for operating plant may include, but are not restricted to:

- Constructing physical barriers or height warning indicators either side of the overhead electric line that are lower than the maximum travel height permissible without encroaching within the exclusion zone of the overhead electric line.
- Applying appropriate signage at least 8 to 10 m either side of overhead electric lines.
- Arrange for visual indicators such as Tiger Tails or aerial markers to fitted to the overhead electric lines – only erected by the Electricity Entity (tiger tails are only permitted on LV mains).
- Ground barriers, where appropriate.
- Informing workers of required work practices.
- Ensuring operators are aware of the height and reach of their machinery in both stowed and working positions.
- Lowering all machinery to the transport position when relocating.
- Providing workers with maps or diagrams showing the location of underground and overhead electric lines, and
- Where possible, directing work away from overhead electric lines not towards them.



2.3. Scaffolding Requirements

The following information provided is for guidance only and shall be read in conjunction with the Electrical Safety Regulation 2013, Electrical Safety Code of Practice 2020 - Working Near Overhead and Underground Electric Lines and AS/NZS 4576:1995: Guidelines for Scaffolding.

Requirements shall be complied with where scaffolding is required to be erected within 4 m of nearby overhead electric lines:

- The scaffolding shall not be erected before contacting and obtaining Safety Advice from the Electricity Entity.
- Erection of scaffolding to comply with requirements of AS/NZS 4576:1995: Guidelines for Scaffolding.

The scaffolding can be either:

- nonconductive material scaffolding; or

PROCEDURE / INSTRUCTIONS

- metallic scaffolding with solid nonconductive barriers (with no gaps, holes or cuts) securely fixed to the outside and/or top of the scaffolding to prevent encroachment within exclusion zones or contact with the energised mains.

Where scaffolding is erected within 3 m of nearby overhead electric lines:

- It shall be fitted with fully enclosed non-conductive solid barriers to prevent encroachment within exclusion zones or contact with the energised mains fully enclosed.
- The person required to erect and/or disassemble scaffolding as well as the required solid barrier affixed to the scaffolding should be an Authorised Person (approved in writing by the Electricity Entity - refer requirements of Section 1.4 of this Reference).
- A Safety Observer shall be used during performance of this work where there is a risk of encroachment within 3 m of nearby energised overhead electric lines for voltages up to 33 kV. Additional requirements may apply for voltage levels above 33 kV, contact the Electricity Entity for consultation.
- Alternatively, consideration should be given to the de-energisation of the nearby electric lines where possible for the duration of this work. Additional requirements may apply for voltage levels above 33 kV, contact the Electricity Entity for consultation.
- Comply with the horizontal and vertical statutory clearances from overhead electric lines as set out in Electrical Safety Regulation 2013 Schedule 4.
- Persons are not permitted to go outside of or climb on top of the solid barrier fixed on the outside and/or top of the scaffolding.

Where an insulated low voltage service line passes through the scaffolding, it should either be de-energised for duration of work or be fully enclosed by non-conductive material (e.g. form ply).

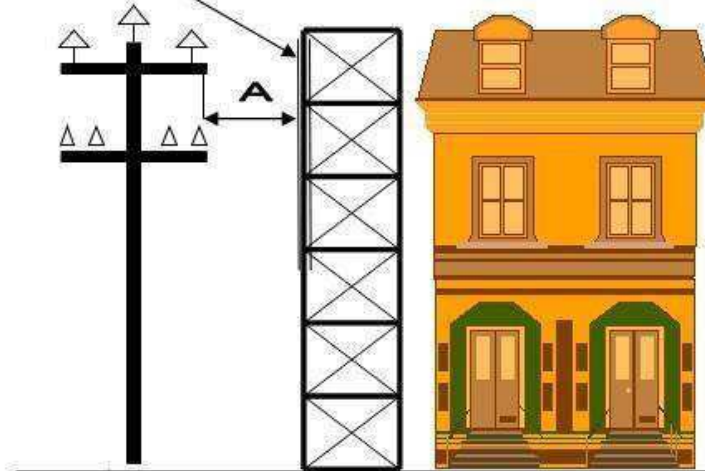
Minimum statutory clearances from nearby overhead electric lines for scaffolding erected with barriers affixed.

Voltage Level	Horizontal Distance "A" (in metres)	Vertical Distance "B" (in metres)
Low voltage conductors (uninsulated)	1.5m	2.7m
Low voltage conductors (insulated) – these distances can only be applied after the integrity of the insulation has been verified by the Electricity Entity	0.3m	0.6m
Above LV and up to 33 kV (uninsulated)	1.5m	3.0m
Above LV and up to 33 kV (insulated)	Contact Electricity Entity for consultation.	
Above 33 kV (uninsulated)	Additional requirements may apply for voltage levels above 33 kV, contact the Electricity Entity for consultation.	

