

# Seller disclosure statement



Queensland  
Government

Property Law Act 2023 section 99

Form 2, Version 1 | Effective from: 1 August 2025

**WARNING TO BUYER** – This statement contains important legal and other information about the property offered for sale. You should read and satisfy yourself of the information in this statement before signing a contract. You are advised to seek legal advice before signing this form. You should not assume you can terminate the contract after signing if you are not satisfied with the information in this statement.

**WARNING** – You must be given this statement before you sign the contract for the sale of the property.

## This statement does not include information about:

- » flooding or other natural hazard history
- » structural soundness of the building or pest infestation
- » current or historical use of the property
- » current or past building or development approvals for the property
- » limits imposed by planning laws on the use of the land
- » services that are or may be connected to the property
- » the presence of asbestos within buildings or improvements on the property.

You are encouraged to make your own inquiries about these matters before signing a contract. You may not be able to terminate the contract if these matters are discovered after you sign.

## Part 1 – Seller and property details

|   |  |
|---|--|
| Seller  | Shaffy Kochar, Sougata Das                       |
| Property address<br>(referred to as the<br>“property” in this<br>statement) | 2 Pipit Cl<br>Mango Hill, Queensland, 4509       |
| Lot on plan description   | Lot 662, Plan SP179318, Title Reference 50645746 |

Community titles scheme  
or BUGTA scheme:

Is the property part of a community titles scheme or a BUGTA scheme:

☐ **Yes**

*If **Yes**, refer to Part 6 of this statement  
for additional information*

☒ **No**

*If **No**, please disregard Part 6 of this statement  
as it does not need to be completed*

## Part 2 – Title details, encumbrances and residential tenancy or rooming accommodation agreement

### Title details

The seller gives or has given the buyer the following—

A title search for the property issued under the *Land Title Act 1994* showing interests registered under that Act for the property.

☒ **Yes**

A copy of the plan of survey registered for the property.

☒ **Yes**

|   |   |
|---|---|
| <b>Registered encumbrances</b>                                      | <p>Registered encumbrances, if any, are recorded on the title search, and may affect your use of the property. Examples include easements, statutory covenants, leases and mortgages.</p> <p>You should seek legal advice about your rights and obligations before signing the contract.</p>  |
| <b>Unregistered encumbrances (excluding statutory encumbrances)</b> | <p>There are encumbrances not registered on the title that will continue <input type="checkbox"/> <b>Yes</b> <input checked="" type="checkbox"/> <b>No</b> to affect the property after <b>settlement</b>.</p> <p><b>Note</b>—If the property is part of a community titles scheme or a BUGTA scheme it may be subject to and have the benefit of statutory easements that are <b>NOT</b> required to be disclosed.</p> <p><b>Unregistered lease (if applicable)</b></p> <p>If the unregistered encumbrance is an unregistered lease, the details of the agreement are as follows:</p> <p>» the start and end day of the term of the lease: <input type="text"/></p> <p>» the amount of rent and bond payable: <input type="text"/></p> <p>» whether the lease has an option to renew: <input type="text"/></p> <p><b>Other unregistered agreement in writing (if applicable)</b></p> <p>If the unregistered encumbrance is created by an agreement in writing, and is not an unregistered lease, a copy of the agreement is given, together with relevant plans, if any. <input type="checkbox"/> <b>Yes</b></p> <p><b>Unregistered oral agreement (if applicable)</b></p> <p>If the unregistered encumbrance is created by an oral agreement, and is not an unregistered lease, the details of the agreement are as follows:</p> <div style="border: 1px solid black; height: 100px; width: 100%;"></div> |
| <b>Statutory encumbrances</b>                                       | <p>There are statutory encumbrances that affect the property. <input checked="" type="checkbox"/> <b>Yes</b> <input type="checkbox"/> <b>No</b></p> <p><i>If <b>Yes</b>, the details of any statutory encumbrances are as follows:</i></p> <div style="border: 1px solid black; padding: 5px;"> <p>All statutory rights relating to water supply, sewerage, drainage, electricity, telephone and other services in passing through or over the property whether or not protected by registered easement.</p> </div>   |
| <b>Residential tenancy or rooming accommodation agreement</b>       | <p>The property has been subject to a residential tenancy agreement or a rooming accommodation agreement under the <i>Residential Tenancies and Rooming Accommodation Act 2008</i> during the last 12 months. <input checked="" type="checkbox"/> <b>Yes</b> <input type="checkbox"/> <b>No</b></p> <p>If <b>Yes</b>, when was the rent for the premises or each of the residents' rooms last increased? (<i>Insert date of the most recent rent increase for the premises or rooms</i>) <input type="text" value="24 July 2024"/></p> <p><b>Note</b>—Under the <i>Residential Tenancies and Rooming Accommodation Act 2008</i> the rent for a residential premises may not be increased earlier than 12 months after the last rent increase for the premises.</p> <p>As the owner of the property, you may need to provide evidence of the day of the last rent increase. You should ask the seller to provide this evidence to you prior to settlement.</p>   |

## Part 3 – Land use, planning and environment

**WARNING TO BUYER** – You may not have any rights if the current or proposed use of the property is not lawful under the local planning scheme. You can obtain further information about any planning and development restrictions applicable to the lot, including in relation to short-term letting, from the relevant local government.

|   |  |  |  |
|---|--|--|--|
| <b>Zoning</b>                                     | <p>The zoning of the property is (<i>Insert zoning under the planning scheme, the Economic Development Act 2012; the Integrated Resort Development Act 1987; the Mixed Use Development Act 199; the State Development and Public Works Organisation Act 1971 or the Sanctuary Cove Resort Act 1985, as applicable</i>):</p> <div style="border: 1px solid black; padding: 2px;">General residential</div>  |  |  |
| <b>Transport proposals and resumptions</b>        | <p>The lot is affected by a notice issued by a Commonwealth, State or local government entity and given to the seller about a transport infrastructure proposal* to: locate transport infrastructure on the property; or alter the dimensions of the property. <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>The lot is affected by a notice of intention to resume the property or any part of the property. <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p><i>If <b>Yes</b>, a copy of the notice, order, proposal or correspondence must be given by the seller.</i></p>   |  |  |
| <b>Contamination and environmental protection</b> | <p>The property is recorded on the Environmental Management Register or the Contaminated Land Register under the <i>Environmental Protection Act 1994</i>. <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p><b>The following notices are, or have been, given:</b></p> <p>A notice under section 408(2) of the <i>Environmental Protection Act 1994</i> (for example, land is contaminated, show cause notice, requirement for site investigation, clean up notice or site management plan). <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>A notice under section 369C(2) of the <i>Environmental Protection Act 1994</i> (the property is a place or business to which an environmental enforcement order applies). <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>A notice under section 347(2) of the <i>Environmental Protection Act 1994</i> (the property is a place or business to which a prescribed transitional environmental program applies). <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> |  |  |
| <b>Trees</b>                                      | <p>There is a tree order or application under the <i>Neighbourhood Disputes (Dividing Fences and Trees) Act 2011</i> affecting the property. <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p><i>If <b>Yes</b>, a copy of the order or application must be given by the seller.</i></p>   |  |  |
| <b>Heritage</b>                                   | <p>The property is affected by the <i>Queensland Heritage Act 1992</i> or is included in the World Heritage List under the <i>Environment Protection and Biodiversity Conservation Act 1999</i> (Cwlth). <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p>  |  |  |
| <b>Flooding</b>                                   | <p>Information about whether the property is affected by flooding or another natural hazard or within a natural hazard overlay can be obtained from the relevant local government and you should make your own enquires. Flood information for the property may also be available at the <a href="#">FloodCheck Queensland</a> portal or the <a href="#">Australian Flood Risk Information</a> portal.</p>   |  |  |
| <b>Vegetation, habitats and protected plants</b>  | <p>Information about vegetation clearing, koala habitats and other restrictions on development of the land that may apply can be obtained from the relevant State government agency.</p>   |  |  |

## Part 4 – Buildings and structures

**WARNING TO BUYER** – The seller does not warrant the structural soundness of the buildings or improvements on the property, or that the buildings on the property have the required approval, or that there is no pest infestation affecting the property. You should engage a licensed building inspector or an appropriately qualified engineer, builder or pest inspector to inspect the property and provide a report and also undertake searches to determine whether buildings and improvements on the property have the required approvals.

|  |   |   |  |
|--|---|---|--|
| <b>Swimming pool</b>                                       | <p>There is a relevant pool for the property.</p> <p>If a community titles scheme or a BUGTA scheme – a shared pool is located in the scheme.</p> <p>Pool compliance certificate is given.</p> <p>OR</p> <p>Notice of no pool safety certificate is given.</p>  | <p><input checked="" type="checkbox"/> <b>Yes</b></p> <p><input type="checkbox"/> <b>Yes</b></p> <p><input checked="" type="checkbox"/> <b>Yes</b></p> <p><input type="checkbox"/> <b>Yes</b></p> | <p><input type="checkbox"/> <b>No</b></p> <p><input checked="" type="checkbox"/> <b>No</b></p> <p><input type="checkbox"/> <b>No</b></p> <p><input type="checkbox"/> <b>No</b></p> |
| <b>Unlicensed building work under owner builder permit</b> | <p>Building work was carried out on the property under an owner builder permit in the last 6 years.</p> <p><i>A notice under section 47 of the Queensland Building and Construction Commission Act 1991 must be given by the seller and you may be required to sign the notice and return it to the seller prior to signing the contract.</i></p>   | <p><input type="checkbox"/> <b>Yes</b></p>  | <p><input checked="" type="checkbox"/> <b>No</b></p>   |
| <b>Notices and orders</b>                                  | <p>There is an unsatisfied show cause notice or enforcement notice under the <i>Building Act 1975</i>, section 246AG, 247 or 248 or under the <i>Planning Act 2016</i>, section 167 or 168.</p> <p>The seller has been given a notice or order, that remains in effect, from a local, State or Commonwealth government, a court or tribunal, or other competent authority, requiring work to be done or money to be spent in relation to the property.</p> <p><i>If <b>Yes</b>, a copy of the notice or order must be given by the seller.</i></p>  | <p><input type="checkbox"/> <b>Yes</b></p> <p><input type="checkbox"/> <b>Yes</b></p>   | <p><input checked="" type="checkbox"/> <b>No</b></p> <p><input checked="" type="checkbox"/> <b>No</b></p>  |
| <b>Building Energy Efficiency Certificate</b>              | <p>If the property is a commercial office building of more than 1,000m<sup>2</sup>, a Building Energy Efficiency Certificate is available on the Building Energy Efficiency Register.</p>   |   |  |
| <b>Asbestos</b>  | <p>The seller does not warrant whether asbestos is present within buildings or improvements on the property. Buildings or improvements built before 1990 may contain asbestos. Asbestos containing materials (ACM) may have been used up until the early 2000s. Asbestos or ACM may become dangerous when damaged, disturbed, or deteriorating. Information about asbestos is available at the Queensland Government Asbestos Website (<a href="https://asbestos.qld.gov.au">asbestos.qld.gov.au</a>) including common locations of asbestos and other practical guidance for homeowners.</p> |   |  |

## Part 5 – Rates and services

**WARNING TO BUYER** – The amount of charges imposed on you may be different to the amount imposed on the seller.

|              |   |
|--------------|---|
| <b>Rates</b> | <b>Whichever of the following applies—</b>  |
|              | The total amount payable* for all rates and charges (without any discount) for the property as stated in the most recent rate notice is:        |
|              | Amount: <input type="text" value="\$ 886.24"/> Date Range: <input type="text" value="1 July 2025 - 30 September 2025"/>                         |
|              | OR  |
|              | The property is currently a rates exempt lot.** <input type="checkbox"/>  |
|              | OR  |
|              | The property is not rates exempt but no separate assessment of rates is issued by a local government for the property. <input type="checkbox"/> |

\*Concessions: A local government may grant a concession for rates. The concession will not pass to you as buyer unless you meet the criteria in section 120 of the *Local Government Regulation 2012* or section 112 of the *City of Brisbane Regulation 2012*.

\*\* An exemption for rates applies to particular entities. The exemption will not pass to you as buyer unless you meet the criteria in section 93 of the *Local Government Act 2009* or section 95 of the *City of Brisbane Act 2010*.

|              |  |
|--------------|--|
| <b>Water</b> | <b>Whichever of the following applies—</b>   |
|              | The total amount payable as charges for water services for the property as indicated in the most recent water services notice* is:     |
|              | Amount: <input type="text" value="\$ 493.00"/> Date Range: <input type="text" value="16 April 2025 to 15 July 2025"/>                  |
|              | OR   |
|              | There is no separate water services notice issued for the lot; however, an estimate of the total amount payable for water services is: |
|              | Amount: <input type="text"/> Date Range: <input type="text"/>  |

\* A water services notices means a notice of water charges issued by a water service provider under the *Water Supply (Safety and Reliability) Act 2008*.