NOTE: Dimension's "A" and "B" is between the scaffolding and the closest conductor of the overhead electric line. Dimension B is also taken from the lowest part of the mid span sag adjacent to the scaffolding.

PROCEDURE / INSTRUCTIONS

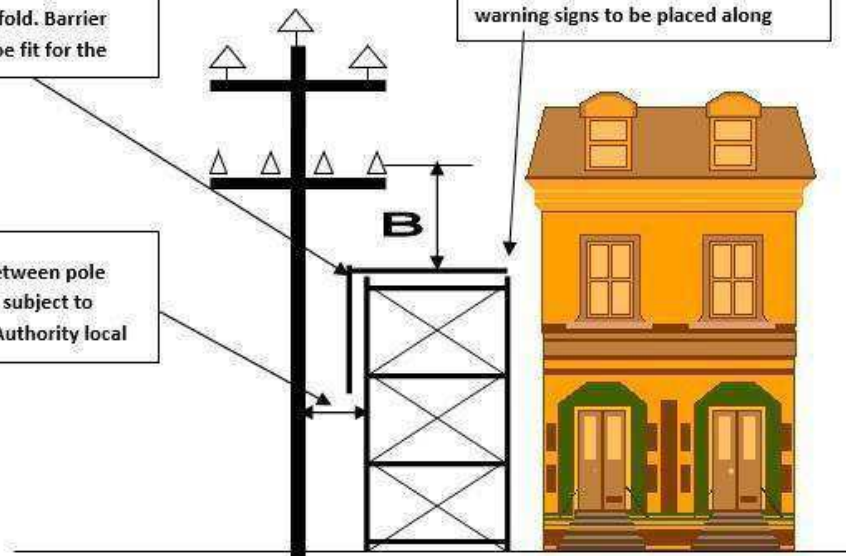
Barrier fixed securely to the face of the scaffold. Barrier material must be fit for the intended purpose.



Barrier fixed securely to the face of the scaffold. Barrier material must be fit for the

Barriers and "Live Conductors" warning signs to be placed along

Min 100 mm between pole and scaffolding subject to relevant Local Authority local



PROCEDURE / INSTRUCTIONS

2.4. High Load transport under Overhead Electric Lines

Any person or company transporting a High Load (load in excess of 4.6 m high) under overhead electric lines must comply with Electrical Safety Code of Practice 2020 - Working Near Overhead and Underground Electric Lines is required to submit a Notification to Transport High Load form to the relevant Electricity Entity of the intended route and details of the high load involved. Before any person or company can transport a high load (load in excess of 4.6 m high), authorisation to travel must be received in writing from the Electricity Entity. Refer details below to contact the Electricity Entity for high load enquiries or to submit Notification to Transport High Load form:

Energex:

- **Email:** custserve@energex.com.au
- **Website:** www.energex.com.au
- **Phone:** Energex Contact Centre on 13 12 53 (8am to 5:30pm, Monday to Friday)

Ergon Energy:

- **Email:** Highload2@ergon.com.au
- **Website:** www.ergon.com.au
- **Phone:** (07) 4932 7566 (8am to 4:30pm, Monday to Friday)

2.5. Additional Details and Fact Sheets on Electricity Entity Requirements

Additional details and Fact Sheets on Electricity Entity requirements for working near overhead electric lines are located on the following internet sites

Energex: <https://www.energex.com.au/home/safety/working-near-powerlines>

Ergon Energy: <https://www.ergon.com.au/network/safety/business-safety/the-outdoor-workplace/working-near-powerlines>

3. UNDERGROUND ELECTRICAL ASSETS

3.1. Responsibilities When Working in the Vicinity of Electricity Entity Underground Electrical Assets

Everyone has a legal “Duty of Care” that must be observed when working in the vicinity of underground electrical assets which includes underground cables, conduits and other associated underground equipment. When discharging this “Duty of Care” in relation to Electricity Entity underground electrical assets, the following points must be considered:

1. It is the responsibility of the architect, consulting Engineer, developer, and principal contractor in the project planning stages to design for minimal impact and protection of Electricity Entity underground electrical assets. The Electricity Entity will provide plans on request via BYDA showing the presence of the underground electrical assets to assist at this design stage.
2. It is the constructor’s responsibility to:
 - a. Anticipate and request BYDA plans of Electricity Entity underground electrical assets for a particular location at a reasonable time before earthworks begins.
 - b. Visually locate Electricity Entity underground electrical assets by use of an electronic cable locator followed by careful non-mechanical excavation (potholing using hydrovac or hand tools) when earthworks activities may damage or interfere with Electricity Entity plant.