## Part 6 – Community titles schemes and BUGTA schemes

(If the property is part of a community titles scheme or a BUGTA scheme this Part must be completed)

**WARNING TO BUYER** – If the property is part of a community titles scheme or a BUGTA scheme and you purchase the property, you will become a member of the body corporate for the scheme with the right to participate in significant decisions about the scheme and you will be required to pay contributions towards the body corporate's expenses in managing the scheme. You will also be required to comply with the by-laws. By-laws will regulate your use of common property and the lot.

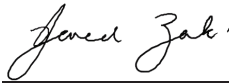
**For more information about living in a body corporate and your rights and obligations, contact the Office of the Commissioner for Body Corporate and Community Management.**

|   |  |
|---|--|
| <b>Body Corporate and Community Management Act 1997</b> | <p><b>The property is included in a community titles scheme.</b> <input type="checkbox"/> <b>Yes</b> <input checked="" type="checkbox"/> <b>No</b></p> <p><i>(If Yes, complete the information below)</i></p>  |
| <b>Community Management Statement</b>                   | <p>A copy of the most recent community management statement for the scheme as recorded under the <i>Land Title Act 1994</i> or another Act is given to the buyer. <input type="checkbox"/> <b>Yes</b></p> <p><b>Note</b>—If the property is part of a community titles scheme, the community management statement for the scheme contains important information about the rights and obligations of owners of lots in the scheme including matters such as lot entitlements, by-laws and exclusive use areas.</p>  |
| <b>Body Corporate Certificate</b>                       | <p>A copy of a body corporate certificate for the lot under the <i>Body Corporate and Community Management Act 1997</i>, section 205(4) is given to the buyer. <input type="checkbox"/> <b>Yes</b> <input checked="" type="checkbox"/> <b>No</b></p> <p><i>If No</i>— An explanatory statement is given to the buyer that states: <input type="checkbox"/> <b>Yes</b></p> <ul style="list-style-type: none"> <li>» a copy of a body corporate certificate for the lot is not attached; and</li> <li>» the reasons under section 6 of the <i>Property Law Regulation 2024</i> why the seller has not been able to obtain a copy of the body corporate certificate for the lot.</li> </ul> |
| <b>Statutory Warranties</b>                             | <p><b>Statutory Warranties</b>—If you enter into a contract, you will have implied warranties under the <i>Body Corporate and Community Management Act 1997</i> relating to matters such as latent or patent defects in common property or body corporate assets; any actual, expected or contingent financial liabilities that are not part of the normal operating costs; and any circumstances in relation to the affairs of the body corporate that will materially prejudice you as owner of the property. There will be further disclosure about warranties in the contract.</p>   |

|   |  |
|---|--|
| <b>Building Units and Group Titles Act 1980</b> | <p><b>The property is included in a BUGTA scheme</b> <input type="checkbox"/> <b>Yes</b> <input checked="" type="checkbox"/> <b>No</b></p> <p><i>(If Yes, complete the information below)</i></p>  |
| <b>Body Corporate Certificate</b>               | <p>A copy of a body corporate certificate for the lot under the <i>Building Units and Group Titles Act 1980</i>, section 40AA(1) is given to the buyer. <input type="checkbox"/> <b>Yes</b> <input type="checkbox"/> <b>No</b></p> <p><i>If No</i>— An explanatory statement is given to the buyer that states: <input type="checkbox"/> <b>Yes</b></p> <ul style="list-style-type: none"> <li>» a copy of a body corporate certificate for the lot is not attached; and</li> <li>» the reasons under section 7 of the <i>Property Law Regulation 2024</i> why the seller has not been able to obtain a copy of the body corporate certificate for the lot.</li> </ul> <p><b>Note</b>—If the property is part of a BUGTA scheme, you will be subject to by-laws approved by the body corporate and other by-laws that regulate your use of the property and common property.</p> |

## Signatures – SELLER



as solicitor  
on behalf of the seller

Signature of seller

Signature of seller

Shaffy Kochar

Name of seller

Sougata Das

Name of seller

11/8/2025

Date

11/8/2025

Date

## Signatures – BUYER

**By signing this disclosure statement the buyer acknowledges receipt of this disclosure statement before entering into a contract with the seller for the sale of the lot.**

Signature of buyer

Signature of buyer

Name of buyer

Name of buyer

Date

Date

CURRENT TITLE SEARCH  
QUEENSLAND TITLES REGISTRY PTY LTD

Request No: 52936888  
Search Date: 11/08/2025 15:05

Title Reference: 50645746  
Date Created: 15/01/2007

Previous Title: 50560464

REGISTERED OWNER

Dealing No: 714335274 28/02/2012

SOUGATA DAS  
SHAFFY KOCHAR JOINT TENANTS

ESTATE AND LAND

Estate in Fee Simple

LOT 662 SURVEY PLAN 179318  
Local Government: MORETON BAY

EASEMENTS, ENCUMBRANCES AND INTERESTS

1. Rights and interests reserved to the Crown by  
Deed of Grant No. 10364143 (POR 506)
2. MORTGAGE No 714335275 28/02/2012 at 11:33  
COMMONWEALTH BANK OF AUSTRALIA A.B.N. 48 123 123 124

ADMINISTRATIVE ADVICES - NIL  
UNREGISTERED DEALINGS - NIL

Caution - Charges do not necessarily appear in order of priority

\*\* End of Current Title Search \*\*

COPYRIGHT QUEENSLAND TITLES REGISTRY PTY LTD [2025]  
Requested By: D-ENQ INFOTRACK PTY LIMITED



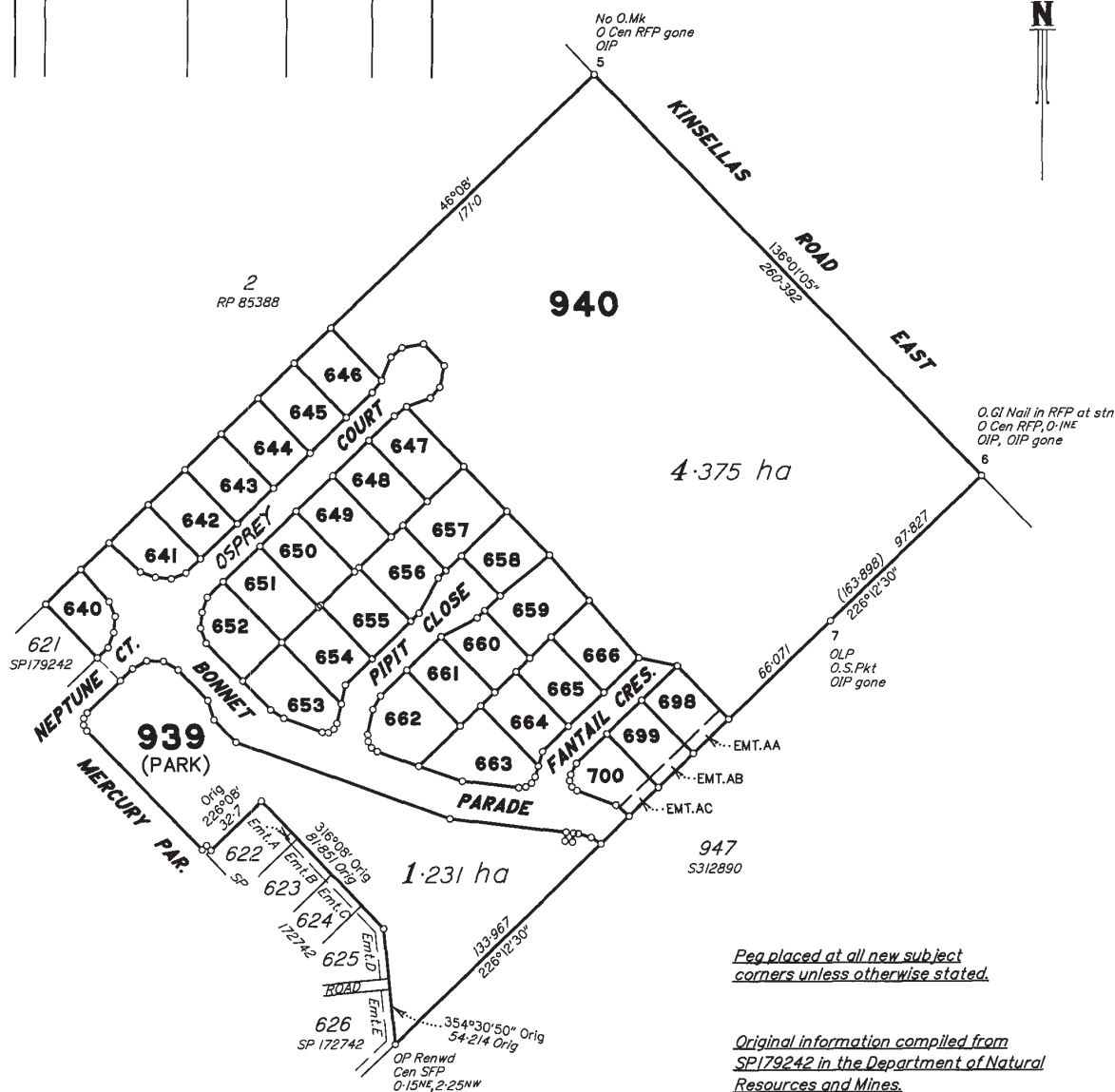
Land Title Act 1994; Land Act 1994  
Form 21 Version 2

~~APPROVED 5 01 2007~~

|       |    |
|-------|----|
| Sheet | of |
| 1     | 4  |

| REFERENCE MARKS |          |             |           |        |
|-----------------|----------|-------------|-----------|--------|
| STN             | TO       | ORIGIN      | BEARING   | DIST   |
| 5               | OIP      | 64,1S108548 | 36°52'    | 20.758 |
| 6               | OIP      | 65,1S108548 | 132°05'   | 1.887  |
| 6               | OIP gone | 65,1S108548 | 45°36'40" | 9.48   |
| 6               | OIP      | 65,1S108548 | 49°0'     | 19.486 |
| 7               | O.S.Pkt  | 84,1S108548 | 46°25'20" | 17.371 |
| 7               | OIP gone | 84,1S108548 | 27°25'06" | 18.256 |

Area of New Road  
1.173 ha



Peg placed at all new subject corners unless otherwise stated.

Original information compiled from  
SP179242 in the Department of Natural  
Resources and Mines.

Kellar Fox & McGhie Pty Ltd (ACN 010 162 197) hereby certify that the land comprised in this plan was surveyed by the corporation, by Graeme Lindsay JACKSON, surveying graduate, for whose work the corporation accepts responsibility, under the supervision of Timothy John APPELT, cadastral surveyor and that the plan is accurate, that the said survey was performed in accordance with the Survey and Mapping Infrastructure Act 2003 and Surveyors Act 2003 and associated Regulations and Standards and that the said survey was completed on 23/11/2006.



Director

Director

Date 28/11/2006

| Time (days) | 1st instar (individuals) | 2nd instar (individuals) |
|-------------|--------------------------|--------------------------|
| 0           | 0                        | 0                        |
| 10          | 10                       | 5                        |
| 20          | 70                       | 40                       |
| 30          | 80                       | 50                       |
| 40          | 75                       | 60                       |
| 50          | 60                       | 50                       |
| 60          | 40                       | 30                       |
| 70          | 20                       | 15                       |
| 80          | 10                       | 5                        |
| 90          | 5                        | 2                        |
| 100         | 0                        | 0                        |

*Plan of Lots 640-666, 698-700, 939~~940~~ and Embs AA-AC in Lots 698-700 respectively*

*Cancelling Lot 938 on SP179242*

PARISH: **REDCLIFFE**

COUNTY: *Stanley*

Meridian: *SP179242*

|        |    |
|--------|----|
| F/N's: | No |
|--------|----|

300m  
150 mm State copyright reserved.

Scale: **1:2000**

Format: **STANDARD**



SP 179318

Plan Status:

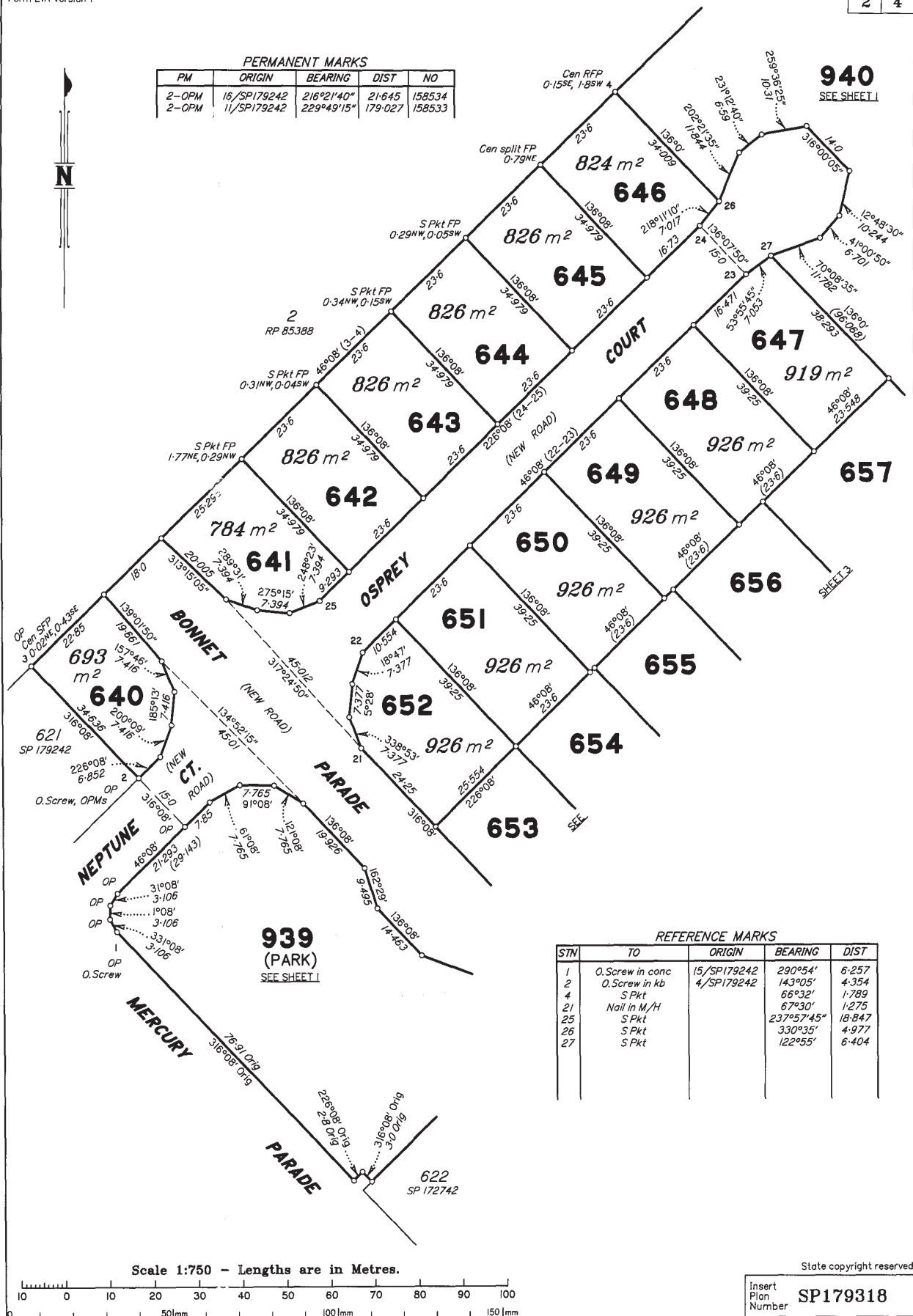
| <div style="font-size: 24pt; font-weight: bold; margin-bottom: 10px;">710253526</div> <div style="display: flex; justify-content: space-between;"><div style="font-weight: bold;">BE 400 NT</div><div style="text-align: right;"><div style="font-weight: bold;">\$2345.70</div><div style="font-size: 10pt;">12/01/2007 16:06</div></div></div>   |      | <div style="font-size: 12pt; font-weight: bold; margin-bottom: 5px;">WARNING : Folded or Mutilated Plans will not be accepted.</div> <div style="font-size: 12pt; font-weight: bold; margin-bottom: 5px;">Plans may be rolled.</div> <div style="font-size: 12pt; font-weight: bold;">Information may not be placed in the outer margins.</div>   |                             |                 |        |      |         |  |  |  |  |  |      |      |      |          |     |          |                             |       |        |
|--|------|---|-----------------------------|-----------------|--------|------|---------|--|--|--|--|--|------|------|------|----------|-----|----------|-----------------------------|-------|--------|
| Registered   |      | 5. Lodged by<br><div style="font-size: 18pt; font-family: cursive; margin-top: 10px;">Clarke Kawn</div> <div style="font-size: 18pt; margin-top: 5px;">122</div> <div style="font-size: 10pt; margin-top: 10px;">(Include address, phone number, reference, and Lodger Code)</div>  |                             |                 |        |      |         |  |  |  |  |  |      |      |      |          |     |          |                             |       |        |
| <div style="font-size: 12pt; font-weight: bold;">1. Certificate of Registered Owners or Lessees.</div> <div style="font-size: 12pt;">I/We <u>AV JENNINGS LIMITED ACN 004 601 503</u></div> <div style="font-size: 12pt; margin-top: 20px;">(Names in full)</div> <div style="font-size: 12pt; margin-top: 10px;">* as Registered Owners of this land agree to this plan and dedicate the Public Use Land as shown hereon in accordance with Section 50 of the Land Title Act 1994.</div> <div style="font-size: 12pt; margin-top: 10px;">* as Lessees of this land agree to this plan:</div> <div style="text-align: center; margin-top: 20px;"><div style="font-size: 10pt; font-weight: bold; margin-top: 5px;">Signature of *Registered Owners *Lessees</div></div> <div style="margin-top: 30px; font-size: 12pt; font-weight: bold;">AVJENNINGS LIMITED<br/>ACN 004 601 503 by its duly appointed<br/>Attorney MARK HENESEY-SMITH<br/>under Power of Attorney No. 708762940</div> |      | <div style="font-size: 12pt; font-weight: bold;">6. Existing</div> <table border="1" style="width: 100%; border-collapse: collapse;"><thead><tr><th>Title Reference</th><th>Lot</th><th>Plan</th><th colspan="3">Created</th></tr><tr><th></th><th></th><th></th><th>Lots</th><th>Emts</th><th>Road</th></tr></thead><tbody><tr><td>50560464</td><td>938</td><td>SP179242</td><td>640-666, 698-700, 939 &amp; 940</td><td>AA-AC</td><td>New Rd</td></tr></tbody></table>  |                             | Title Reference | Lot    | Plan | Created |  |  |  |  |  | Lots | Emts | Road | 50560464 | 938 | SP179242 | 640-666, 698-700, 939 & 940 | AA-AC | New Rd |
| Title Reference  | Lot  | Plan  | Created                     |                 |        |      |         |  |  |  |  |  |      |      |      |          |     |          |                             |       |        |
|  |      |   | Lots                        | Emts            | Road   |      |         |  |  |  |  |  |      |      |      |          |     |          |                             |       |        |
| 50560464   | 938  | SP179242  | 640-666, 698-700, 939 & 940 | AA-AC           | New Rd |      |         |  |  |  |  |  |      |      |      |          |     |          |                             |       |        |
| <div style="font-size: 12pt; font-weight: bold;">2. Local Government Approval.</div> <div style="font-size: 12pt;">* <u>COUNCIL OF THE SHIRE OF PINE RIVERS</u></div> <div style="font-size: 12pt;">hereby approves this plan in accordance with the:</div> <div style="font-size: 12pt; margin-top: 5px;">% <u>Integrated Planning Act 1997</u></div> <div style="margin-top: 30px; font-size: 12pt;">Date this <u>FIFTH</u> day of <u>JANUARY</u> 2007</div> <div style="margin-top: 20px; text-align: center;"><div style="font-size: 10pt; font-weight: bold; margin-top: 5px;"># Mayor</div><div style="font-size: 10pt; font-weight: bold; margin-top: 5px;"># Chief Executive officer</div></div> <div style="font-size: 10pt; margin-top: 10px;">* Insert the name of the Local Government.    % Insert Integrated Planning Act 1997 or<br/># Insert designation of signatory or delegation    Local Government (Planning &amp; Environment) Act 1990</div>                    |      | <div style="display: flex; justify-content: space-between;"><div style="font-size: 12pt;">640-666,<br/>698-700<br/>939 &amp; 940</div><div style="font-size: 12pt; font-weight: bold;">POR. 506</div></div> <table border="1" style="width: 100%; border-collapse: collapse;"><thead><tr><th>Orig</th><th>Lots</th></tr></thead><tbody><tr><td colspan="2" style="height: 20px;"></td></tr></tbody></table> <div style="font-size: 12pt; font-weight: bold;">7. Portion Allocation :</div> <div style="font-size: 12pt; font-weight: bold;">8. Map Reference :</div> <div style="font-size: 12pt; margin-top: 5px;">9543-43323</div> <div style="font-size: 12pt; font-weight: bold;">9. Locality :</div> <div style="font-size: 12pt; margin-top: 5px;">MANGO HILL</div> <div style="font-size: 12pt; font-weight: bold;">10. Local Government :</div> <div style="font-size: 12pt; margin-top: 5px;">PINE RIVERS S.C.</div> <div style="font-size: 12pt; font-weight: bold;">11. Passed &amp; Endorsed :</div> <div style="font-size: 10pt; margin-top: 5px;">By: KEILAR FOX &amp; MCGHIE PTY. LTD<br/>Date: <u>20/11/2006</u><br/>Signed: <br/>Designation: Liaison Officer</div>  |                             | Orig            | Lots   |      |         |  |  |  |  |  |      |      |      |          |     |          |                             |       |        |
| Orig   | Lots |   |                             |                 |        |      |         |  |  |  |  |  |      |      |      |          |     |          |                             |       |        |
|  |      |   |                             |                 |        |      |         |  |  |  |  |  |      |      |      |          |     |          |                             |       |        |
| <div style="font-size: 12pt; font-weight: bold;">3. Plans with Community Management Statement :</div> <div style="font-size: 10pt; margin-top: 5px;">CMS Number :</div> <div style="font-size: 10pt; margin-top: 5px;">Name :</div>  |      | <div style="font-size: 12pt; font-weight: bold;">12. Building Format Plans only.</div> <div style="font-size: 10pt;">I certify that:</div> <div style="font-size: 10pt; margin-top: 5px;">* As far as it is practical to determine, no part of the building shown on this plan encroaches onto adjoining lots or road.</div> <div style="font-size: 10pt; margin-top: 5px;">* Part of the building shown on this plan encroaches onto adjoining * lots and road</div> <div style="display: flex; justify-content: space-between; font-size: 10pt;"><div>Licensed Surveyor/Director</div><div>Date</div></div> <div style="font-size: 10pt; margin-top: 5px;">* delete words not required</div> <div style="font-size: 12pt; font-weight: bold;">13. Lodgement Fees :</div> <div style="font-size: 10pt; margin-top: 5px;">Survey Deposit \$</div> <div style="font-size: 10pt; margin-top: 5px;">Lodgement \$</div> <div style="font-size: 10pt; margin-top: 5px;">.....New Titles \$</div> <div style="font-size: 10pt; margin-top: 5px;">Photocopy \$</div> <div style="font-size: 10pt; margin-top: 5px;">Postage \$</div> <div style="font-size: 10pt; margin-top: 5px;">TOTAL \$</div> <div style="display: flex; justify-content: space-between; font-size: 10pt; margin-top: 10px;"><div>14. Insert Plan Number</div><div style="font-size: 12pt; font-weight: bold;">SP179318</div></div> |                             |                 |        |      |         |  |  |  |  |  |      |      |      |          |     |          |                             |       |        |

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## ADDITIONAL SHEET

Sheet  
2 of  
4

PRSC File 2004/10182

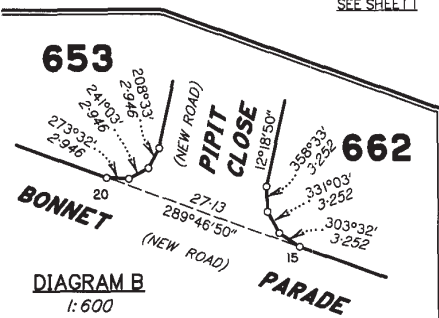
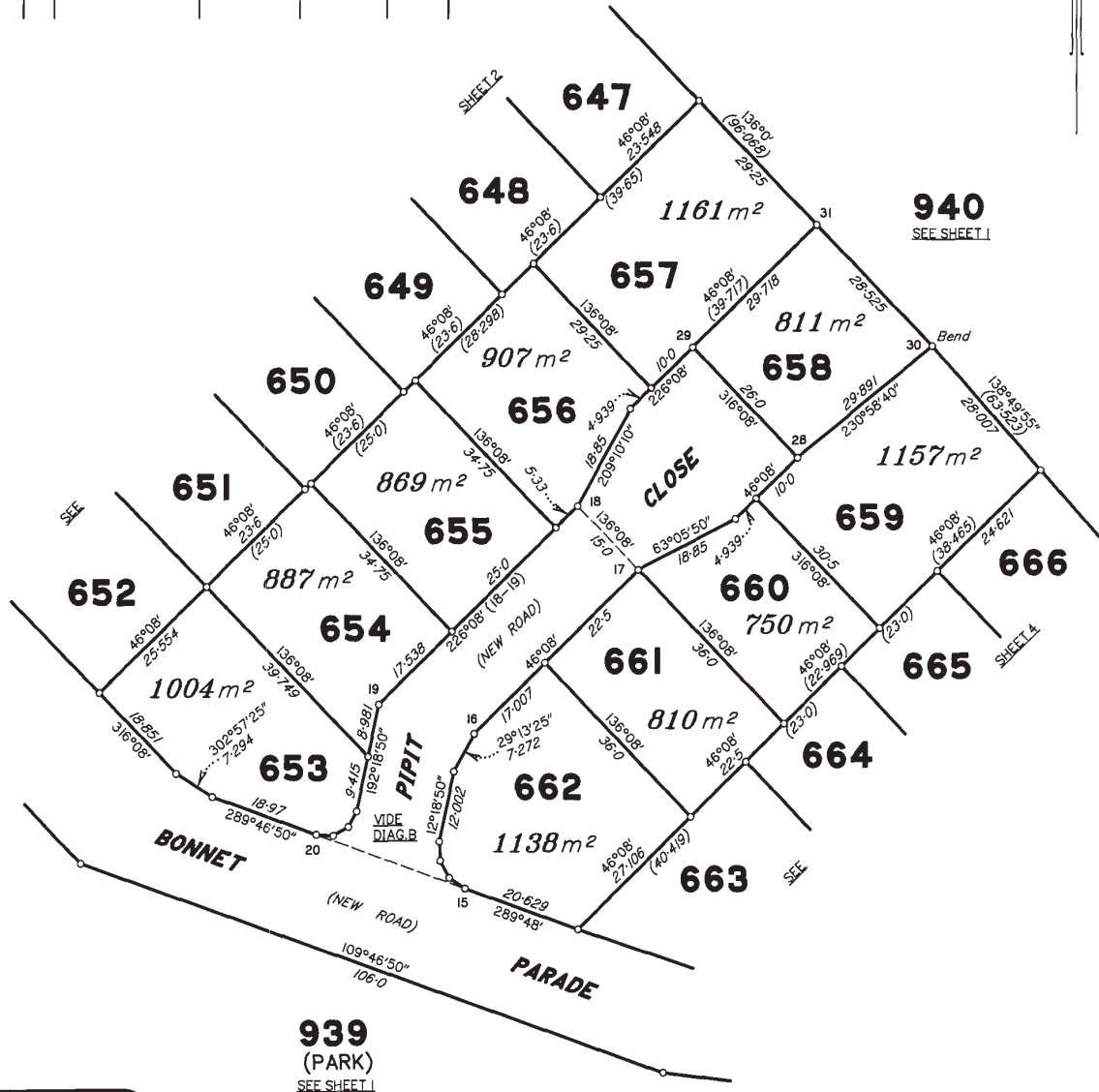
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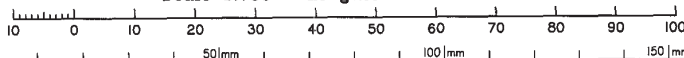
## ADDITIONAL SHEET

Sheet  
3 of  
4

| REFERENCE MARKS |                   |        |            |        |
|-----------------|-------------------|--------|------------|--------|
| STN             | TO                | ORIGIN | BEARING    | DIST   |
| 15              | Nail in M/H       |        | 345°10'    | 3.316  |
| 16              | Nail in M/H       |        | 143°54'    | 0.979  |
| 19              | Nail in M/H       |        | 285°53'    | 1.836  |
| 20              | Nail in M/H       |        | 74°23'40"  | 3.424  |
| 28              | Nail in conc post |        | 53°55'50"  | 7.294  |
| 29              | Nail in conc post |        | 49°32'50"  | 7.07   |
| 30              | SPkt              |        | 126°47'20" | 20.743 |
| 31              | SPkt              |        | 338°39'    | 3.307  |



Scale 1:750 - Lengths are in Metres.



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Insert  
Plan  
Number  
**SP179318**

SS 0236-16-01e 023616CS

PRSC File 2004/10182

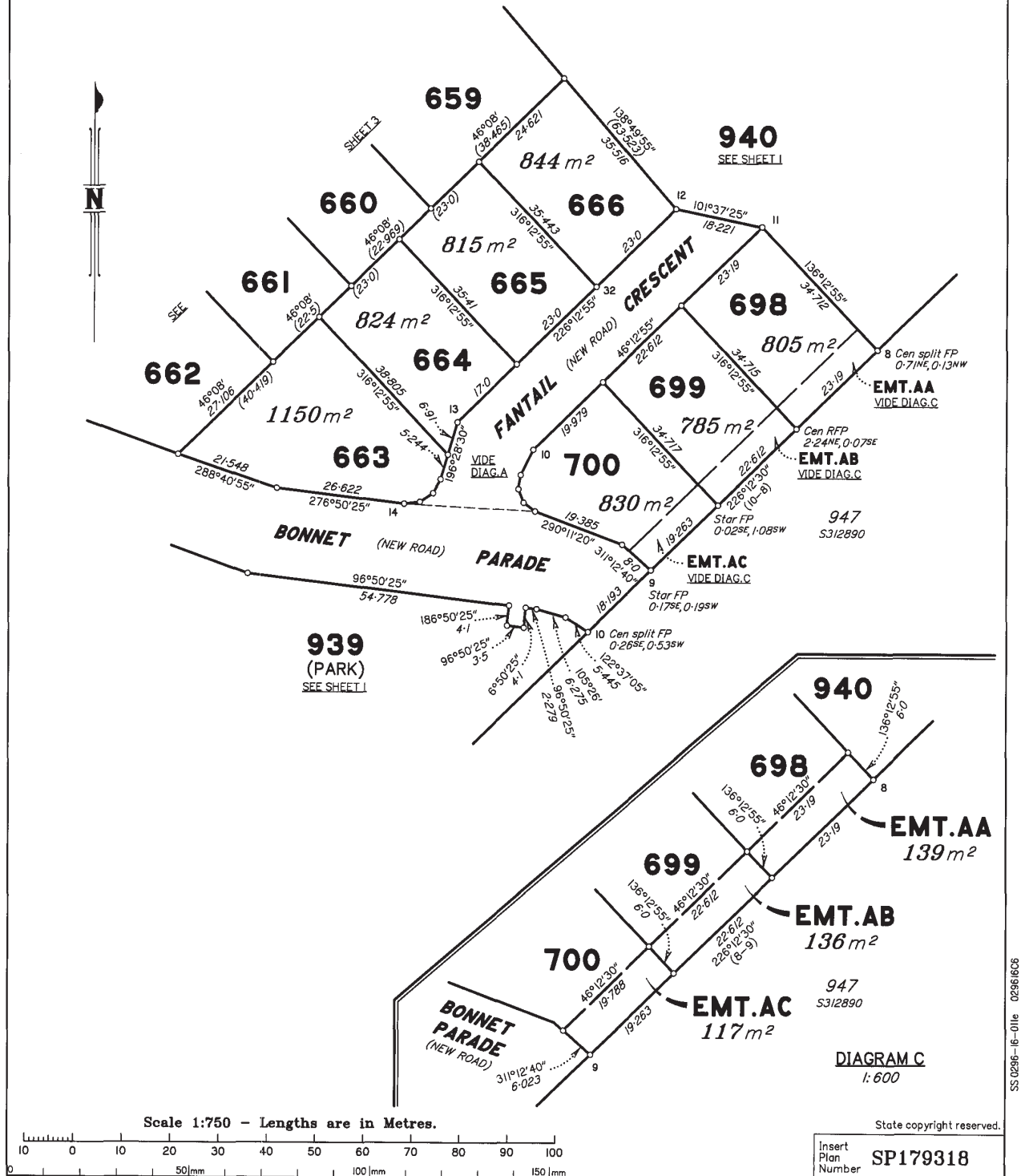
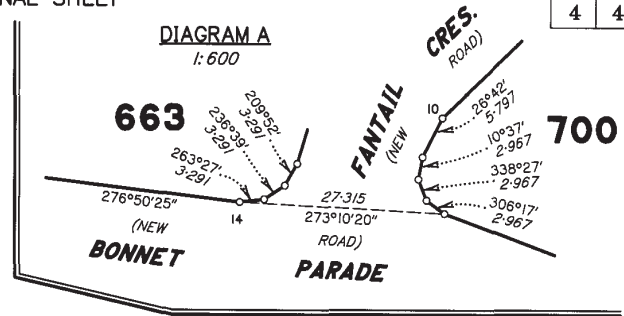
APPROVED 5-01-2007

Land Title Act 1994; Land Act 1994  
Form 21A Version 1

## ADDITIONAL SHEET

Sheet  
4 of 4

| STN | TO              | ORIGIN | BEARING    | DIST  |
|-----|-----------------|--------|------------|-------|
| 9   | Nail in M/H     |        | 327°30'10" | 8.398 |
| 10  | Gl Nail in tree |        | 228°06'    | 4.444 |
| 13  | Nail in M/H     |        | 327°47'    | 1.973 |
| 14  | Nail in M/H     |        | 75°27'     | 2.799 |
| 32  | Nail in M/H     |        | 342°08'    | 2.321 |



A pool safety certificate is required in Queensland when selling or leasing a property with a regulated pool. This form is to be used for the purposes of sections 246AA and 246AK of the *Building Act 1975*.

**1. Pool safety certificate number**

Identification number: PSC0242525

**2. Location of the swimming pool**

Property details are usually shown on the title documents and rates notices

Street address:

2 PIPIT CL

MANGO HILL QLD

Postcode

4

5

0

9

Lot and plan details:

662/SP/179318

Local government area:

MORETON BAY REGIONAL

**3. Exemptions or alternative solutions for the swimming pool (if applicable)**

If an exemption or alternative solution is applicable to the swimming pool please state this. This will help provide pool owners with a concise and practical explanation of the exemption or alternative solution. It will also help to ensure the ongoing use of the pool and any future modifications do not compromise compliance with the pool safety standard.

No disability exemption applies; No impracticality exemption applies

No alternative solution applies

**4. Pool properties**

Shared pool

☐

Non-shared pool

☒

Number of pools

**5. Pool safety certificate validity**

Effective date:

1 / 3 / 0 2 / 2 0 2 5

Expiry date:

1 / 3 / 0 2 / 2 0 2 7

**6. Certification**

**I certify that I have inspected the swimming pool and I am reasonably satisfied that, under the *Building Act 1975*, the pool is a complying pool.**

Name:

WIREMU KIEREN MAUNSELL

Pool safety inspector  
licence number:

PS100687

Signature:

**Other important information that could help save a young child's life**

It is the pool owner's responsibility to ensure that the pool (including the barriers for the pool) is properly maintained at all times to comply with the pool safety standard under the *Building Act 1975*. High penalties apply for non-compliance. Parents should also consider beginning swimming lessons for their young children from an early age. Please visit

<https://www.qbcc.qld.gov.au/your-property/swimming-pools/pool-safety-standard> for further information about swimming pool safety. This pool safety certificate does not certify that a building development approval has been given for the pool or the barriers for the pool. You can contact your local government to ensure this approval is in place.

**Privacy statement**

The Queensland Building and Construction Commission is collecting personal information as required under the *Building Act 1975*. This information may be stored by the QBCC, and will be used for administration, compliance, statistical research and evaluation of pool safety laws. Your personal information will be disclosed to other government agencies, local government authorities and third parties for purposes relating to administering and monitoring compliance with the Building Act 1975. Personal information will otherwise only be disclosed to third parties with your consent or unless authorised or required by law.

**RTI:** The information collected on this form will be retained as required by the *Public Records Act 2002* and other relevant Acts and regulations, and is subject to the Right to Information regime established by the *Right to Information Act 2009*.

This is a public document and the information in this form will be made available to the public.